



Zoning Hearing Board Meeting
August 24, 2026 @ 6:00 PM
This meeting is recorded for public record.

Davis Sweet, Chair	Term Expires:
Anne M. Carroll	Term Expires:
Matthew Chominski	Term Expires:
Terrance Keenan	Term Expires:
Michael Pastino	Term Expires:
Victoria Zytkowicz, Alternate	Term Expires:

Zoning Hearing Board Meeting:

A. Notices

1. 500 W Lafayette St
2. 615-617 S Walnut Street Notice

Visit www.west-chester.com for access to all attachments.

Agendas are posted to www.west-chester.com by noon 3 business days prior to the meeting.



Department of Building, Housing & Codes Enforcement
Regulations for the Protection of Public Health, Safety and Welfare

401 East Gay Street • West Chester, Pennsylvania 19380
610-696-1773 • housing@west-chester.com

NOTICE IS HEREBY GIVEN that the Zoning Hearing Board of the Borough of West Chester, Pennsylvania has scheduled a meeting at 6 :00pm on August 24, 2026. The purpose of this meeting is to hear the following appeal:

Appeal #1042

Applicant:

Atlas Property Group, LLC

Site Address:

500 West Lafayette Street

Zoning District:

NC-1/Neighborhood

Conservation -1 Dist.

Parcel #:

1-8-10.5

The Applicant, Atlas Property Group, LLC, are seeking a variance for relief from Section 112-306. B Dimensional requirements, Principal Structure Side Yard Setback, of the West Chester Borough's Zoning Ordinance. The Applicant is asking for variance to allow a principal-structure side yard setback of 11 feet, in lieu of the required 15 feet, along the westerly property line, in connection with the construction of a single-family detached dwelling and detached garage- both permitted uses- in the NC-1 Neighborhood Conservation District.

In addition, the Zoning Hearing Board will hear such other relief deemed necessary per the Application.

The Application is available for public review at the Department of Building Housing and Code Enforcement at 401 E. Gay Street, West Chester, Pennsylvania or online at www.west-chester.com. All interested persons will be given an opportunity to be heard at this Public Meeting.

Those individuals with disabilities and ADA accommodations for effective participation in the meeting should call 610-696-1773 at least two days prior to the meeting. All attempts will be made for reasonable accommodation.

Aaron Flook

Aaron Flook

Director of Building, Housing and Code Enforcement/Zoning Officer
Borough of West Chester.

500 W Lafayette Zoning Variance

Applicant, as equitable owner under an executed agreement of sale, seeks a single dimensional variance from Section 112-306.B of the Zoning Ordinance to permit a principal-structure side yard setback of 11 feet along the westerly property line, in lieu of the required 15 feet, in connection with the construction of a single-family detached dwelling and detached garage — both permitted uses — in the NC-1 Neighborhood Conservation District.

The subject property is a lawfully pre-existing nonconforming lot of record, deficient in both lot width (50 feet, where 60 feet is required) and lot area (5,015 square feet, where 6,000 square feet is required). Neither nonconformity was created by the Applicant; both arise from the physical conditions of the lot as it has long existed. Strict application of the 15-foot side yard requirement to this 50-foot lot yields a building envelope of only 20 feet, whereas a conforming lot in the district enjoys a 30-foot envelope as of right. The requested relief permits a dwelling 24 feet in width — substantially narrower than what the Ordinance itself contemplates on a conforming lot — and constitutes the minimum variance necessary to afford reasonable relief.

The relief is sought on the westerly side for a specific site-planning reason: the adjoining property to the east is improved with a garage located approximately 1.5 feet from the shared property line. Positioning the dwelling toward the west preserves the full 15-foot setback on the east, maintaining maximum practicable separation, light, air, and fire safety between the proposed dwelling and the existing structure.

The proposal complies with, and in several respects exceeds, all other dimensional and intensity requirements of the district: rear yard of 41.3 feet (35 feet required), impervious coverage of 44.3% (50% permitted), and building coverage of 27% (30% permitted), with combined side yards of 26 feet against the 30 feet otherwise required. The requested variance will not alter the essential character of the neighborhood, impair the use or development of adjacent property, or be detrimental to the public welfare, and represents the least modification of the regulation at issue consistent with reasonable use of the property.



Department of Building, Housing & Codes Enforcement
Regulations for the Protection of Public Health, Safety and Welfare

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Date :

PARCEL INFORMATION

Parcel Address:	500 West Lafayette Street, West Chester, PA
Unified Parcel Id:	1-5-10.5
Lot Size (S.F)	6,000
Owners:	Atlas Property Group LLC
Zoning District :	NC-1 District (Neighborhood Conservation)

Applicant: Chadd Martin

Address: [REDACTED]

Applicant Contact: [REDACTED] (P) [REDACTED] (Email)

Existing/Proposed Dimensional Requirements

	Proposed	Required
Lot Area	5015 S.F. (existing)	5015 S. F.
Lot Width	50'*	60'
Principal Building Setbacks		
Front Yard	19'	Match Existing Adjacent Setbacks
Side Yard	11'	15'
Rear Yard	41.3'	35'
Impervious Surface (less than 12,000 sq. ft.)	44.3%	50%
Building Coverage (less than 12,000 sq. ft.)	27%	30%
Accessory Building Setbacks		
Side Yard	5'	5'
Rear Yard	5'	5'
• = Existing nonconformity		

DETERMINATION

Description of the work to be done, does it meet Zoning District Dimensional requirements for conforming uses, conforming buildings on nonconforming lots.

Section 112-810.E Nonconformities

Conforming uses, conforming buildings on nonconforming lots. Conforming buildings of which a conforming use is made, and which are located on a lot which is nonconforming at the effective date or amendment of this section may be enlarged or additional buildings may be erected, subject to the following:

(1) Provided that all of the area and bulk regulations, except minimum lot size and minimum lot width at building line and all design standards for the district in which the lot is located, are complied with and not exceeded.

(2)

If a lot on which a single-family detached dwelling has been constructed is rendered nonconforming in the minimum lot size by an amendment to this section adopted after the construction and residential use and occupancy of such dwelling, subject to the grant of a special exception by the Zoning Hearing Board, the owner may enlarge the dwelling by encroachment into the existing rear yard, provided that:

(a)

There is no encroachment of such enlargement within any side yard; and

(b)

The dwelling enlarged is a minimum of 30 feet from the rear property line in the NC-1 District and a minimum of 20 feet from the rear property line in the NC-2 District.

(3)

Provided, if the owner of such lot owns or controls adjacent land sufficient to enable him to enlarge the lot in conformity or more nearly in conformity with the district regulations, he shall be required to enlarge the lot before any extensions, enlargements or additional buildings are permitted; provided, however, that such enlargement of a nonconforming lot shall not create nonconformity of any kind on such adjacent land.

The zoning review is **DENIED** per information as recorded on the submitted Site Plan.

1. The Applicant proposes conforming use, conforming buildings on a nonconforming lot. Section 112-810.E (1-3) allow for expansion and addition of buildings on this type of nonconforming lot provided they meet specific requirements. The first requirement is provided that all of the area and bulk regulations, except minimal lot width at building line and all design standards for the district which the lot is located, are complied with and not exceeded.
 - a. The placement of the "House" on the property will require only 11' side setback to the left side of the house. (as viewed from the primary street) This nonconformity cannot be used as Primary building setback (side yard) is not met.

RIGHT TO APPEAL

The applicant has the right to appeal to the Zoning Hearing Board, within 30 days, all determinations made by the Zoning Officer (Borough of West Chester's Zoning Ordinance Section 112-1107 Appeals and application procedure.)

The applicant may wish to submit a Zoning Variance request to receive relief from Section 112-306.B Dimensional requirements Principal Structure Side Yard Setback.

<https://www.west-chester.com/DocumentCenter/View/27616/Zoning-Hearing-Board-Appeal-Application?bidId=>

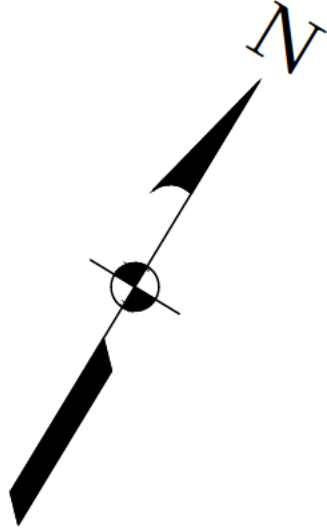
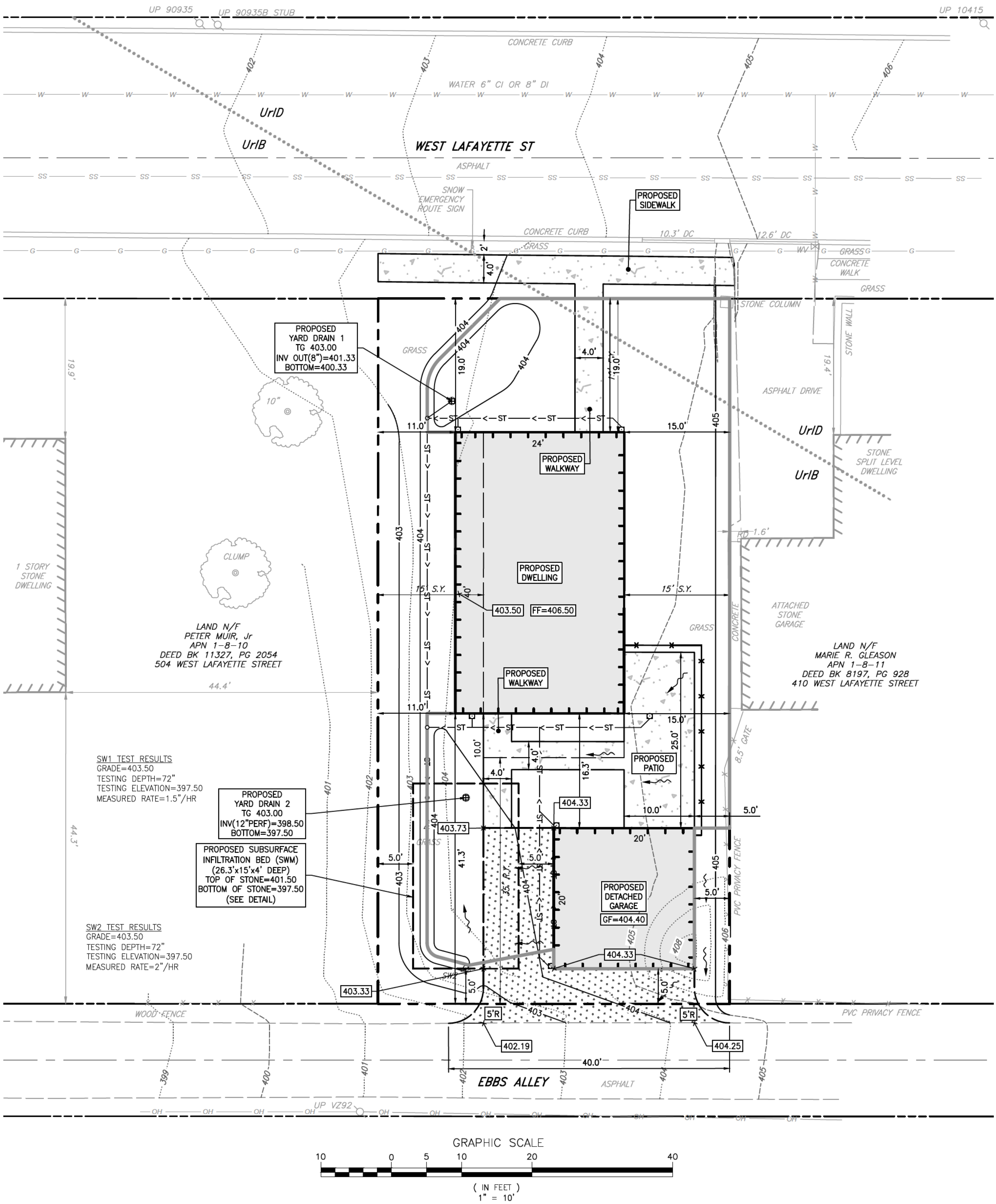
Aaron Flook

Aaron Flook

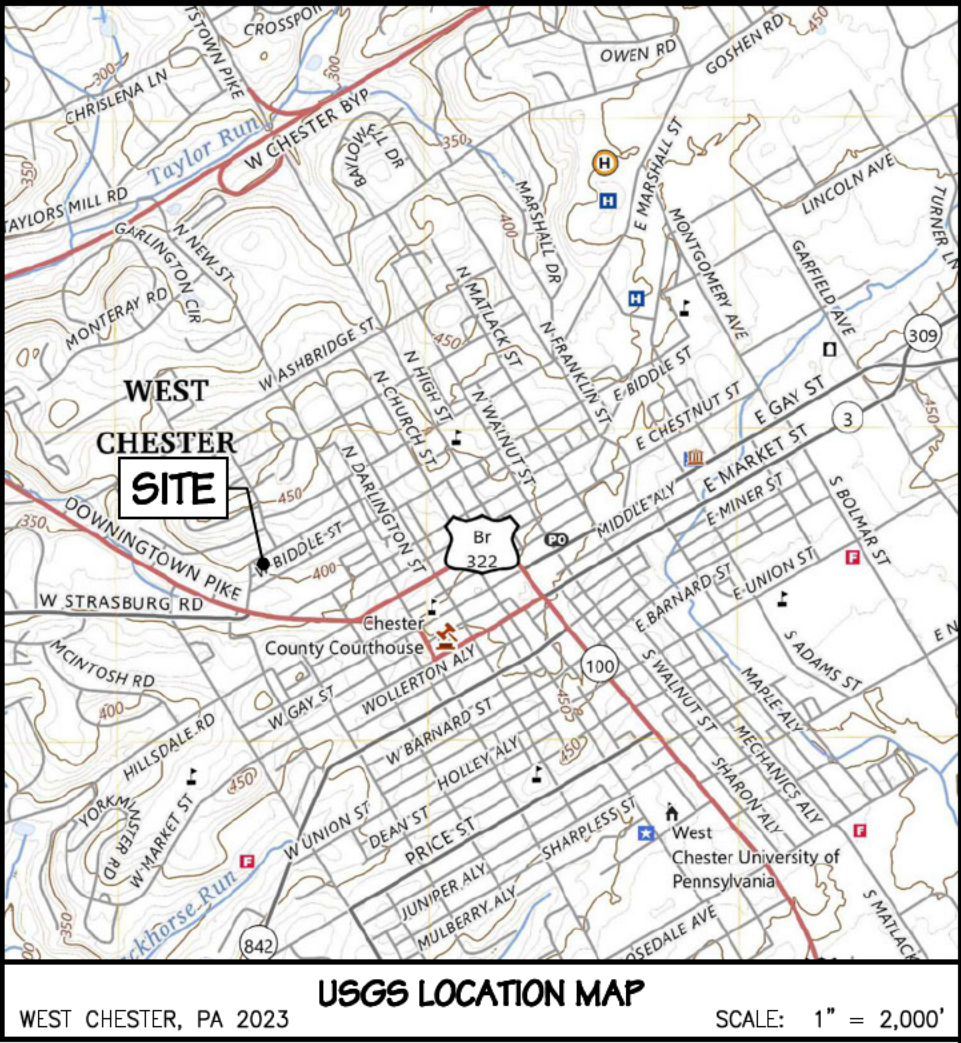
Director of Building, Housing and Code Enforcement/Zoning Officer
Borough of West Chester.

ZONING DATA			
ZONING DISTRICT: NC-1 (NEIGHBORHOOD CONSERVATION DISTRICT)			
PROPOSED LAND USE: SINGLE-FAMILY DETACHED DWELLING			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	MEDIAN VALUE OF LOTS ON THE BLOCK FACE	5,015 S.F.	5,015 S.F.
LOT WIDTH AT BUILDING LINE	60' (MIN.)	50.00' *	50.00' *
PRINCIPAL BUILDING SETBACKS			
FRONT YARD	MATCH EXISTING ADJACENT SETBACKS	N/A	19'
SIDE YARD	15' (MIN.)	N/A	11' **
REAR YARD	35' (MIN.)	N/A	41.3'
IMPERVIOUS SURFACE (LOTS LESS THAN 12,000 S.F.)	50% (MAX.)	8.5% (424 S.F.)	44.3% (2,221 S.F.)
BUILDING COVERAGE (LOTS LESS THAN 12,000 S.F.)	30% (MAX.)	1.8% (89 S.F.)	27.1% (1,360 S.F.)
ACCESSORY BUILDING SETBACKS			
SIDE YARD	5' (MIN.)	17.8'	5'
REAR YARD	5' (MIN.)	0.6' *	5'
* = EXISTING NON-CONFORMITY ** = REQUIRES ZONING RELIEF			
REFER TO WEST CHESTER BOROUGH ZONING ORDINANCE FOR ANY ADDITIONAL REGULATIONS THAT MAY APPLY			

IMPERVIOUS SURFACE SUMMARY				
	EXISTING	TO BE REMOVED	PROPOSED	TOTAL
DWELLING			960 S.F.	960 S.F.
GARAGE			400 S.F.	400 S.F.
SHED	89 S.F.	89 S.F.		
(BUILDING AREA)	89 S.F.			1,360 S.F.
PAVED DRIVEWAY			351 S.F.	351 S.F.
CONCRETE DRIVEWAY	189 S.F.	189 S.F.		
CONCRETE WALK/PATIO	89 S.F.	89 S.F.	460 S.F.	460 S.F.
CONCRETE PAD	57 S.F.	57 S.F.		
FUTURE ALLOWANCE			50 S.F.	50 S.F.
IMPERVIOUS SURFACE TOTAL	513 S.F.	424 S.F.	2,221 S.F.	2,221 S.F.
IMPERVIOUS INCREASE =				1,708 S.F.

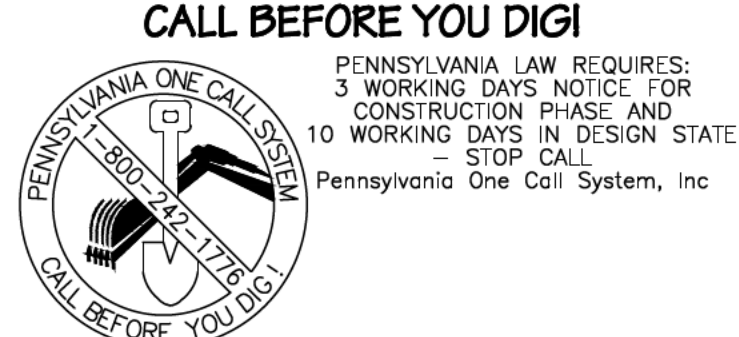


- LEGEND**
- PROPERTY LINE
 - ADJOINER PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - BUILDING SETBACK LINE
 - ROAD CENTERLINE
 - EXISTING 1' CONTOUR W/ ELEVATION
 - EXISTING 5' CONTOUR W/ ELEVATION
 - EXISTING EDGE OF PAVING
 - EXISTING EDGE OF DRIVEWAY
 - EXISTING AERIAL UTILITY WIRES
 - EXISTING SANITARY SEWER MAIN
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING DECIDUOUS TREE
 - SOILS BOUNDARY
 - STORMWATER INFILTRATION TEST LOCATION
 - PROPOSED PAVED DRIVEWAY
 - PROPOSED CONCRETE WALKWAY/PATIO
 - PROPOSED FENCE
 - PROPOSED 1' CONTOUR
 - PROPOSED 5' CONTOUR
 - PROPOSED STORM PIPE
 - SCM DRAINAGE BOUNDARY



GEOLOGY DESCRIPTION						
UNIT NO.	MAP SYMBOL	NAME	AGE	LITH1		
191	fgp	FELSIC GNEISS	PRECAMBRIAN	FELSIC GNEISS		
REFERENCE: PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, eMapPA						
SOILS DESCRIPTION						
SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
UrB	URBAN LAND-GLADSTONE COMPLEX, 0-8% SLOPES	60-100" TO LITHIC BEDROCK	WELL DRAINED	MORE THAN 80"	A	NO
UrD	URBAN LAND-GLADSTONE COMPLEX, 8-25% SLOPES	60-100" TO LITHIC BEDROCK	WELL DRAINED	MORE THAN 80"	A	NO
REFERENCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.						

UPI: 1-8-10.5



PENNSYLVANIA ACT 187 REQUIREMENTS: DELLA PENNA ENGINEERING, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES DELLA PENNA ENGINEERING, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

CHRISTOPHER R. DELLA PENNA, P.E.

NUM.	DATE	REVISION
PLAN PREPARED BY: DELLA PENNA ENGINEERING, INC. CONSULTING CIVIL ENGINEERS P. [REDACTED] F. [REDACTED] E. [REDACTED]		
PLAN PREPARED FOR: IHI15, LLC 500 WEST LAFAYETTE STREET WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA		
DATE: DRAFT		SHEET 2 OF 2 SCALE: 1" = 10'
SKETCH PLAN 2 PROPOSED SITE PLAN		

Project Name: 500 W Lafayette Dimensional Variance		Add Note	
Project Description: Construction of a single family home on a non-conforming lot.			
Permit Number:	ZHB-0065	Applicant:	Martin, Chadd
Initial Application Number:	REFERENCE-26-1058	Primary Contact:	Martin, Chadd
Permit Type:	VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL	Primary Contractor:	INTERSECT HOMES INC
Status:	UNDER REVIEW	Last Activity:	07/23/2026 06:15
Process State:	Technically Complete	Last Inspection Date:	
Parent Permit:		Initiated:	07/21/2026
Assigned To:	User WENDY MECKE	Submitted:	07/21/2026 Application is 3 days old
Fast Track:	☐	Completed:	07/22/2026 2 of 2 submittals received, 2 of 2 submittals accepted.
Applied for Online:	☒	Approved:	2 of 4 (50%) steps approved.
		Ready:	\$500.00 paid (100%), \$0.00 due.
		Issued:	
		Finalized:	0 of 1 inspections completed.
		Closed:	\$0.00 deferred fees due.
		Expires:	Exp Override: ☐

Site Address

Site Address:	500 W LAFAYETTE ST	Verify Address and Coordinates
Site City:	WEST CHESTER	Latitude:
State:	PA Site Zip: 19380	Longitude:
Inspection Area:		
Zone:	NC-1 Neighborhood Conservation District 1	
Primary Parcel:	1-8-10.5	

Contact
Phone Numbers
Email Addresses
Details
Secure Details
Points of Contact
Portal Accounts

 Replace Photo	Contractor:	No	Active:	☒
	First Name:	Theodore	Middle Name:	
	Display Name:	Martin, Chadd	Last Name:	Martin
	Primary Phone:		Primary Email:	
	Portal Access Code:			

Mailing Address

[Edit Address](#)

Permit #: ZHB-0065	Status: UNDER REVIEW	Contact: Martin, Chadd	Site Address: 500 W LAFAYETTE ST
Type: VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL	Project Name: 500 W Lafayette Dimensional Variance	Contractor: INTERSECT HOMES INC	WEST CHESTER, PA 19380

Name	Value
REASON FOR APPEAL/ SPECIAL EXCEPTION:*	Non-conforming lot dimensional variance  
APPLICABLE CODE SECTION:*	112-306.B  
VARIANCE, SPECIAL EXCEPTION TYPE:*	Single Family Dwelling, Commercial Signs 
REQUEST TYPE:*	Zoning Appeal 



Department of Building, Housing & Codes Enforcement
Regulations for the Protection of Public Health, Safety and Welfare

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NOTICE IS HEREBY GIVEN that the Zoning Hearing Board of the Borough of West Chester, Pennsylvania has scheduled a Meeting at 6 :00pm on August 24, 2026. The purpose of this meeting is to hear the following appeal.

Appeal #1041

Applicant:

TRBL Walnut LLC

Site Address:

615-617 S. Walnut Street

Zoning District:

NC-2/Neighborhood
Conservation -2 Dist.

Parcel #:

1-10-93 and 1-10-92

The Applicant, TRBL Walnut LLC, is seeking variance from Section 112-602.K, of the West Chester Borough's Zoning Ordinance, to allow for parking in the "Front yard" along Willow Alley

Section 112-602.K Parking in front of building.

(1) Parking spaces shall not be located within any front yard areas, except in the Industrial District, where parking in the front yard may be permitted as a special exception by the Zoning Hearing Board, provided that it does not comprise more than 50% of the front yard areas.

In addition, the Zoning Hearing Board will hear such other relief deemed necessary per the Application.

The Application is available for public review at the Department of Building Housing and Code Enforcement at 401 E. Gay Street, West Chester, Pennsylvania or online at www.west-chester.com. All interested persons will be given an opportunity to be heard at this Public Meeting.

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Aaron Flook

Aaron Flook

Director of Building, Housing and Code Enforcement/Zoning Officer
Borough of West Chester.

**ADDENDUM TO ZONING APPLICATION
TO THE ZONING HEARING BOARD OF
WEST CHESTER BOROUGH, CHESTER COUNTY, PA**

Applicant: TRBL Walnut LLC



Owner: Same as above

Properties:

615 South Walnut Street

Parcel No: 1-10-93

Lot size: 0.2523 +/- Acres / 10,990 sf

Present Use: Single Family Residential

Zoned: NC-2

617 South Walnut Street

Parcel No: 1-10-92

Lot size: 0.0872 +/- Acres / 3,798 sf

Present Use: Single Family Residential

Zoned: NC-2

I. Background Information:

TRBL Walnut LLC ("Applicant" or "TRBL") respectfully submits this zoning application to the Zoning Hearing Board ("ZHB") of West Chester Borough (the "Borough") for variance relief from the requirements of Section 112-602.K of the Borough's Zoning Ordinance.

Applicant is the owner of two (2) parcels of real property located at 615 and 617 South Walnut Street in the Borough, Parcel Nos. 1-10-92 and 1-10-93 (the "Property"). The Property is located in the NC-2 Neighborhood Conservation Zoning District. The Property is currently improved with a set of "twin" or semidetached single-family homes facing onto South Walnut Street. The Property is located on the east side of South Walnut Street and bounded by Willow Alley to the north and Mechanics Alley to the East. See **Exhibit A-1**, ChescoViews of Property. Applicant submitted land development plans for the Property (as revised June 26, 2026) to the Borough to build five (5) attached townhomes to the rear of the existing homes. See **Exhibit A-2**, Land Development Plans (the "Plans").

The Property currently contains approximately four (4) parking spaces along the Mechanics Alley side of the Property. The Plans have been reviewed by the Borough Planning Commission (the "PC") six (6) times. As part of the PC's review, the PC requested that the Applicant move two (2) of the parking spaces along the Mechanics Alley side of the Property to the Willow Street side of the Property, to provide parking closer to the existing homes. Due to the size and configuration of the Property, all of the proposed townhomes have small driveways/parking areas along Willow Alley. See Exhibit A-2.

Due to the configuration of the current and proposed homes on the Plans, South Walnut Street and Willow Alley both become "primary streets" under the Borough's Zoning Ordinance: "A street which serves as the principal means of vehicular travel to provide access to the front yard of abutting properties." Because South Walnut and Willow Alley serve as primary streets for the current and proposed homes on the Property, the sides of the Property along those streets become "front yards" under the Borough Zoning Ordinance. Section 112-602.K of the Zoning Ordinance prohibits parking spaces from being located in the front yard area of any lot in the NC-2 District.

Due to the size and shape of the Property, the only location for the proposed homes and the access/parking spaces for those homes is along Willow Alley, thus the Applicant cannot locate any parking spaces on the Property along Willow Alley without said parking spaces being located in a "front yard." Therefore, the Applicant is seeking a variance from Section 112-602.K to allow for the parking to be located in the "front yard" along Willow Alley on the Property as set forth in the Plans.

At the PC meeting to review the Plans on July 6, 2026, the PC members expressed their support for the Plans and stated that the Applicant was free to communicate the PC's support of the Plans to the Zoning Hearing Board. Two parking spaces were relocated from the rear of the Property along Mechanics Alley around onto Willow Alley near the existing homes on the Property. This was done at the request of the PC members to provide parking closer to the existing homes, and to create more green space and better sight lines at the intersection of Willow and Mechanics Alleys.

II. Provisions of Zoning Ordinance at Issue:

§ 112-602 General regulations and design standards.

...

K. Parking in front of building.

(1) Parking spaces shall not be located within any front yard areas, except in the Industrial District, where parking in the front yard may be permitted as a special exception by the Zoning Hearing Board, provided that it does not comprise more than 50% of the front yard areas.

§ 112-202 Definitions.

LOT, CORNER

A lot abutting upon two or more intersecting streets or upon two parts of the same street at the point of an abrupt change in direction, forming an interior angle at the corner point of less than 135°.

YARD, FRONT

A yard abutting a street line of a primary street extending the full width of the lot along the front lot line of such yard and extending in depth from the front lot line to the building setback line. **In the case of a corner lot, the yards extending along all streets are front yards, and the remaining yards shall include a rear yard, opposite the street on which the principal building is generally faced, and a side yard opposite the other street.** For lots fronting three streets, all yards abutting a street shall be considered a front yard. The remaining yard shall be either a rear yard or a side yard, determined by the position of the principle building facade.

STREET

A right-of-way intended for the general public use to provide means of circulation for vehicles and pedestrians, furnishing access to abutting lots. The word "street" includes the words "road," "highway," "avenue," "boulevard," "lane" and "alley."

STREET, PRIMARY

A street which serves as the principal means of vehicular travel to provide access to the front yard of abutting properties.

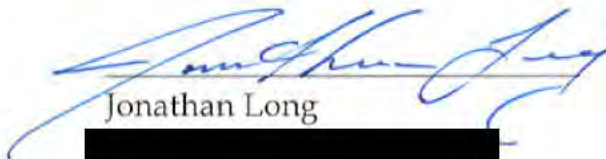
STREET, SECONDARY

A street which serves as a subordinate means of vehicular travel to provide access to the side yard or rear yard of abutting properties, such as an alley.

Wherefore, based upon the foregoing, the Applicant respectfully requests that the West Chester Borough Zoning Hearing Board grant its application for zoning relief and such other zoning relief or variances as may be needed and allow the Applicant the ability to proceed with the reasonable development of the Property.

Respectfully submitted,

BELLWOAR KELLY, LLP


Jonathan Long



Attorneys for Applicant
TRBL Walnut LLC

**EXHIBIT LIST FOR
ZONING APPLICATION
TO THE ZONING HEARING BOARD OF
WEST CHESTER BOROUGH, PENNSYLVANIA**

Applicant: TRBL Walnut LLC

Property: 615-617 S. Walnut Street

Exhibit:	Description:
A - 1	Chesco Views of Property
A - 2	Land Development Plans

EXHIBIT A-2
LAND DEVELOPMENT PLANS

Main Contacts Contractors Parcels Submittals Details Workflow Fixtures Valuations Fees Conditions Inspections Other Requirements Notes

Current processing time is 1 day (In review 1 day)

Project Name: #1041-TRBL WALNUT LLC Add Note

Project Description: The project site is made up of two parcels with the addresses of 615 and 617 South Walnut Street, West Chester, PA 19380 (UPI's, 1-10-92, 1-10-93). The site is bordered by streets on 3 sides (South Walnut Street, Willow Alley and Mechanics Alley) and residential properties to the North, East, West and South. Currently the site contains a twin – 2 single family attached homes that will remain. The property owner, TRBL, LLC, proposes a reverse subdivision to consolidate the 2 parcels into one parcel that

Permit Number: ZHB-0064 Alerts Applicant: Zwizanski, Scott

Initial Application Number: REFERENCE-26-1000 Primary Contact: Zwizanski, Scott i

Permit Type: VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL Primary Contractor:

Status: UNDER REVIEW Last Activity: 07/14/2026 10:33

Process State: Technically Complete Last Inspection Date:

Parent Permit:

Assigned To: User AARON FLOOK

Fast Track: ☐

Applied for Online: ☒

Initiated: 07/14/2026

Submitted: 07/14/2026 Application is 1 day old

Completed: 07/14/2026 2 of 2 submittals received, 2 of 2 submittals accepted.

Approved: 2 of 4 (50%) steps approved.

Ready: \$1,200.00 paid (100%), \$0.00 due.

Issued:

Finalized: 0 of 1 inspections completed.

Closed: \$0.00 deferred fees due.

Expires: Exp Override: ☐

Site Address

Site Address: 615 S WALNUT ST Verify Address and Coordinates

Site City: WEST CHESTER Latitude:

State: PA Site Zip: 19382 Longitude:

Inspection Area:

Zone: NC-2 Neighborhood Conservation District 2

Primary Parcel: 1-10-93 i

The project site is made up of two parcels with the addresses of 615 and 617 South Walnut Street, West Chester, PA 19380 (UPI's, 1-10-92, 1-10-93). The site is bordered by streets on 3 sides (South Walnut Street, Willow Alley and Mechanics Alley) and residential properties to the North, East, West and South. Currently the site contains a twin – 2 single family attached homes that will remain. The property owner, TRBL, LLC, proposes a reverse subdivision to consolidate the 2 parcels into one parcel that will have a total area of 14,360 square feet (0.33-acres). The owner proposes constructing 5 new single-family attached townhomes. The homes will be individually owned, and the common areas of the property, including the stormwater management system will be maintained by a homeowner's association which will be established. The proposed townhomes will each have a one-car garage and a driveway parking space with access to Willow Alley. Two additional parking areas are proposed, each with two off-street parking spaces. The total amount of off-street parking offered will be 14 spaces (2 vehicle spaces per dwelling).

Contact

[Contact](#)
[Phone Numbers](#)
[Email Addresses](#)
[Details](#)
[Secure Details](#)
[Points of Contact](#)
[Portal Accounts](#)



[Replace Photo](#)

Contractor: No Active: ☒
 First Name: Scott Middle Name: Last Name: Zwizanski
 Display Name:* Zwizanski, Scott
 Primary Phone: [REDACTED] Primary Email: [REDACTED]
 Portal Access Code: [REDACTED]

Mailing Address

[REDACTED]

[Edit Address](#)

Contact

[Contact](#)
[Phone Numbers](#)
[Email Addresses](#)
[Details](#)
[Secure Details](#)
[Points of Contact](#)
[Portal Accounts](#)



[Replace Photo](#)

Contractor: No Active: ☒
 First Name: Middle Name: Last Name: [Edit](#)
 Display Name:* TRBL WALNUT LLC
 Primary Phone: [REDACTED] Primary Email: [REDACTED]
 Portal Access Code: [REDACTED]

Mailing Address

[REDACTED]

[Edit Address](#)

Physical Address

[Edit Address](#)
[Copy Mailing Address](#)

Assessor Supplied Address

[REDACTED]

Contact

[Contact](#)
[Phone Numbers](#)
[Email Addresses](#)
[Details](#)
[Secure Details](#)
[Points of Contact](#)
[Portal Accounts](#)



[Replace Photo](#)

Contractor: No Active: ☒
 First Name: Jonathon Middle Name: Last Name: Long
 Display Name:* Long, Jonathon
 Primary Phone: [REDACTED] Primary Email: [REDACTED]
 Portal Access Code: [REDACTED]

Mailing Address

[REDACTED]

[Edit Address](#)

Permit #: ZHB-0054 [Alerts](#) Status: UNDER REVIEW Contact: Zwizanski, Scott Site Address: 615 S WALNUT ST
 Type: VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL Project Name: #1041-TRBL WALNUT LLC Contractor: WEST CHESTER, PA 19382

Primary	Parcel	Address	Neighborhood Code	Owner
		1-10-93	615 S WALNUT ST SE	TRBL WALNUT LLC

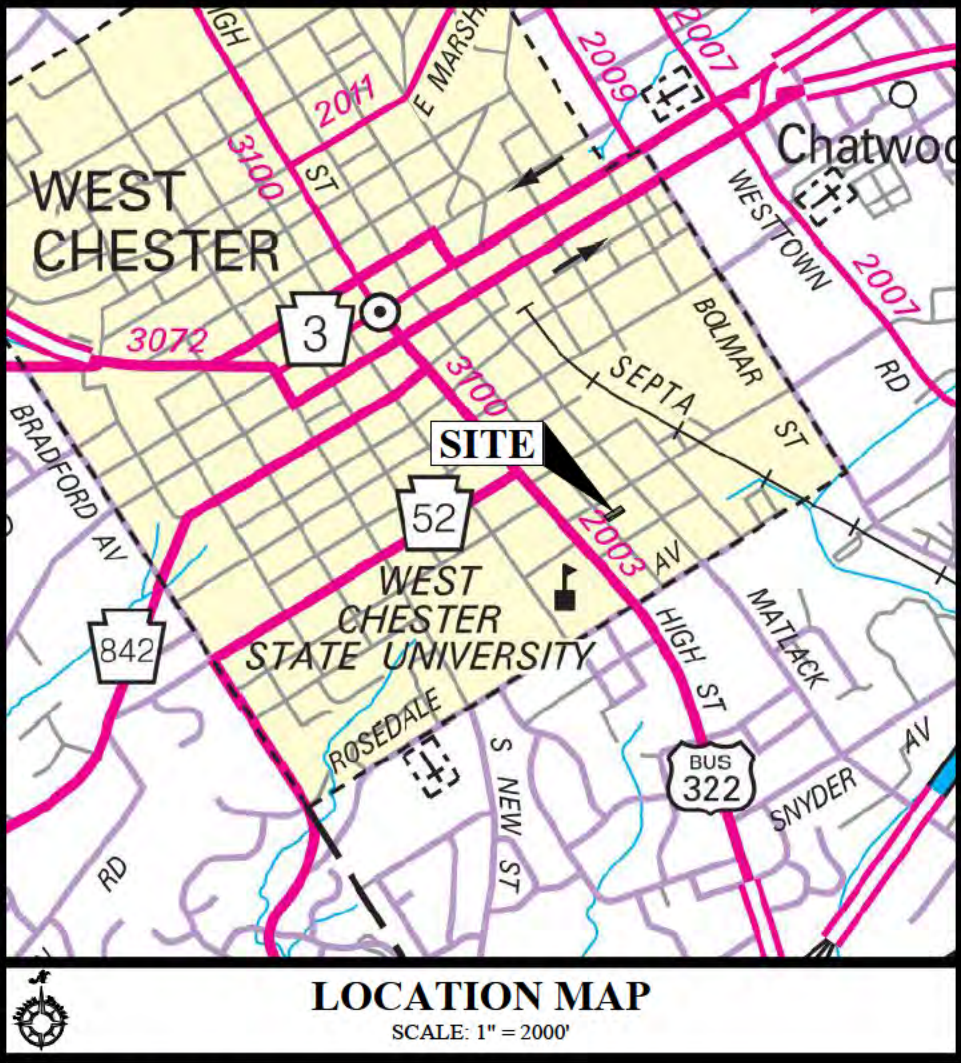
[Add](#)

Permit #: ZHB-0064	Alerts	Status: UNDER REVIEW	Contact: Zwizanski, Scott	Site Address: 615 S WALNUT ST
Type: VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL	Project Name: #1041-TRBL WALNUT LLC	Contractor:	WEST CHESTER, PA 19382	

Name	Value
REASON FOR APPEAL/ SPECIAL EXCEPTION:*	See attached Addendum
APPLICABLE CODE SECTION:*	112-602.K(1)
VARIANCE, SPECIAL EXCEPTION TYPE:*	Single Family Dwelling, Commercial Signs
REQUEST TYPE:*	Variance

Permit #: ZHB-0064	Alerts	Status: UNDER REVIEW	Contact: Zwizanski, Scott	Site Address: 615 S WALNUT ST
Type: VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL	Project Name: #1041-TRBL WALNUT LLC	Contractor:	WEST CHESTER, PA 19382	

Fee Code	Portal Pay State	Based On	Current Value	Calc Value	D e f i n e d	E x e m p t	F e e s t i m a t e	Amount Paid	Fee Amount
ZONING VARIANCE, SPECIAL EXEMPTION FEE	Complete	VARIANCE, SPECIAL EXCEPTION TYPE	Single Family Dwelling, Commercial Signs	Single Family Dwelling, Commercial Signs			☒	\$1,200.00	\$1,200.00



GENERAL NOTES:

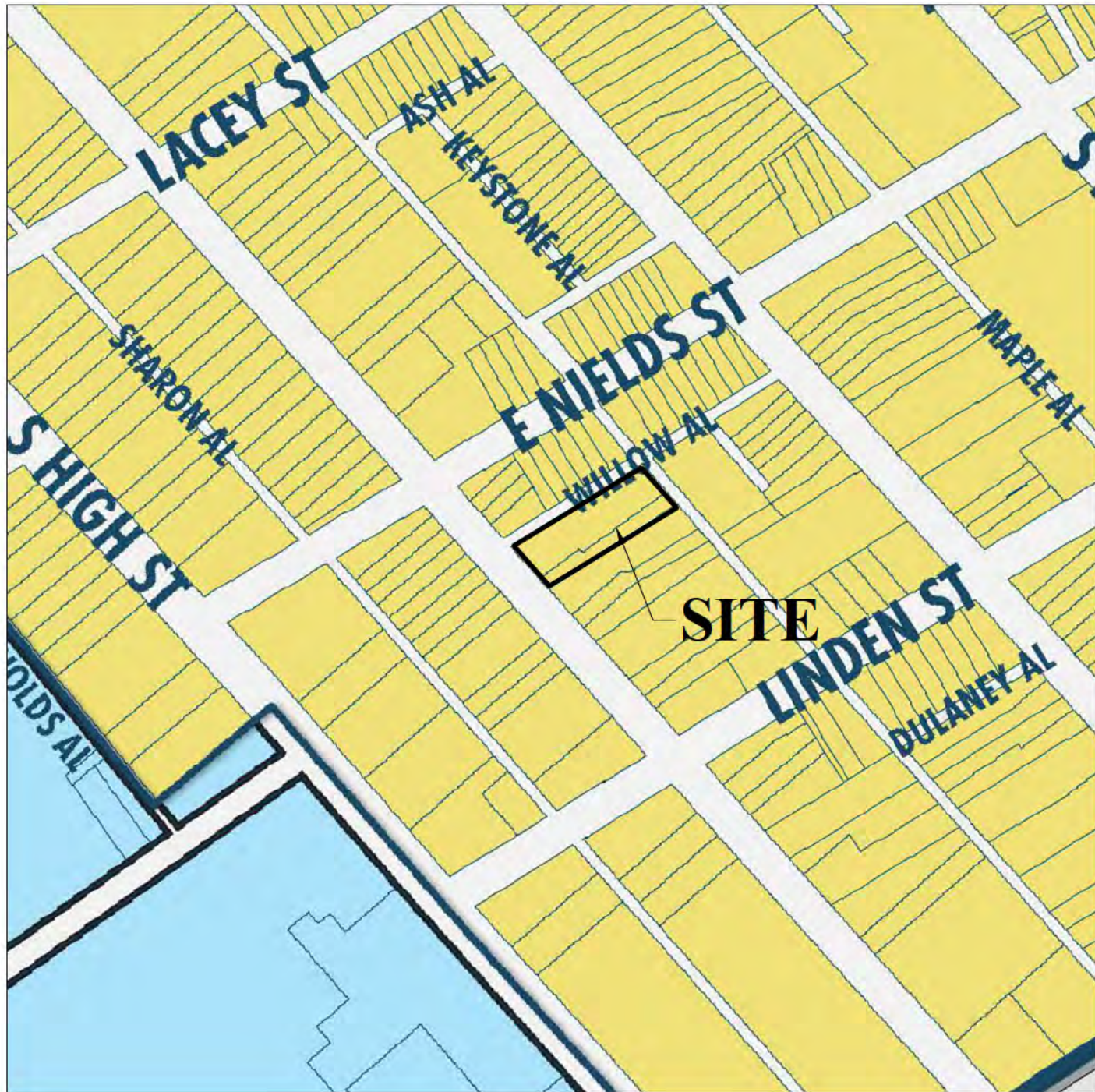
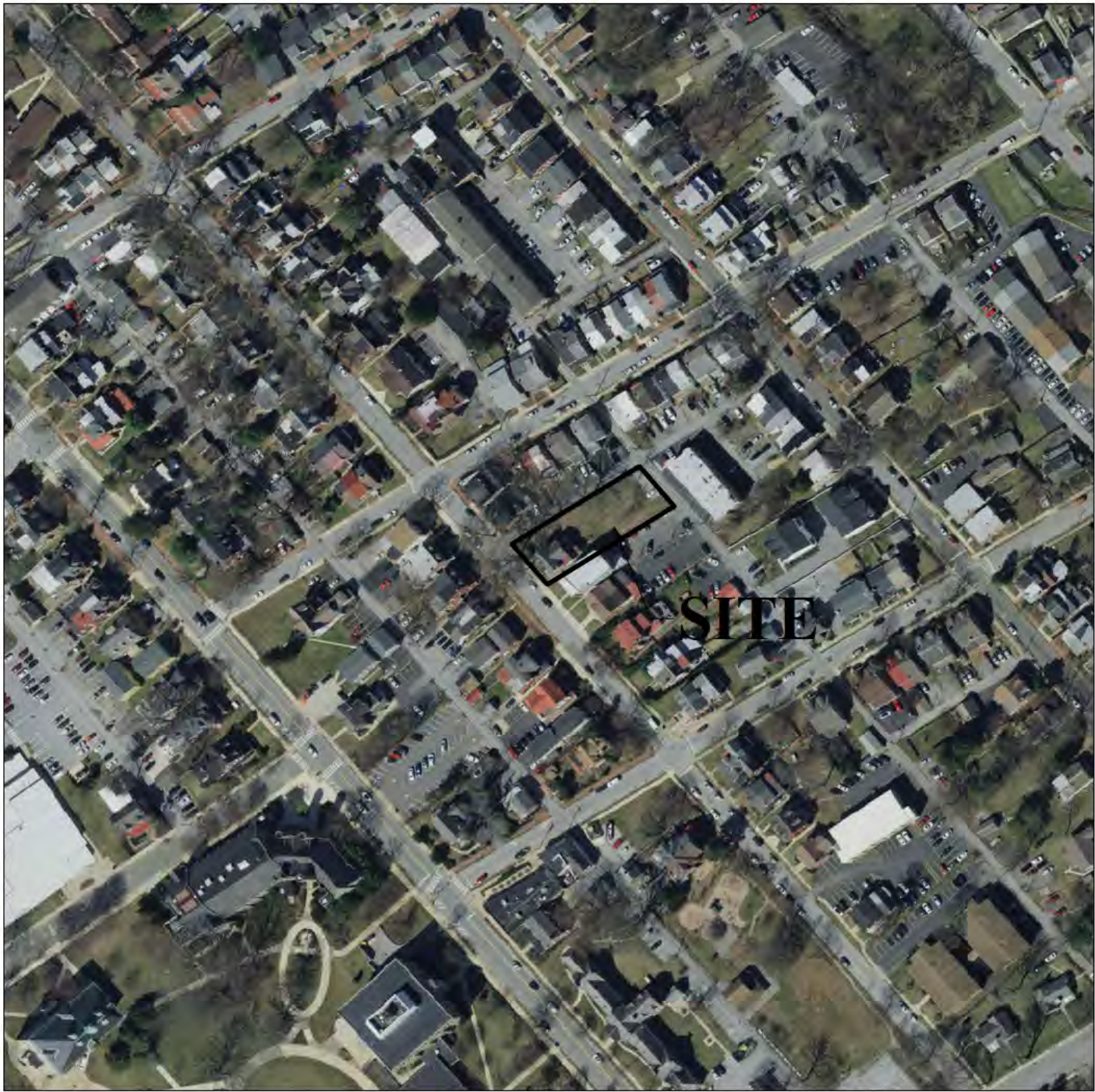
- TOTAL TRACT AREA = 0.322 ACRES (14,016 S.F.)
- TAX PARCEL NUMBERS: UPis: 1-10-92 AND 1-10-93
- BOUNDARY SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN NOVEMBER, 2025 BY INLAND DESIGN, LLC, WEST CHESTER, PA. BEARINGS HAVE BEEN ROTATED TO STATE PLANE COORDINATES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN NOVEMBER, 2025 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL = 1 FOOT.
- ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON NOVEMBER 13, 2025.
- THERE IS NO 100 YEAR FLOODPLAIN SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 420902100, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE. THE SOIL CLASSIFICATION FOR THIS ENTIRE SITE IS URBAN LAND-GLADSTONE COMPLEX (Urb).
- SITE GEOLOGY IS CHARACTERIZED AS Yhfg FELSIC GNEISS, GRANULITE FACIES.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
- THE PROPERTY IS LOCATED WITHIN THE "NC-2" - NEIGHBORHOOD CONSERVATION ZONING DISTRICT FOR SINGLE-FAMILY ATTACHED DWELLINGS.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THE SITE IS LOCATED IN THE GOOSE CREEK WATERSHED WHICH IS TRIBUTARY TO THE BRANDYWINE CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK: TROUT STOCKING (TSF), MIGRATORY FISHES (MF).
- A HOMEOWNER'S ASSOCIATION WILL BE CREATED FOR THE PURPOSES OF MAINTAINING ALL COMMON ELEMENTS INCLUDING, BUT NOT LIMITED TO DRIVEWAYS, STORMWATER MANAGEMENT FACILITIES, SIDEWALKS, LANDSCAPING AND ANY OTHER RELATED ELEMENTS.
- THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO ENSURE THAT NO DAMAGE OCCURS TO EXISTING CURBING OR ROADWAYS. ANY DAMAGE WILL REQUIRE IMMEDIATE REPAIR TO THE BOROUGH'S SATISFACTION. ADDITIONALLY, WEST CHESTER BOROUGH DOES NOT ACCEPT MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING ROADS. ANY MUD, DIRT OR DEBRIS OFFSITE, ON THE ROADS SHALL BE IMMEDIATELY CLEANED/REMOVED.
- THERE ARE NO STREETS, RIGHTS-OF-WAY, OR ANY PUBLIC USE INTENDED FOR DEDICATION BY THIS PLAN.
- ALL UTILITY LINES INCLUDING BUT NOT LIMITED TO ELECTRIC, GAS, STREETLIGHT SUPPLY, AND TELEPHONE SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, MUNICIPAL AUTHORITY OR OTHER PUBLIC UTILITY CONCERNED.
- STORMWATER MANAGEMENT SHOWN PER PROJECT NARRATIVE AND POST CONSTRUCTION MANAGEMENT CALCULATIONS FOR TRBL WALNUT, LLC, 615 & 617 S. WALNUT STREET, DATED APRIL 27, 2026, LAST REVISED JUNE 26, 2026.
- IN ACCORDANCE WITH SECTION 97-38.1 E, THE APPLICANT IS PROPOSING TO PROVIDE A FEE IN LIEU OF ACREAGE TO BE SET ASIDE FOR RECREATION AND OPEN SPACE.
- AFTER ALL PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED, THE FULL WIDTH OF WILLOW ALLEY SHALL BE MILLED AND OVERLAID FOR THE EXTENT OF THE FRONTAGE OF THE PROPERTY.
- ACCESS TO THE ALLEYS AND ADJACENT RESIDENTIAL DRIVEWAYS SHALL BE AVAILABLE AT ALL TIMES AND NOT UTILIZED FOR CONSTRUCTION PURPOSES. IF CONSTRUCTION REQUIRES TEMPORARY CLOSURE OF AN ALLEY, SIGNAGE AND DETOURS SHALL BE POSTED PER WEST CHESTER BOROUGH REQUIREMENTS.
- EACH NEW DWELLING SHALL BE CONSTRUCTED TO PROVIDE A DEDICATED BRANCH CIRCUIT AND OVER CURRENT PROTECTION TO ACCOMMODATE A FUTURE LEVEL 2 EVCS INSTALLATION, WITH A WIRED RECEPTACLE AND RACEWAY TERMINATION WITHIN CLOSE PROXIMITY TO VEHICLE PARKING.
- THE ONE-CAR GARAGE IN EACH DWELLING SHALL MAINTAIN A 9-FOOT BY 18-FOOT OPEN PARKING SPACE AREA.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED SECTIONS OF EXISTING SEWER MAIN THAT IS ENCOUNTERED/CAUSED DURING LATERAL CONNECTIONS.
- THE NEW DWELLING UNITS FRONTING ON WILLOW ALLEY WILL HAVE A BASEMENT BATHROOM THAT UTILIZES A SEWER PUMP THAT WILL PUMP INTO THE BUILDING'S INTERNAL GRAVITY PLUMBING BEFORE THE GRAVITY SEWER LEAVES THE BUILDING.
- THE TWO (2) PROPOSED OFF-STREET PARKING SPACES LOCATED ALONG WILLOW ALLEY SHALL BE RESTRICTED TO USE BY THE EXISTING TWIN DWELLING LOCATED AT 615 S. WALNUT STREET, AND THE TWO (2) PROPOSED OFF-STREET PARKING SPACES LOCATED ALONG MECHANICS' ALLEY SHALL BE RESTRICTED TO USE BY THE EXISTING TWIN DWELLING LOCATED AT 617 S. WALNUT STREET.

WAIVER REQUESTS:

- THE FOLLOWING WAIVERS ARE REQUESTED FROM THE WEST CHESTER BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:
- §97-27 (7) - THE APPLICANT REQUESTS A WAIVER FROM THE REFERENCED SECTION OF THE ORDINANCE THAT REQUIRES 75-FOOT CLEAR-SIGHT TRIANGLES BE PROVIDED AT THE ALL STREET INTERSECTIONS. THE 75-FOOT CLEAR-SIGHT TRIANGLE AT THE WILLOW ALLEY INTERSECTION WITH MECHANICS' ALLEY IS BLOCKED BY EXISTING BUILDINGS ON ADJOINING PROPERTIES AND THE PROPOSED NEW DWELLINGS ON OUR SITE.
 - §97-38.2 - THE APPLICANT REQUESTS A WAIVER FROM THE REFERENCED SECTION OF THE ORDINANCE THAT REQUIRES A TRANSPORTATION IMPACT STUDY. THE PROJECT PROPOSES FIVE ATTACHED SINGLE-FAMILY HOMES IN AN URBAN AREA, THE ADDITIONAL DAILY TRIPS GENERATED FROM THIS DEVELOPMENT ARE RELATIVELY MINOR, AND WILL NOT HAVE AN ADVERSE EFFECT ON THE TRANSPORTATION NETWORK.

PRELIMINARY
LAND DEVELOPMENT PLAN
FOR
TRBL WALNUT, LLC

615 & 617 S. WALNUT STREET, WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA



SHEET INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	TITLE PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	LAYOUT PLAN
5	IMPROVEMENTS CONSTRUCTION PLAN
6	PCSM PLAN
7	PCSM DETAILS 'A'
8	PCSM DETAILS 'B'
9	CONSERVATION & EROSION & SEDIMENT CONTROL PLAN
10	EROSION & SEDIMENT CONTROL DETAILS
11	LANDSCAPE PLAN
12	LIGHTING PLAN
13	CONSTRUCTION DETAILS 'A'
14	CONSTRUCTION DETAILS 'B'
15	TRUCK TURNING PLAN

CERTIFICATION OF OWNERSHIP AND
ACKNOWLEDGMENT OF SUBDIVISION AND
LAND DEVELOPMENT PLANS

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THAT THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN. MY COMMISSION EXPIRES: _____

(NOTARY PUBLIC OR OTHER OFFICER)

REVIEWED BY THE PLANNING COMMISSION OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CCPC FILE # _____

SECRETARY

REVIEWED BY THE BOROUGH ENGINEER OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.

BOROUGH ENGINEER

APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CHESTER, AT WEST CHESTER, PA, IN PLAN BOOK _____, PAGE NO _____, ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS

ENGINEER'S CERTIFICATION:

I, SCOTT J. ZWIZANSKI, ON THIS DATE 06/26/2026, HEREBY CERTIFY THAT THE PLANS ARE IN CONFORMITY WITH ZONING, BUILDING, SUBDIVISION AND OTHER APPLICABLE BOROUGH CHAPTERS AND REGULATIONS. IN ANY INSTANCE WHERE SUCH PLANS DO NOT CONFORM, EVIDENCE SHALL BE PRESENTED THAT AN EXCEPTION OR MODIFICATION HAS BEEN GRANTED OR AUTHORIZED.

Scott J. Zwizanski
SCOTT J. ZWIZANSKI, P.E.

APPLICANT'S CERTIFICATION:

I, _____, ON THIS DATE _____, HEREBY CERTIFY THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITATION, AND OTHER APPLICABLE BOROUGH CHAPTERS AND REGULATIONS. IF PROPOSED ZONING CHANGES ARE SHOWN, THEN THE SUGGESTED LOCATIONS OF BUILDINGS IN CONNECTION THEREWITH ARE IDENTIFIED HEREON.

APPLICANT

ZONING DATA
NC-2 NEIGHBORHOOD CONSERVATION DISTRICT
SINGLE-FAMILY ATTACHED

DESCRIPTION	REQUIRED	EXISTING		PROPOSED	
		UPE 1-10-92	UPE 1-10-93		
MINIMUM LOT AREA	MEDIAN AREA OF LOTS ON THE BLOCK FACE	1,936 S F (0 04 AC)	4,128 S F (0 095 ACRES)	9,888 S F (0 227 ACRES)	14,016 S F (0 322 ACRES)
LOT WIDTH, MINIMUM (ATTACHED)	20 FEET	16 8 FEET*	55 23 FEET	72 03 FEET	
BUILD-TO LINE/FRONT YARD	MATCH EXISTING ADJACENT SETBACKS	17 FEET	16 9 FEET	16 9 FEET (WALNUT ST)	
SIDE YARD, MINIMUM	EXISTING ADJACENT, 10 FEET MINIMUM	3 2 FEET/0 FEET	31 2 FEET /0 FEET	3 2 FEET	
REAR YARD, MINIMUM	20 FEET	132 5 FEET	133 5 FEET	20 5 FEET	
MAX IMPERVIOUS COVERAGE	50% (LOTS OVER 5,000 S F) 80% (LOTS UNDER 4,000 S F)	30 4% (1,253 S F)	16 9% (1,670 S F)	49 6% (6,950 S F)	
MAX BUILDING COVERAGE	35% (LOTS OVER 5,000 S F) 45% (LOTS UNDER 4,000 S F)	18 5% (764 S F)	76 5% (638 S F)	34 9% (4,896 S F)	
MAXIMUM BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	
* EXISTING NON-CONFORMITY					

OWNER OF RECORD:

TRBL WALNUT, LLC
842 TOPAZ DRIVE
WEST CHESTER, PA 19382

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Pennsylvania One Call System
PA act 172 of 1986 requires
three working days notice

20253170513, 20253170655, 20253170702

PENNSYLVANIA ACT 187 REQUIREMENTS:
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INLAND DESIGN
Engineering, Surveying & Land Planning
www.InLandDesign.net

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SCOTT J. ZWIZANSKI
ENGINEER
PE091752

No. 1 Date: 06/26/2026 Description: REVISED PER TWP REVIEWS

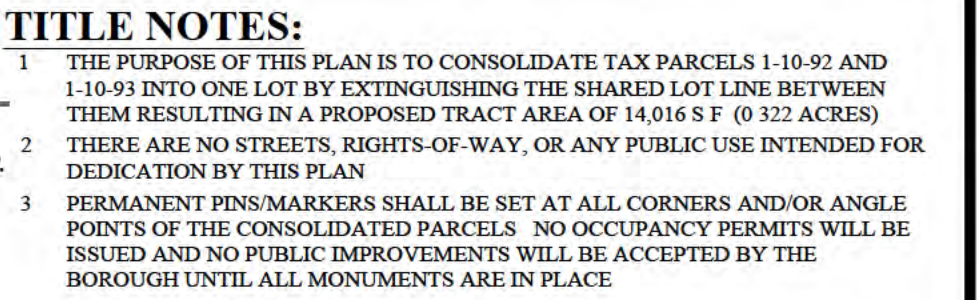
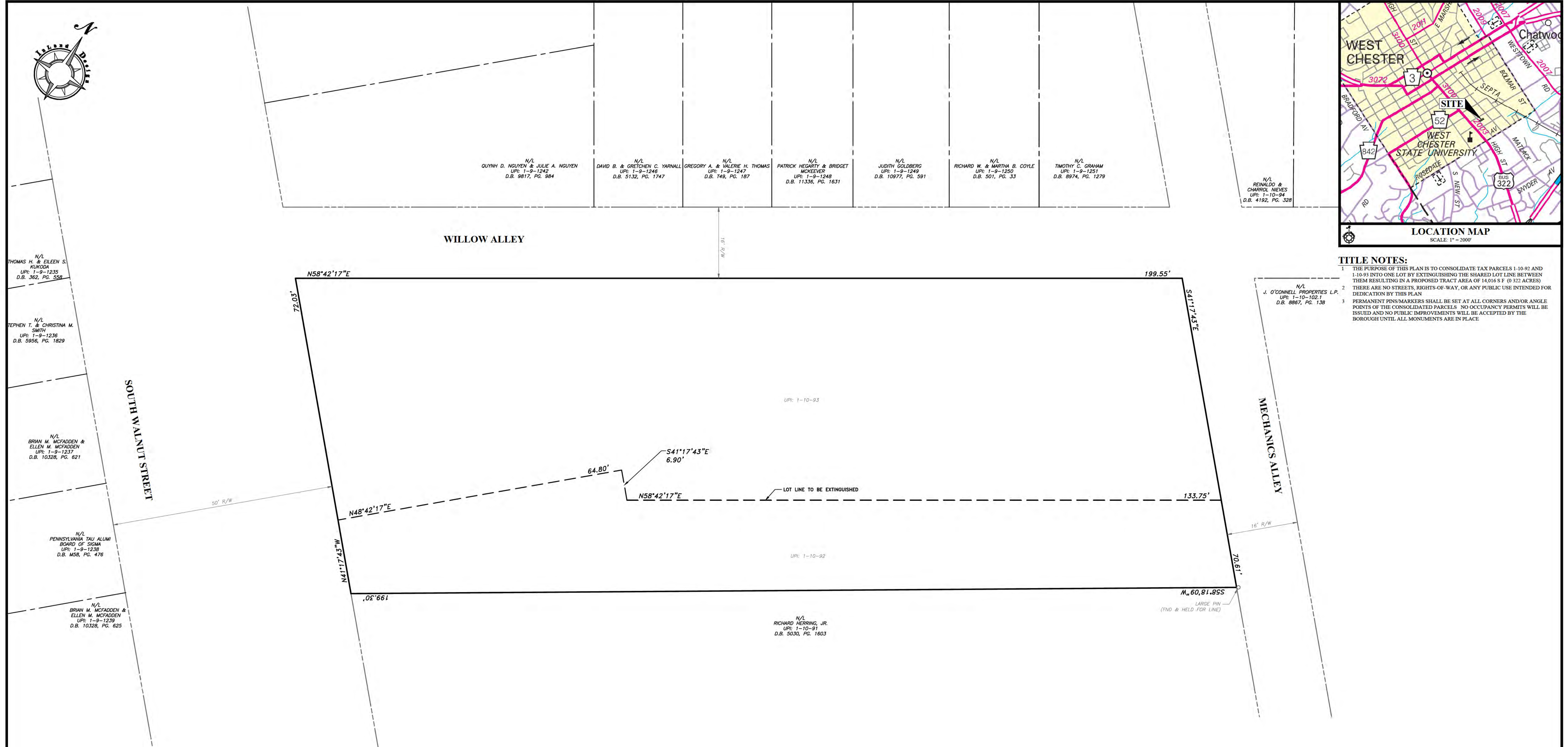
**PRELIMINARY
LAND DEVELOPMENT PLAN**

Date: 4/27/2026
Scale: AS NOTED
Drawn by: MMH
Checked by: SJZ
Project No. 12706

**COVER SHEET
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

**S H E E T
1
OF 15**

UPI: 1-10-92 | DEED BOOK 9953 | PAGE 1611 & UPI: 1-10-93 | DEED BOOK 9953 | PAGE 1603

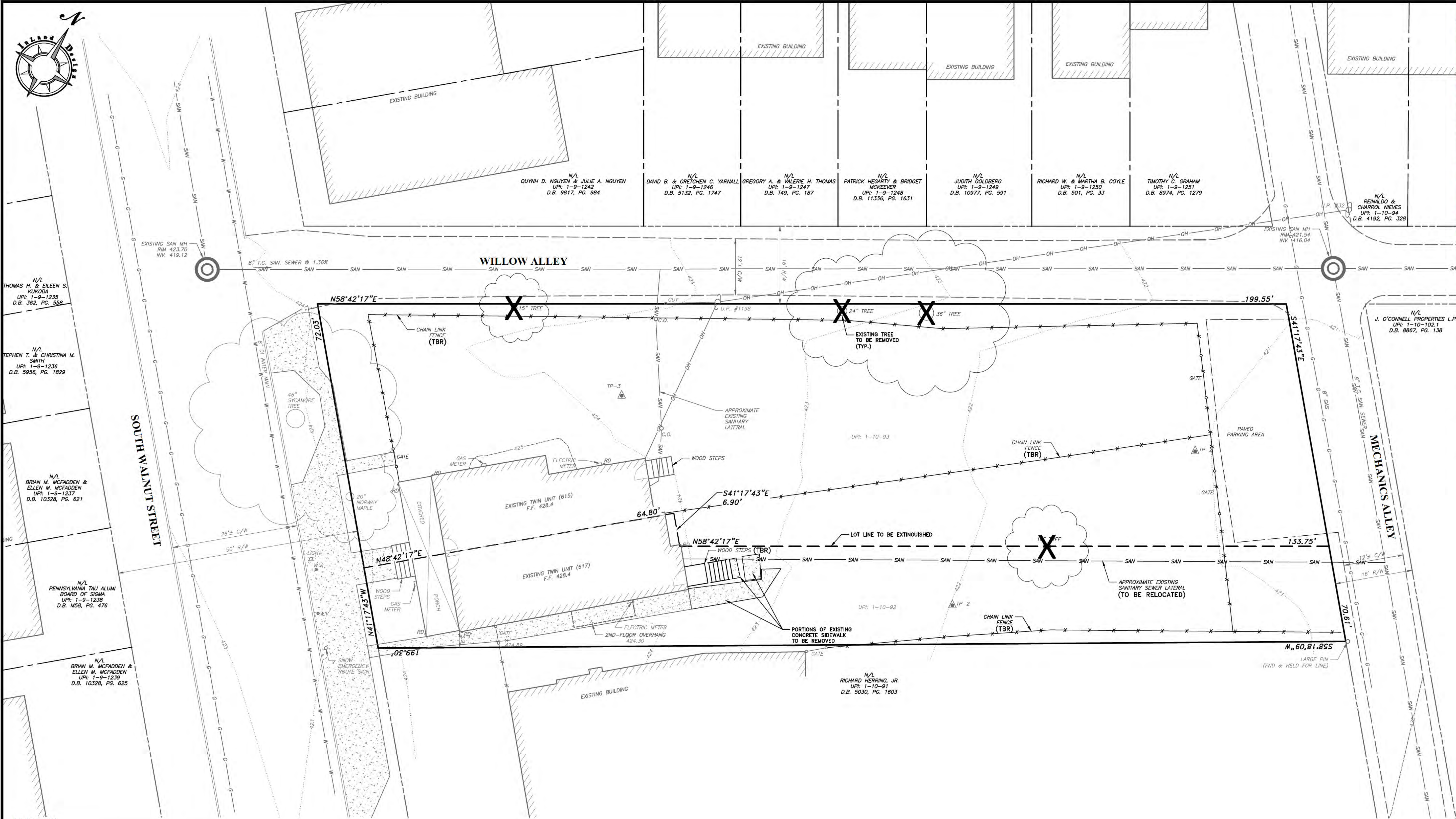


OWNER OF RECORD:
TRBL WALNUT, LLC
842 TOPAZ DRIVE
WEST CHESTER, PA 19382

S H E E T

2

OF 15



LOCATION MAP
SCALE: 1" = 2000'

DEMOLITION NOTES:

- 1 THE EARTHWORK/SITE CONTRACTOR SHALL REMOVE AND/OR DEMOLISH ALL OF THE ANCILLARY FEATURES WHICH INTERFERE AND/OR CONFLICT WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FENCES, FENCE POSTS AND FOOTINGS, POSTS, VEGETATION, PADS, STEPS, SIGNS, BOLLARDS, CURBING, RAILINGS, ETC. INCLUDING EXISTING IMPROVEMENTS THAT MAY NOT BE SHOWN ON THESE PLANS. REMOVAL OF TREES MUST INCLUDE REMOVAL OF THE STUMPS.
- 2 THE EARTHWORK/SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY PROVIDERS/OWNERS TO DISCONNECT THE EXISTING UTILITY SERVICES TO THE EXISTING BUILDING(S) AND/OR SITE PRIOR TO BEGINNING DEMOLITION. SERVICES, INCLUDING BUT NOT LIMITED TO STORM SEWER, ELECTRIC, SANITARY SEWER, GAS, TELEPHONE, AND WATER, MUST BE REMOVED AS DIRECTED BY THE APPROPRIATE UTILITY PROVIDERS/OWNERS.
- 3 THE EXISTING SANITARY SEWER LATERALS IN MECHANICS ALLEY SHALL BE CUT AND CAPPED AT THE SEWER MAIN TO MINIMIZE THE FUTURE RISK OF INFILTRATION. THE EXISTING LATERAL IS PROPOSED TO BE RELOCATED TO CONNECT IN WILLOW ALLEY.
- 4 THE ENTIRE LENGTH OF THE EXISTING SEWER LATERAL, FOR 617 S WALNUT, BEING ABANDONED SHALL BE REMOVED.
- 5 ALL DEBRIS FROM THE DEMOLISHED STRUCTURES THAT IS NOT REUSED AS FILL IS TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE STANDARDS. DEMOLISHED MATERIALS REUSED AS FILL MATERIAL SHALL BE COMPLETED PER THE DIRECTION OF THE SOILS ENGINEER.
- 6 ALL DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE, AND/OR OTHER GOVERNING BODIES STANDARDS.
- 7 CONTRACTOR SHALL IMPLEMENT MEASURES TO PREVENT DUST FROM LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
- 8 ANY EXISTING IMPROVEMENTS THAT ARE NOT TO BE DEMOLISHED, EITHER ON-SITE OR OFF-SITE (I.E. EXISTING ROAD, EXISTING CURBING, EXISTING UTILITIES, ETC.) DAMAGED BY THE EARTHWORK/SITE CONTRACTOR DURING CONSTRUCTION MUST BE REPAIRED BY THE EARTHWORK/SITE CONTRACTOR TO THEIR PRE-CONSTRUCTION CONDITION.

LEGEND

	PROPERTY BOUNDARY
	EXISTING RIGHT OF WAY LINE
	EXISTING 1" CONTOUR W/ ELEVATION
	EXISTING 5" CONTOUR W/ ELEVATION
	EXISTING CONCRETE
	EXISTING TREE SYMBOLS
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING FENCE LINE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES TO BE REMOVED

MEDIAN LOT AREA CALCULATION

UPI:	PROPERTY LOCATION:	PROPERTY TYPE:	Lot Area (AC)	Lot Area(SF)	Area/unit(SF)
1-10-84	633 S WALNUT ST	3 Apts. & STORE	0.1351	5,883	1,961
1-10-86	631 S WALNUT ST	Dwelling	0.1024	4,460	4,460
1-10-87	629 S WALNUT ST	Dwelling	0.1286	5,600	5,600
1-10-88	627 S WALNUT ST	Dwelling	0.3107	13,532	13,532
1-10-89	625 S WALNUT ST	2 Apts.	0.1000	4,356	2,178
1-10-90	623 S WALNUT ST	2 Apts.	0.1000	4,356	2,178
1-10-91	621 S WALNUT ST	8 Apts.	0.1955	8,514	1,064
1-10-92	617 S WALNUT ST	Dwelling	0.0872	3,800	3,800
1-10-93	615 S WALNUT ST	Dwelling	0.2523	10,990	10,990
1-9-1242	607 S WALNUT ST	Dwelling	0.0366	1,596	1,596
1-9-1243	605 S WALNUT ST	Dwelling	0.0386	1,680	1,680
1-9-1244	603 S WALNUT ST	Dwelling	0.0405	1,764	1,764
1-9-1245	601 S WALNUT ST	Dwelling	0.0444	1,936	1,936
Median Value Of Lots On The Block Face:				1,936	

EXISTING IMPERVIOUS COVERAGE

	UPI: 1-10-92	UPI: 1-10-93	TOTAL TRACT
DWELLING	764 S F	638 S F	1,402 S F
COVERED PORCH	112 S F	112 S F	224 S F
CONCRETE	326 S F	53 S F	379 S F
PAVING	0 S F	834 S F	834 S F
WOOD STEPS	51 S F	33 S F	84 S F
TOTAL EXISTING IMPERVIOUS	1,253 S F	1,670 S F	2,923 S F

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S H W T	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UdB	URBAN LAND-GLADSTONE COMPLEX	0% - 8%	MODERATE ABOUT 6.9 INCHES	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A

AREA OF TRACT

UPI: 1-10-92 GROSS LOT AREA	4,128 S F (0.095 ACRES)
UPI: 1-10-93 GROSS LOT AREA	9,888 S F (0.227 ACRES)
TOTAL TRACT GROSS LOT AREA	14,016 S F (0.322 ACRES)

OWNER OF RECORD:

TRBL WALNUT, LLC
842 TOPAZ DRIVE
WEST CHESTER, PA 19382

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Pennsylvania One Call System
PA act 172 of 1986 requires three working days notice
Serial Numbers:
20253170513, 20253170655, 20253170702

PENNSYLVANIA ACT 187 REQUIREMENTS:
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UP: 1-10-92 | DEED BOOK 9953 | PAGE 1611 & UP: 1-10-93 | DEED BOOK 9953 | PAGE 1603

INLAND DESIGN
Engineering, Surveying & Land Planning

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SCOTT H. ZWIZANSKI
ENGINEER
PE091752

No.	Date:	Description:
1	06/26/2026	REVISED PER TWP REVIEWS

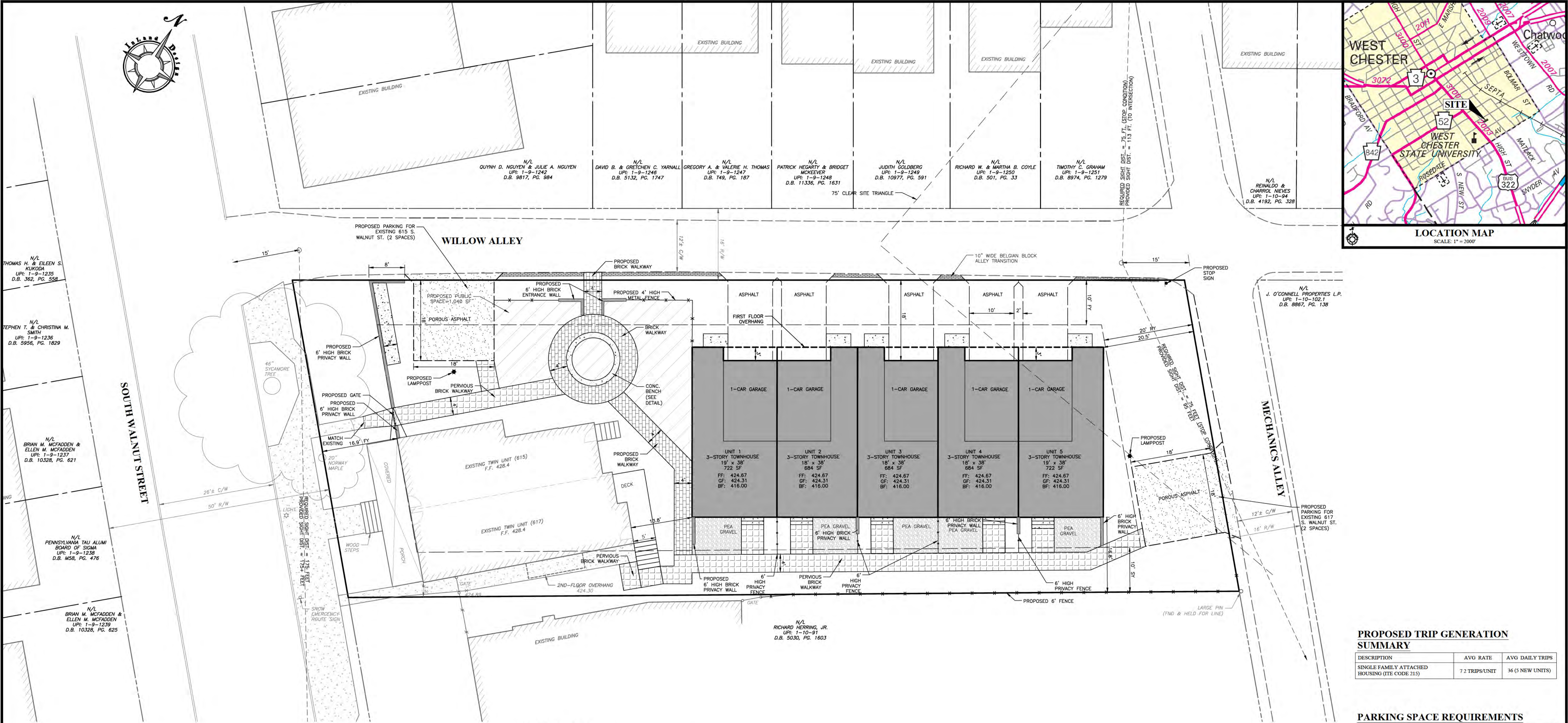
PRELIMINARY LAND DEVELOPMENT PLAN

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10'

Date:
4/27/2026
Scale:
1" = 10'
Drawn by:
MMH
Checked by:
SIJZ
Project No.
12706

EXISTING CONDITIONS & DEMOLITION PLAN
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

S H E E T
3
OF 15



LEGEND

	PROPERTY BOUNDARY		PROPOSED SETBACK LINE
	EXISTING RIGHT OF WAY LINE		PROPOSED ROAD / PAVING
	EXISTING 1' CONTOUR W/ ELEVATION		PROPOSED POROUS ASPHALT
	EXISTING 5' CONTOUR W/ ELEVATION		PROPOSED CONCRETE SIDEWALK
	EXISTING CONCRETE		PROPOSED BELGIAN BLOCK ALLEY TRANSITION
	EXISTING TREE SYMBOLS		PROPOSED IMPERVIOUS BRICK
	EXISTING LIGHT		PROPOSED PERVIOUS BRICK
	EXISTING UTILITY POLE		PROPOSED COMMON AREA PUBLIC SPACE
	EXISTING WATER VALVE		
	EXISTING SIGN		
	EXISTING FENCE LINE		
	EXISTING SANITARY STRUCTURES & PIPE		
	EXISTING CURB LINE		
	EXISTING ROAD / PAVING		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING OVERHEAD WIRES		

ZONING DATA NC-2 NEIGHBORHOOD CONSERVATION DISTRICT SINGLE-FAMILY ATTACHED

DESCRIPTION	REQUIRED	EXISTING		PROPOSED
		UPI: 1-10-92	UPI: 1-10-93	
MINIMUM LOT AREA	MEDIAN AREA OF LOTS ON THE BLOCK FACE 1,936 S F (0.04 AC)	4,128 S F (0.095 ACRES)	9,888 S F (0.227 ACRES)	14,016 S F (0.322 ACRES)
LOT WIDTH, MINIMUM (ATTACHED)	20 FEET	16.8 FEET*	55.23 FEET	72.03 FEET
BUILD-TO LINE/FRONT YARD	MATCH EXISTING ADJACENT SETBACKS	17 FEET	16.9 FEET	16.9 FEET (WALNUT ST.)
SIDE YARD, MINIMUM	EXISTING ADJACENT, 10 FEET MINIMUM	3.2 FEET/0 FEET	31.2 FEET /0 FEET	3.2 FEET
REAR YARD, MINIMUM	20 FEET	132.5 FEET	133.5 FEET	20.5 FEET
MAX. IMPERVIOUS COVERAGE	50% (LOTS OVER 5,000 S F) 80% (LOTS UNDER 4,000 S F)	30.4% (1,253 S F)	16.9% (1,670 S F)	49.6% (6,950 S F)
MAX. BUILDING COVERAGE	35% (LOTS OVER 5,000 S F) 45% (LOTS UNDER 4,000 S F)	18.5% (764 S F)	76.5% (638 S F)	34.9% (4,896 S F)
MAXIMUM BUILDING HEIGHT	35 FEET	<35 FEET	<35 FEET	<35 FEET
* EXISTING NON-CONFORMITY				

PROPOSED BUILDING COVERAGE:

DESCRIPTION	PROPOSED
EXISTING DWELLINGS	1,401 S F
PROPOSED DWELLINGS	3,495 S F
TOTAL BUILDING COVERAGE	4,896 S F
BUILDING COVERAGE PERCENTAGE = (TOTAL BUILDING COVERAGE / LOT AREA) X 100	

PROPOSED POROUS/PERVIOUS PAVING/WALKWAY COVERAGE:

DESCRIPTION	PROPOSED
PROPOSED PERVIOUS BRICK WALKWAY	1,249 S F
PROPOSED POROUS ASPHALT	664 S F
PROPOSED PERVIOUS PEA GRAVEL	408 S F
TOTAL	2,321 S F

PROPOSED IMPERVIOUS COVERAGE:

DESCRIPTION	PROPOSED
EXISTING BUILDING	1,401 S F
EXISTING FRONT PORCH	224 S F
EXISTING CONCRETE	283 S F
EXISTING DECK/STAIRS	47 S F
PROPOSED BUILDING	3,495 S F
PROPOSED DECK/STAIRS	124 S F
PROPOSED WALLS	50 S F
PROPOSED ASPHALT DRIVEWAYS	754 S F
PROPOSED IMPERVIOUS WALKWAYS/STEPS	619 S F
TOTAL IMPERVIOUS	6,950 S F

OWNER OF RECORD:

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WEST CHESTER, PA 19382

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PENNSYLVANIA ACT 187 REQUIREMENTS:
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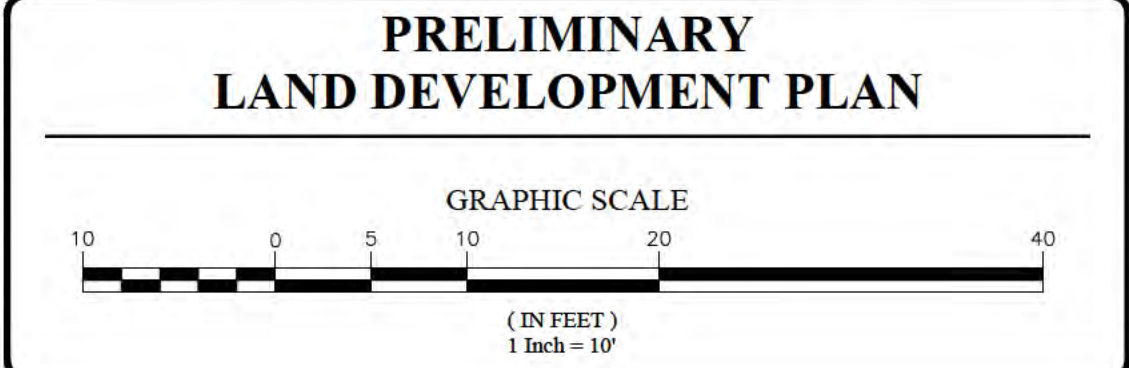
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SCOTT H. ZWIZANSKI
ENGINEER
PE091752

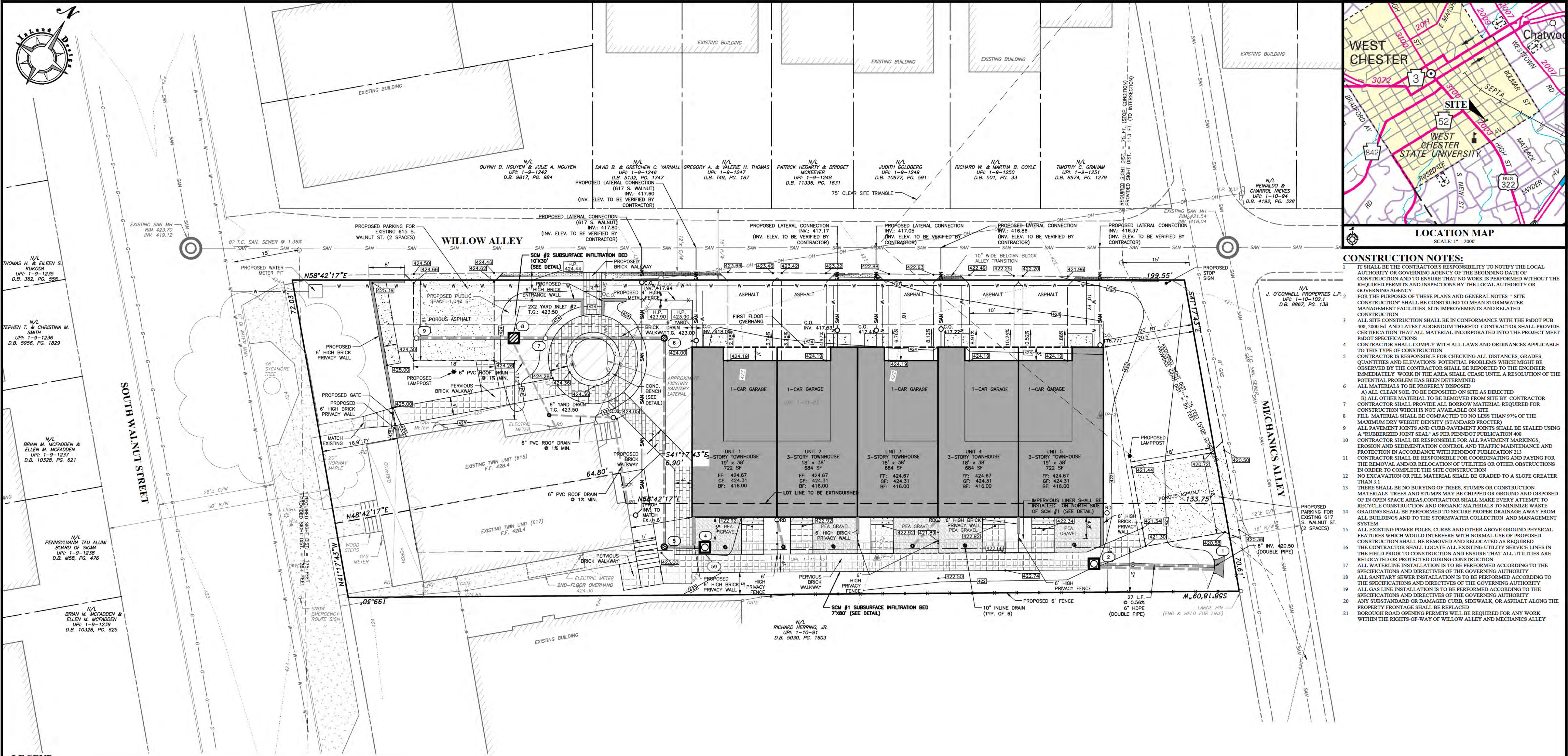
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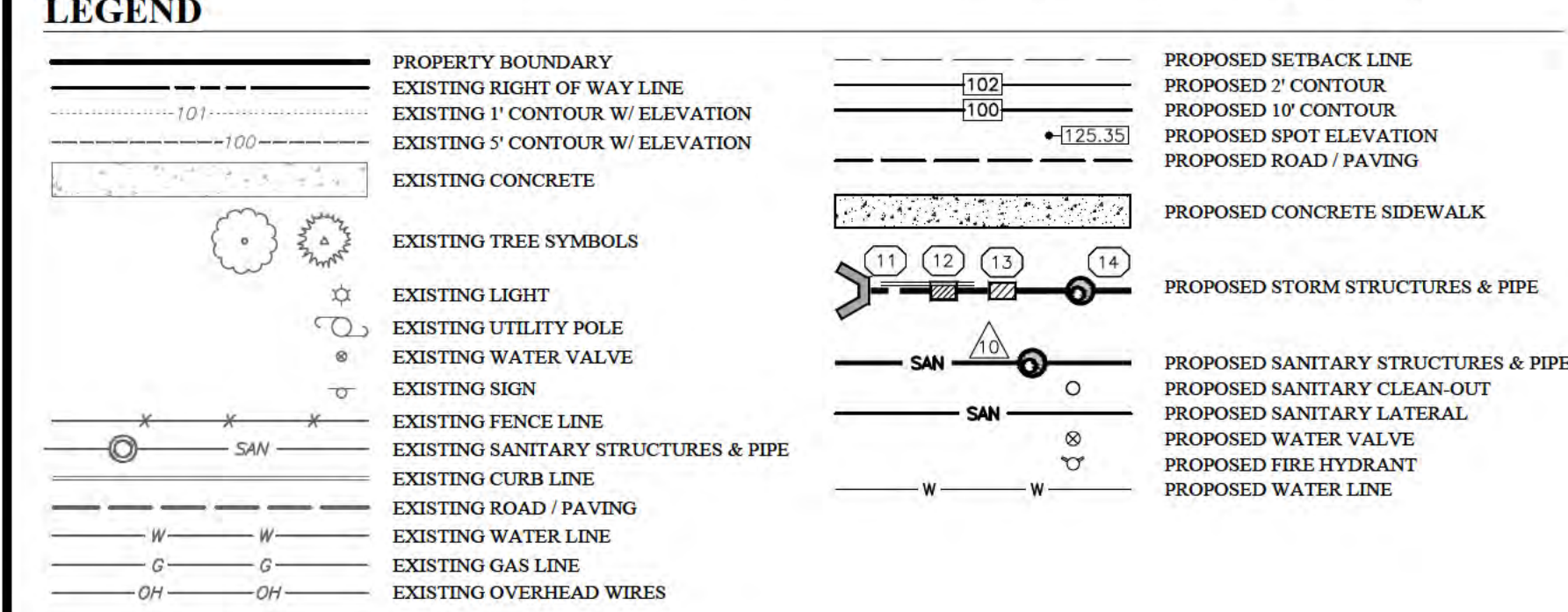
Date: 4/27/2026
Scale: 1" = 10'
Drawn by: MMH
Checked by: SJZ
Project No. 12706

**LAYOUT PLAN
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

**S H E E T
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- CONSTRUCTION NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
 - FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES, "SITE CONSTRUCTION" SHALL BE CONSTRUED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION.
 - ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PADOT PUB 408, 2000 ED. AND LATEST ADDENDUM THERETO. CONTRACTOR SHALL PROVIDE CERTIFICATION THAT ALL MATERIAL INCORPORATED INTO THE PROJECT MEET PADOT SPECIFICATIONS.
 - CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES APPLICABLE TO THIS TYPE OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES AND ELEVATIONS. POTENTIAL PROBLEMS WHICH MIGHT BE OBSERVED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. WORK IN THE AREA SHALL CEASE UNTIL A RESOLUTION OF THE POTENTIAL PROBLEM HAS BEEN DETERMINED.
 - ALL MATERIALS TO BE PROPERLY DISPOSED.
A) ALL CLEAN SOIL TO BE DEPOSITED ON SITE AS DIRECTED.
B) ALL OTHER MATERIAL TO BE REMOVED FROM SITE BY CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE ALL BORROW MATERIAL REQUIRED FOR CONSTRUCTION WHICH IS NOT AVAILABLE ON SITE.
 - FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 97% OF THE MAXIMUM DRY WEIGHT DENSITY (STANDARD PROCTER).
 - ALL PAVEMENT JOINTS AND CURB-PAVEMENT JOINTS SHALL BE SEALED USING A "RUBBERIZED JOINT SEAL" AS PER PENNDOT PUBLICATION 408.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT MARKINGS, EROSION AND SEDIMENTATION CONTROL AND TRAFFIC MAINTENANCE AND PROTECTION IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REMOVAL AND/OR RELOCATION OF UTILITIES OR OTHER OBSTRUCTIONS IN ORDER TO COMPLETE THE SITE CONSTRUCTION.
 - NO EXCAVATION OR FILL MATERIAL SHALL BE GRADED TO A SLOPE GREATER THAN 3:1.
 - THERE SHALL BE NO BURYING OF TREES, STUMPS OR CONSTRUCTION MATERIALS. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND DISPOSED OF IN OPEN SPACE AREAS. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE CONSTRUCTION AND ORGANIC MATERIALS TO MINIMIZE WASTE.
 - GRADING SHALL BE PERFORMED TO SECURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS AND TO THE STORMWATER COLLECTION AND MANAGEMENT SYSTEM.
 - ALL EXISTING POWER POLES, CURBS AND OTHER ABOVE GROUND PHYSICAL FEATURES WHICH WOULD INTERFERE WITH NORMAL USE OF PROPOSED CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS REQUIRED.
 - THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES IN THE FIELD PRIOR TO CONSTRUCTION AND ENSURE THAT ALL UTILITIES ARE RELOCATED OR PROTECTED DURING CONSTRUCTION.
 - ALL WATERLINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
 - ALL SANITARY SEWER INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
 - ALL GAS LINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
 - ANY SUBSTANDARD OR DAMAGED CURB, SIDEWALK, OR ASPHALT ALONG THE PROPERTY FRONTAGE SHALL BE REPLACED.
 - BOROUGH ROAD OPENING PERMITS WILL BE REQUIRED FOR ANY WORK WITHIN THE RIGHTS-OF-WAY OF WILLOW ALLEY AND MECHANICS ALLEY.



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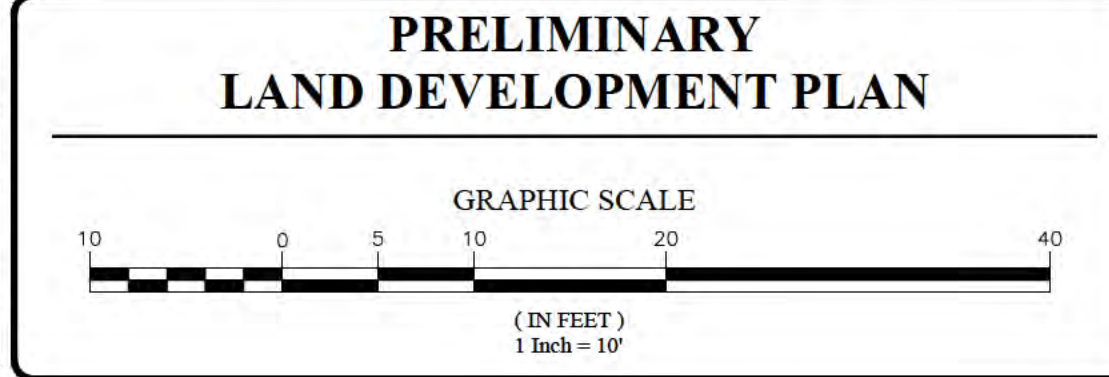
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SCOTT H. ZWIZANSKI
ENGINEER
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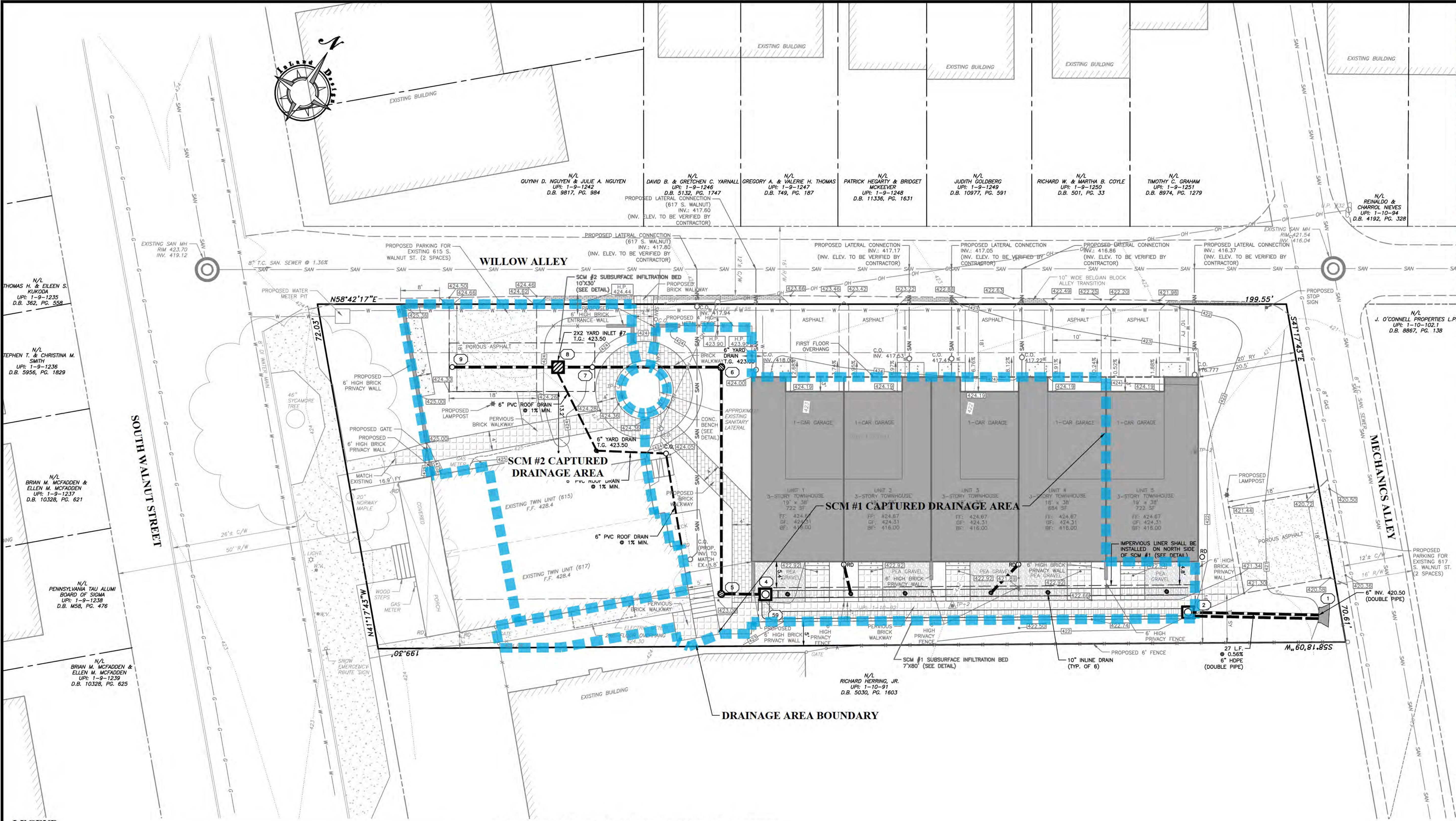


Date: 4/27/2026
Scale: 1" = 10'
Drawn by: MMH
Checked by: SJZ
Project No. 12706

IMPROVEMENTS CONSTRUCTION PLAN
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

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OWNER OF RECORD:
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LOCATION MAP
SCALE: 1" = 200'

BMP SUMMARY:

- STRUCTURAL BMPs**
- SUBSURFACE INFILTRATION BEDS - THE INFILTRATION BEDS ARE USED TO CONTROL THE RATE AND VOLUME OF RUNOFF FROM THE SITE AND ALSO ALLEVIATE THERMAL POLLUTION BY STORING STORMWATER UNDERGROUND

SWM SITE PLAN NOTES:

- A BLANKET EASEMENT IS HEREBY GRANTING THE BOROUGH OF WEST CHESTER THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED PCSW BMP MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP.
- THE STORMWATER MANAGEMENT BMPs SHOWN ON THIS PLAN ARE PERMANENT FIXTURES AND CANNOT BE ALTERED OR REMOVED WITHOUT THE APPROVAL OF THE MUNICIPALITY.
- NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
- THIS PLAN ALSO SERVES AS THE OPERATION & MAINTENANCE PLAN FOR THIS PROPERTY AND WILL BE RECORDED.
- THE APPLICANT, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
- AN AS-BUILT PLAN OF THE PROPOSED BMPs SHALL BE SUBMITTED TO THE MUNICIPALITY IN ACCORDANCE WITH THE STORMWATER ORDINANCE.
- THE APPLICANT ACKNOWLEDGES THAT, PER MUNICIPAL ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
- INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. ALL AREAS DESIGNATED FOR INFILTRATION SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
- ALL ROOF RUNOFF WITHIN THE CAPTURED DRAINAGE AREA BOUNDARY SHALL BE CONVEYED TO THE INFILTRATION BED.
- ALL ROOF DRAIN AREAS ARE TO BE 6" SDR35 PVC AT A MINIMUM 1% SLOPE UNLESS OTHERWISE NOTED.
- GUTTERS AND ROOF DRAIN ARE TO BE FITTED WITH GUTTER GUARDS (AND/OR DEBRIS FILTERS) TO KEEP LEAVES/DEBRIS OUT OF THE INFILTRATION BED.
- FOUNDATION PERIMETER DRAINS AND SUMP PUMP OUTLETS ARE NOT TO BE DIRECTED TO STORMWATER BMPs. OUTLET LOCATIONS ARE TO BE LOCATED IN THE FIELD DURING CONSTRUCTION.

LEGEND

	PROPERTY BOUNDARY		PROPOSED SETBACK LINE
	EXISTING RIGHT OF WAY LINE		PROPOSED 2' CONTOUR
	EXISTING 1' CONTOUR W/ ELEVATION		PROPOSED SPOT ELEVATION
	EXISTING 5' CONTOUR W/ ELEVATION		PROPOSED ROAD / PAVING
	EXISTING CONCRETE		PROPOSED CONCRETE SIDEWALK
	EXISTING TREE SYMBOLS		PROPOSED PERVIOUS BRICK
	EXISTING LIGHT		PROPOSED GRAVEL COURTYARD
	EXISTING UTILITY POLE		PROPOSED STORM STRUCTURES & PIPE
	EXISTING WATER VALVE		PROPOSED SANITARY STRUCTURES & PIPE
	EXISTING SIGN		PROPOSED SANITARY CLEAN-OUT
	EXISTING FENCE LINE		PROPOSED SANITARY LATERAL
	EXISTING SANITARY STRUCTURES & PIPE		PROPOSED WATER VALVE
	EXISTING CURB LINE		PROPOSED WATER LINE
	EXISTING ROAD / PAVING		POST DRAINAGE AREA
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING OVERHEAD WIRES		

BMP OPERATIONS AND MAINTENANCE PROCEDURES:

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMP. THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE PCSWM BMP FOR THIS PROJECT INCLUDE THE FOLLOWING:

SUBSURFACE INFILTRATION BEDS - INFILTRATION BEDS SHALL BE INSPECTED QUARTERLY AND AFTER RAINFALL EVENTS TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM. INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL SUBSURFACE INFILTRATION BED SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED IN THE SUMPED BOTTOM OF ALL INLETS TRIBUTARY TO THE SYSTEM SHALL BE CLEANED OUT TWICE PER YEAR.

FAILURE: IF A SYSTEM IS NOT DRAINING WITHIN 72 HOURS OF THE STORM EVENT, THE SYSTEM SHALL BE REPAIRED OR REPLACED AS REQUIRED.

ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE OWNER.

IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN TWO MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN SIX MONTHS.

THE PROPERTY OWNER, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE OWNER, HIS SUCCESSOR, OR ASSIGNS. THE OWNER IDENTITY & CONTACT INFORMATION CAN BE FOUND AT THE BOTTOM OF THIS SHEET.

APPLICANT'S SWM SITE PLAN ACKNOWLEDGEMENT:

I, SCOTT J. ZWIZANSKI, ON THIS DATE 6/26/2026, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF WEST CHESTER ORDINANCE NO. 94, BOROUGH OF WEST CHESTER'S STORMWATER MANAGEMENT ORDINANCE.

ENGINEER'S SWM SITE PLAN CERTIFICATION:

I, SCOTT J. ZWIZANSKI, ON THIS DATE 6/26/2026, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF WEST CHESTER ORDINANCE NO. 94, BOROUGH OF WEST CHESTER'S STORMWATER MANAGEMENT ORDINANCE.

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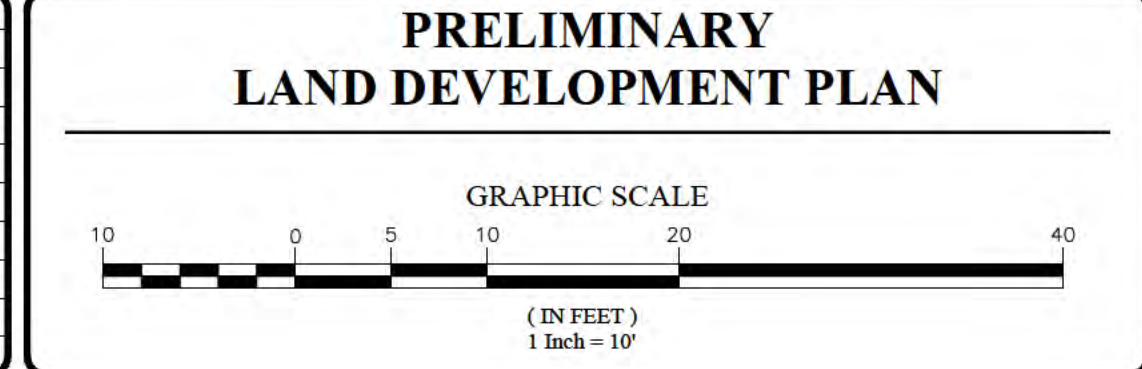
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REGISTERED PROFESSIONAL ENGINEER
SCOTT J. ZWIZANSKI
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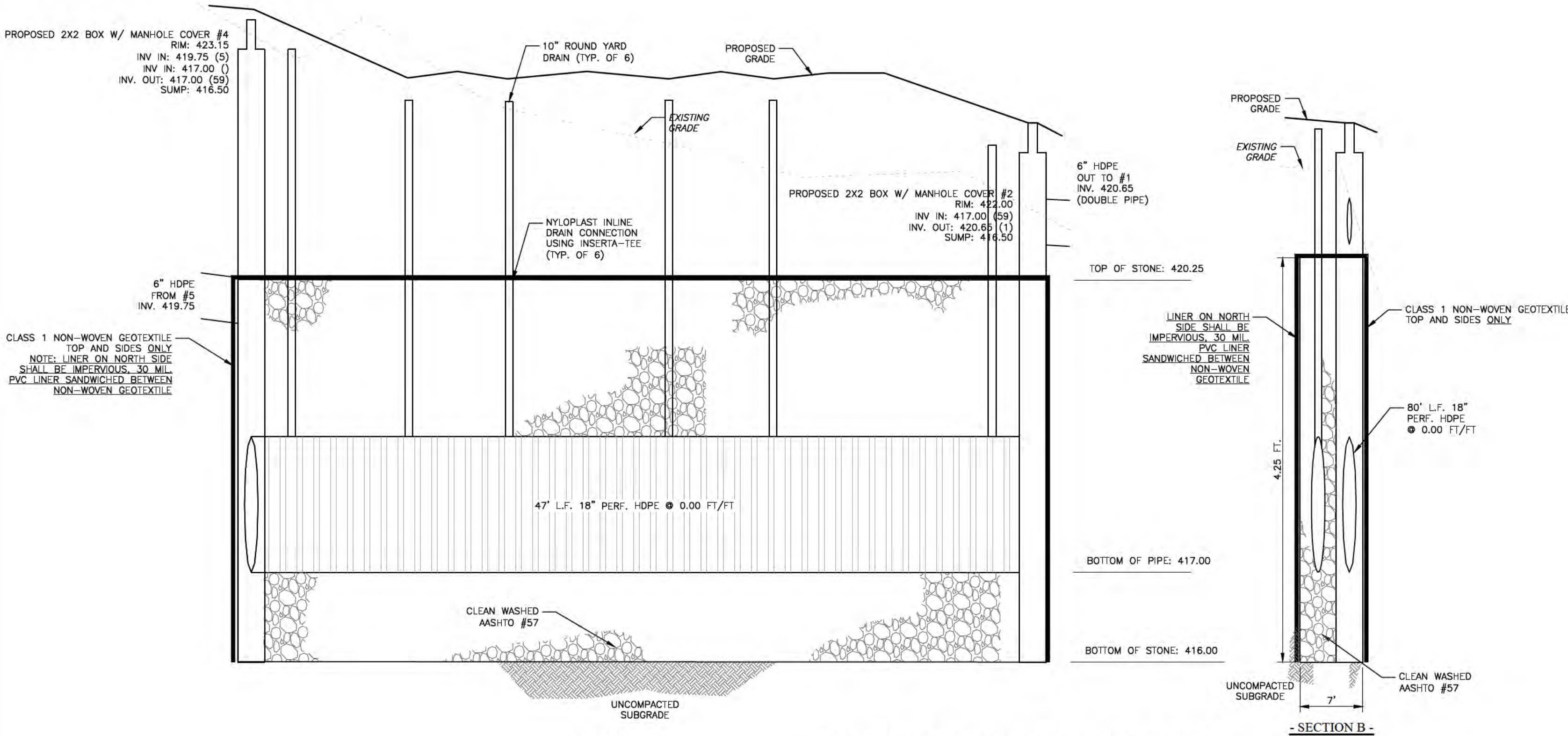
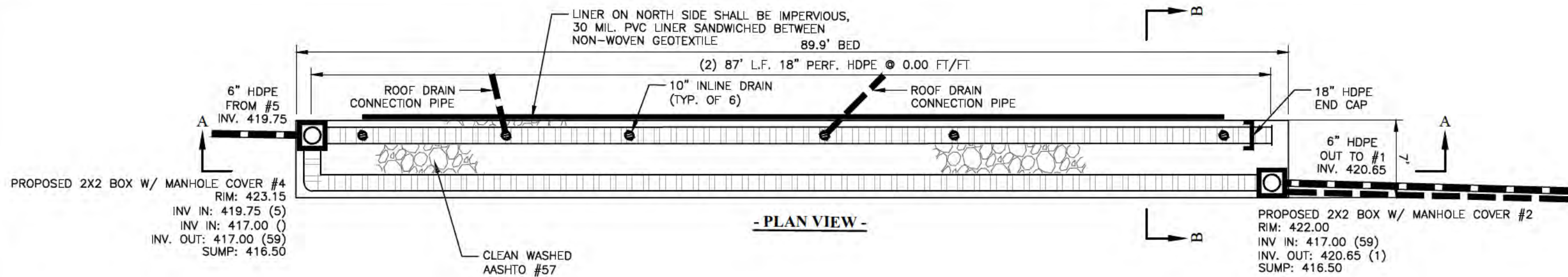
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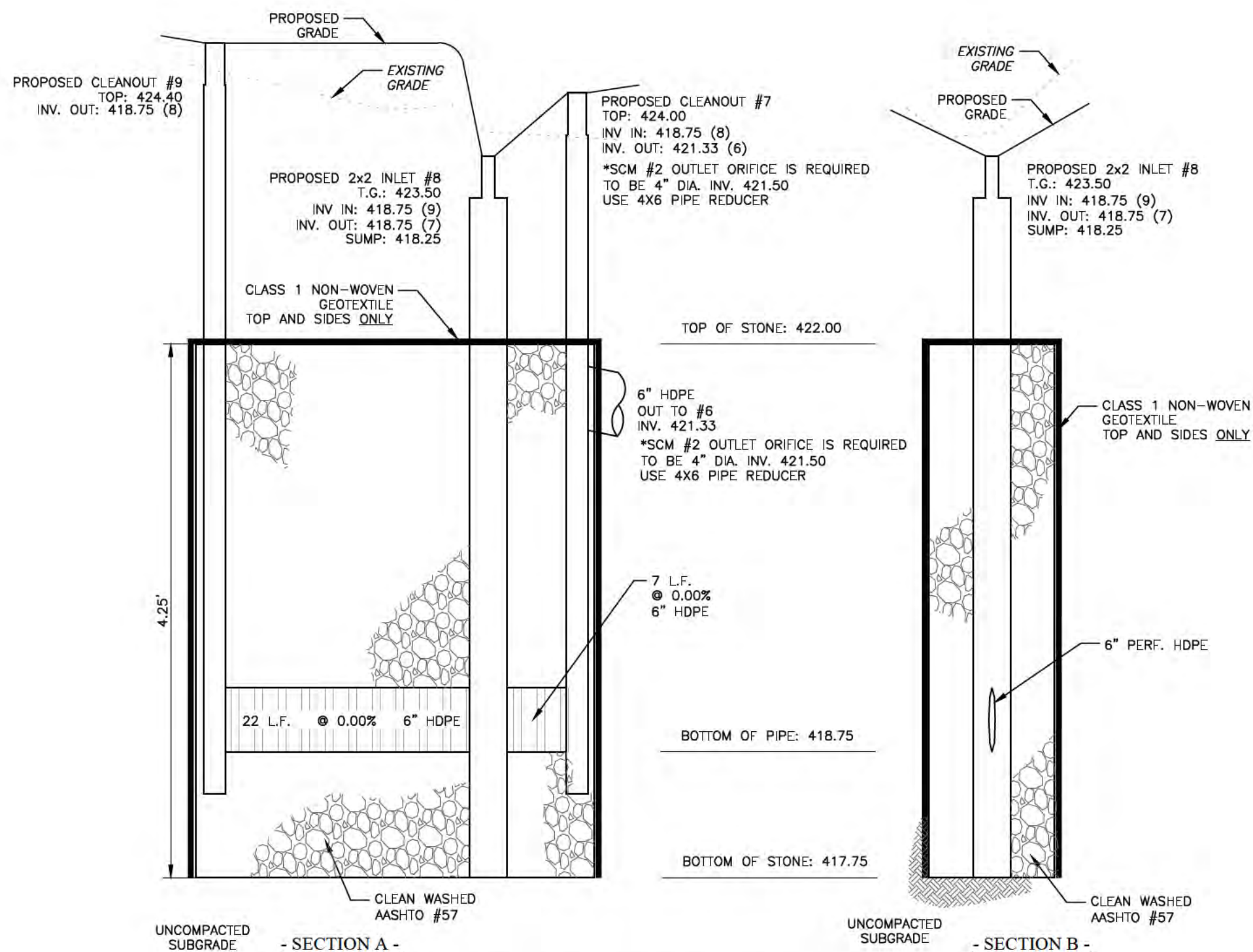
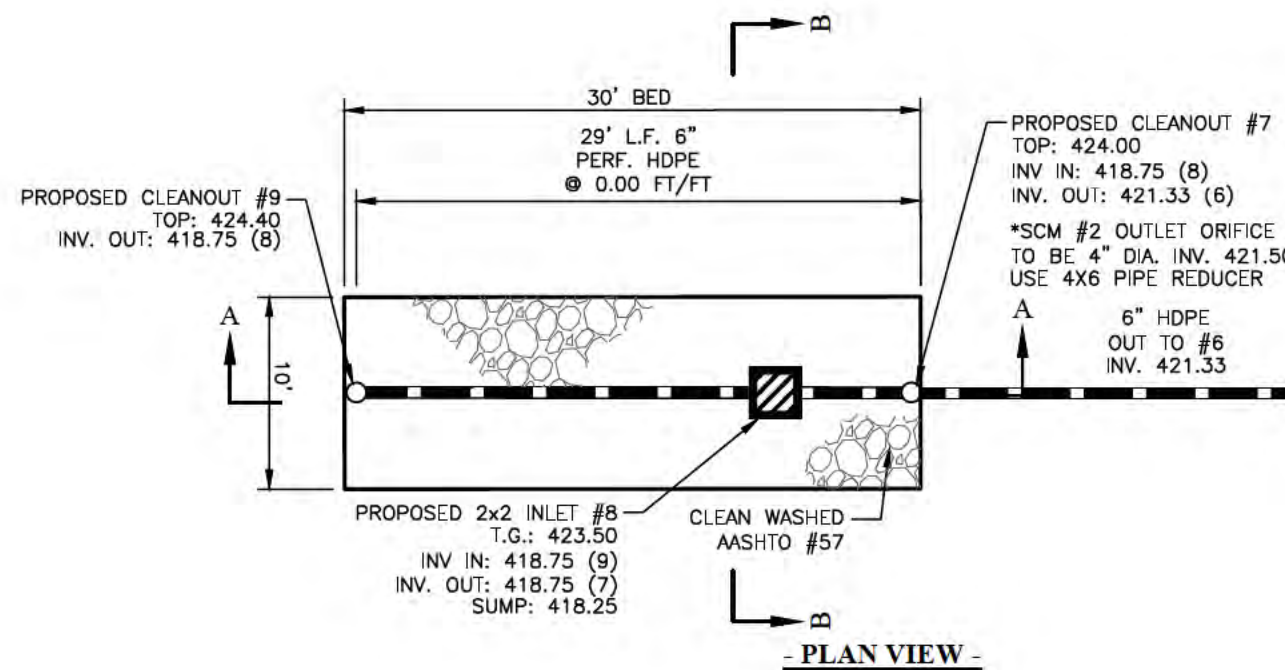
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PCSM PLAN FOR
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SHEET
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OF 15



SCM-1 SUBSURFACE INFILTRATION BED
(NOT TO SCALE)



SCM-2 SUBSURFACE INFILTRATION BED
(NOT TO SCALE)

SUBSURFACE INFILTRATION BED CONSTRUCTION SEQUENCE :

1. THE INSTALLATION OF THE SUBSURFACE INFILTRATION BEDS SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND CLOGGING OF THE SOIL STRUCTURE.
2. EXCAVATE THE SUBSURFACE INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE INFILTRATION ZONE. INSTALL 12" FILTER SOCK ALONG THE UPSLOPE PERIMETER OF THE EXCAVATED AREA TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE INFILTRATION AREA. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR FACILITY ROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE SUBSURFACE INFILTRATION BED, CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR.
3. ONCE EXCAVATION IS COMPLETE, PERFORM ADDITIONAL INFILTRATION TESTS IN EACH BED AREA AT THE PROPOSED BOTTOM OF BED ELEVATION USING THE DOUBLE RING INFILTROMETER METHOD TO VERIFY THE DESIGN TEST RESULTS. IF TESTED RATES DO NOT MEET THE DESIGN RATES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
4. SCARIFY THE BOTTOM OF THE EXCAVATION. PLACE FILTER FABRIC IN THE EXCAVATION AND TACK IT UP TO THE SIDES. ALLOW SUFFICIENT FABRIC TO OVERLAP THE TOP OF THE FACILITY.
NOTE: SUBSURFACE INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THE SOIL/SEDIMENT HAS ENTERED THE SUBSURFACE INFILTRATION BED, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, EXCAVATION, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE). PIECES OF FILTER FABRIC SHALL BE INSTALLED WITH A 12" OVERLAP 12" ON ALL SEAMS.
5. PLACE AASHTO #57 STONE IN THE BOTTOM OF THE FACILITY AND EVENLY DISTRIBUTE ON THE BOTTOM. CARE SHALL BE TAKEN TO ENSURE THAT THE FILTER FABRIC IN THE FACILITY IS NOT TORN DURING INSTALLATION. ALL STONE SHALL BE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE. THE STONE SHALL BE CHECKED AND APPROVED BY THE DESIGN OR SITE ENGINEER BEFORE INSTALLATION INTO THE FACILITY TO ENSURE THAT IT IS CLEAN WASHED STONE.
6. INSTALL THE INLETS AND DISTRIBUTION PIPE AS SHOWN ON THE PLAN & DETAIL. INSTALL WATERTIGHT COVERS ON ALL TRIBUTARY INLETS UNTIL THE SUBSURFACE INFILTRATION BED DRAINAGE AREA IS STABILIZED TO PREVENT CONTAMINATION OF STONE WITHIN THE SUBSURFACE INFILTRATION BED. COMPLETE BACKFILL OF STONE IN THE FACILITY TO THE LEVEL SHOWN AS TOP OF STONE IN THE DETAIL. PROVIDE OPENING IN THE FILTER FABRIC FOR THE INFLOW PIPES.
7. COMPLETE PLACEMENT OF THE STONE IN THE SUBSURFACE INFILTRATION BED. OVERLAP FILTER FABRIC ON TOP OF THE SUBSURFACE INFILTRATION BED. BACKFILL OVER THE SUBSURFACE INFILTRATION BED WITH SOIL TO FINISHED GRADE. STABILIZE AREA OVER UNDERGROUND FACILITY WITH PERMANENT MEASURES AS STATED ON THE EROSION AND SEDIMENT CONTROL PLAN. ALL INLETS SHALL BE GIVEN A FINAL INSPECTION AFTER THE SITE HAS BEEN STABILIZED TO ENSURE THEY ARE FREE OF SEDIMENT.

SUBSURFACE INFILTRATION BED NOTES:

1. DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. THE INFILTRATION BED SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION. IT IS RECOMMENDED THAT A SOILS ENGINEER OR REPRESENTATIVE THEREOF IS PRESENT ON-SITE DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM IN ORDER TO ENSURE THE SYSTEM WAS CONSTRUCTED AS DESIGNED AND TO OVERSEE THE EXCAVATION OF THE FINE GRAIN SOILS. GIVEN THE LOCALIZED INVESTIGATIONS, IT IS PARAMOUNT THAT THE ENTIRE FACILITY BOTTOM BE VERIFIED TO BE SITUATED WITHIN THE CORRECT INFILTRATION STRATUM.
2. THE CONTRACTOR IS TO ENSURE THAT THERE IS NO PRECIPITATION IN THE FORECAST FOR THE DURATION OF THE INFILTRATION BED CONSTRUCTION.
3. APPROPRIATE, PERMANENT MEASURES, AS SHOWN ON THE PLAN, SHALL BE IMPLEMENTED TO PROTECT THE INFILTRATION BED FROM SEDIMENT LADEN RUNOFF ENTERING IT.
4. ROOF DRAINS DISCHARGING TO THE INFILTRATION BED SHALL HAVE APPROPRIATE MEASURES TO PREVENT CLOGGING BY UNWANTED DEBRIS (FOR EXAMPLE, SLT, LEAVES AND VEGETATION). THESE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, LEAF TRAPS, GUTTER GUARDS AND CLEANOUTS.
5. THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF THE INFILTRATION BED:
 - a. EXCAVATION FOR THE INFILTRATION BED SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
 - b. THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
 - c. ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
 - d. THE TOP AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE NON-WOVEN FABRIC ACCEPTABLE TO THE MUNICIPAL ENGINEER.
 - e. STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE INFILTRATION BED AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AS SHOWN ON THE PLAN.

OWNER OF RECORD:
TRBL WALNUT, LLC
842 TOPAZ DRIVE
WEST CHESTER, PA 19382

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Pennsylvania One Call System
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Serial Number
20253170513, 20253170655, 20253170702

PENNSYLVANIA ACT 187 REQUIREMENTS:
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UP1: 1-10-92 | DEED BOOK 9953 | PAGE 1611 & UP1: 1-10-93 | DEED BOOK 9953 | PAGE 1603

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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SCOTT H. ZWIZANSKI
ENGINEER
PE091752

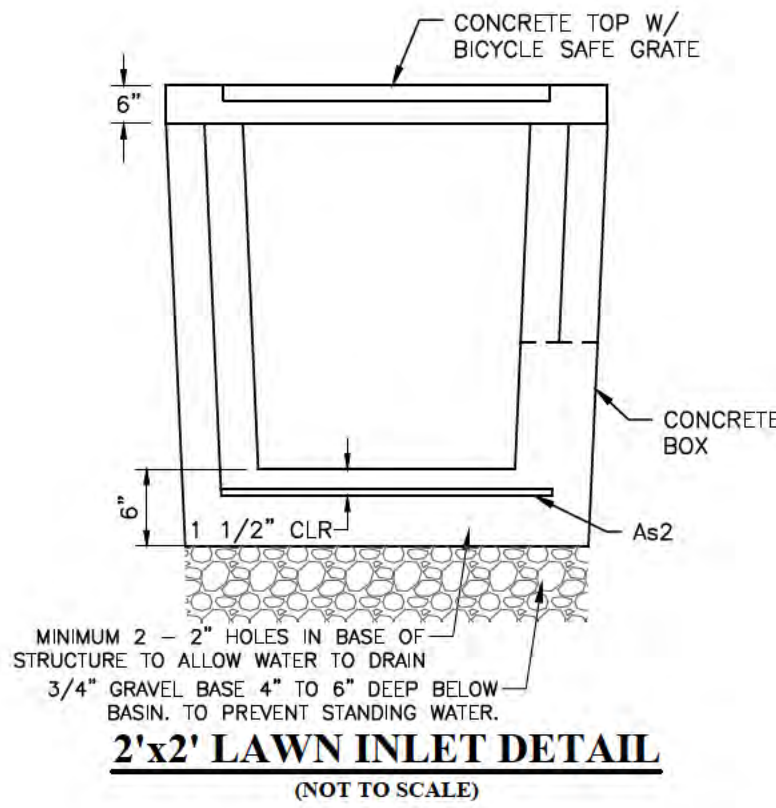
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1	06/26/2026	REVISED PER TWP REVIEWS

PRELIMINARY LAND DEVELOPMENT PLAN

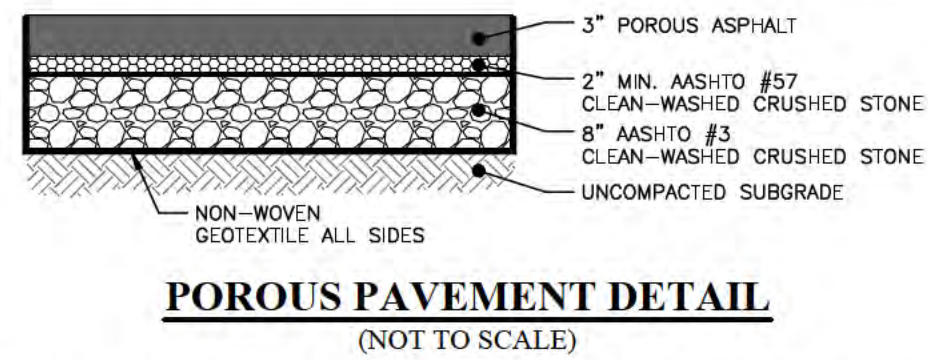
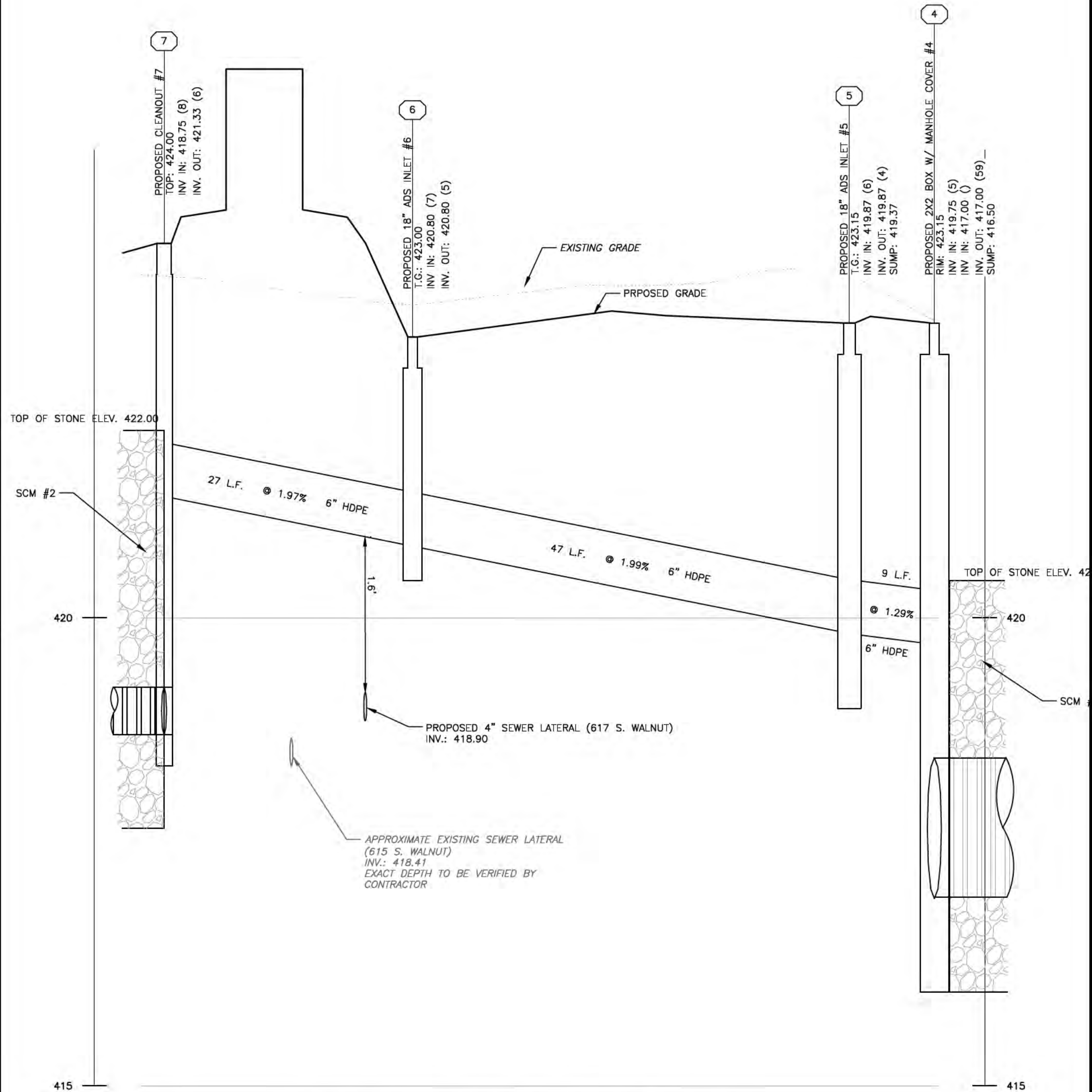
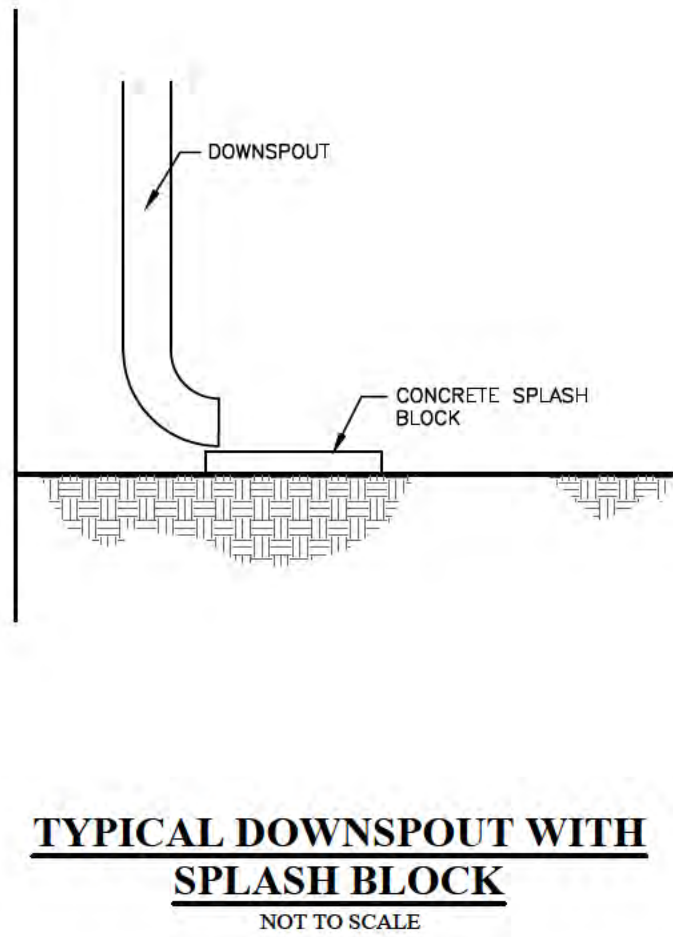
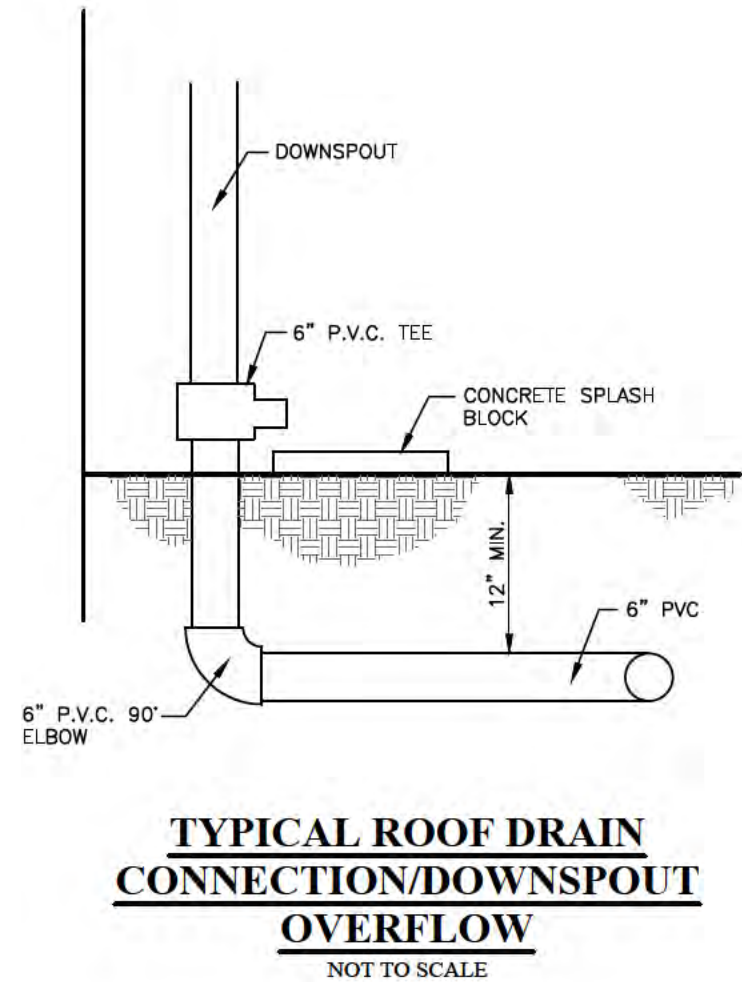
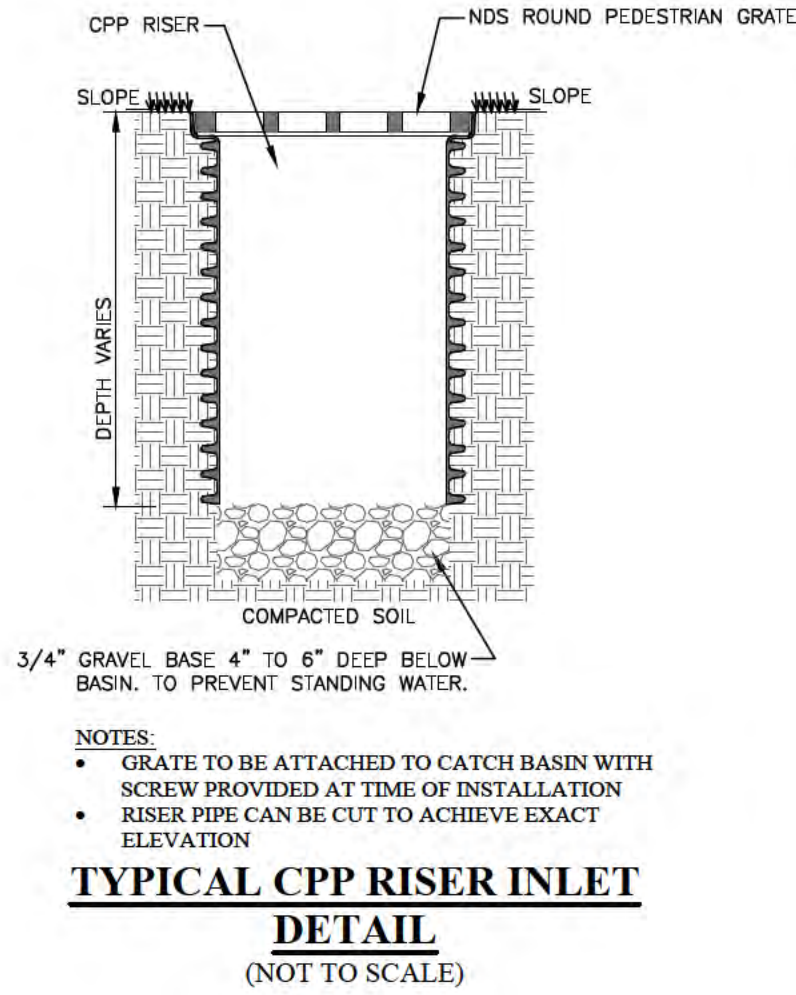
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Drawn by:
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Checked by:
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Project No.
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PCSM DETAILS
FOR
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615 & 617 S. WALNUT STREET
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NOTE:
CONTRACTOR MAY SUBSTITUTE EQUIVALENT CATCH BASIN SUBJECT TO REVIEW AND APPROVAL BY THE MUNICIPALITY.



CONSTRUCTION INSPECTION NOTES (PERFORMED BIWEEKLY):

- BIWEEKLY INSPECT EROSION CONTROL DEVICES UNTIL SOIL SETTLEMENT AND VEGETATIVE ESTABLISHMENT OF CONTRIBUTING AREAS HAS OCCURRED. IF ANY SEDIMENT AND DEBRIS ENCROACHES THE POROUS SURFACE, IT SHOULD BE REMOVED IMMEDIATELY AND SEDIMENT CONTROL DEVICE SHALL BE REPAIRED.

LONG TERM MAINTENANCE NOTES (PERFORMED SEMIANNUALLY):

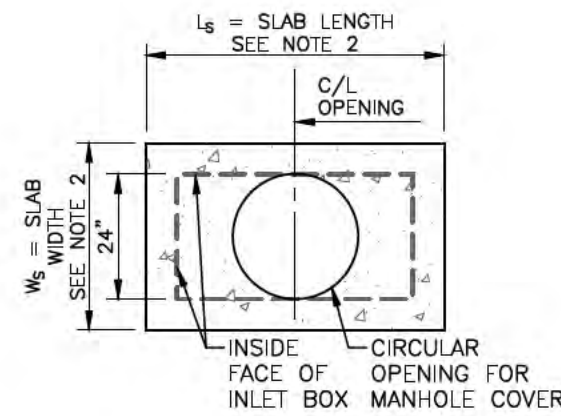
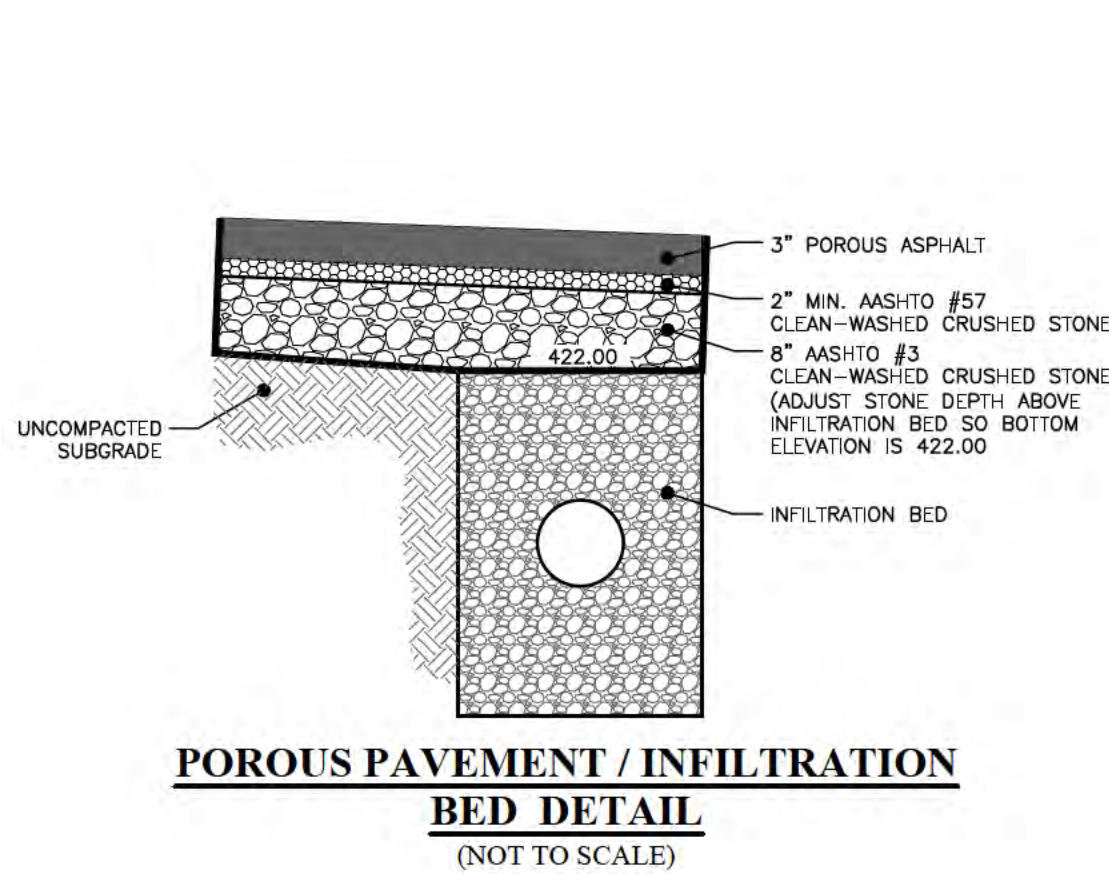
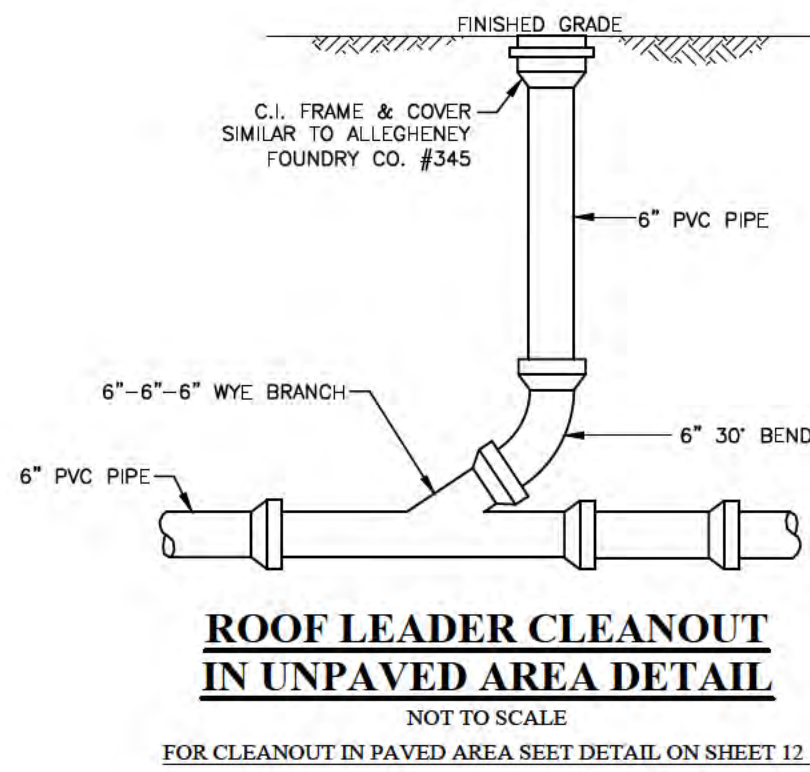
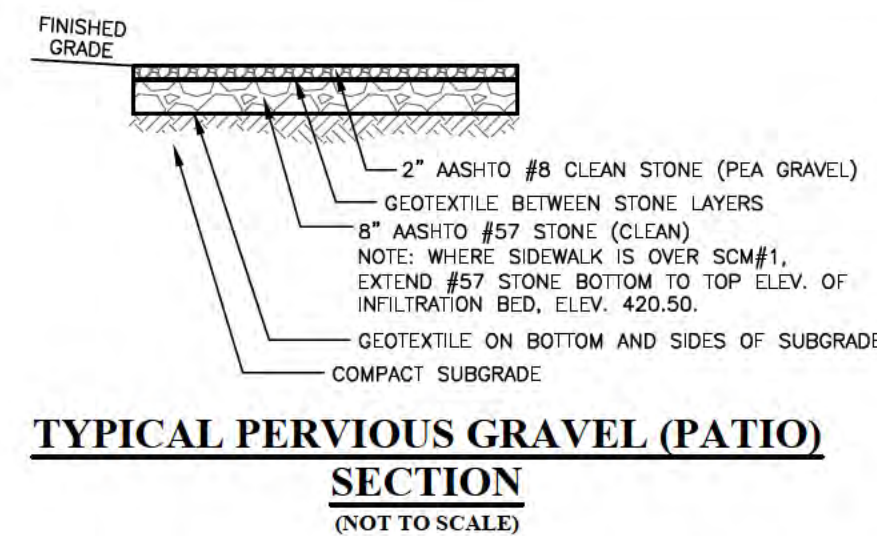
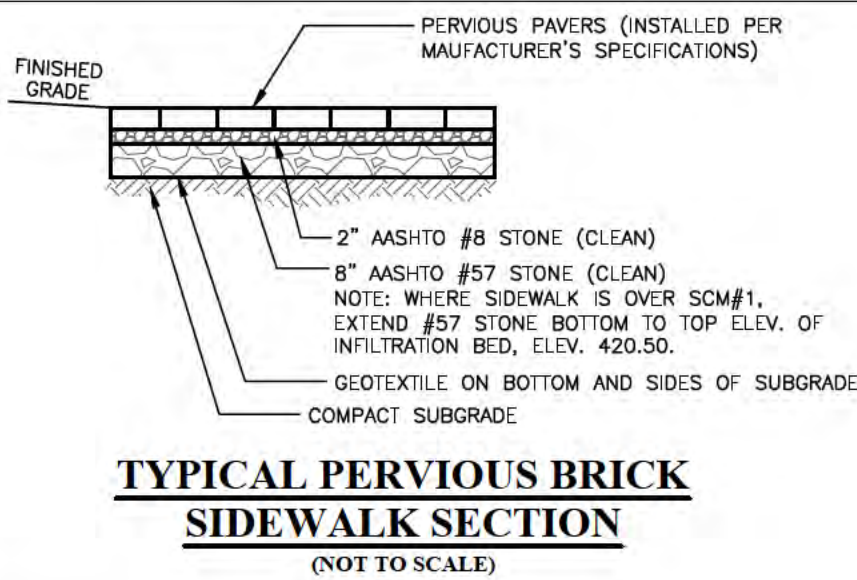
- INSPECT INLET STRUCTURES TRIBUTARY TO THE INFILTRATION BED (INLET NO. 8, 13, 14, 15) FOR DEBRIS AND BLOCKAGES. CLEAN OUT DEBRIS/SEDIMENT FROM INLET STRUCTURE SUMPS.
- VACUUM POROUS ASPHALT SURFACES WITH REGENERATIVE AIR SWEEPER OR COMMERCIAL VACUUM SWEEPER (TRADITIONAL STREET SWEEPERS ARE NOT APPROPRIATE).

POROUS PAVEMENT WINTER MAINTENANCE NOTES:

- SAND, SALT, AND OTHER PARTICULATE MATTER SUCH AS ABRASIVES OR CINDERS MUST NOT BE APPLIED ON OR ADJACENT TO THE POROUS PAVEMENT.
- SNOW PLOWING IS ACCEPTABLE, PROVIDED IT IS DONE CAREFULLY (i.e., BY SETTING THE BLADE ABOUT 0.5 INCHES HIGHER THAN USUAL AND USING A RUBBERIZED BLADE OR BLADE TIP).
- MAGNESIUM CHLORIDE-BASED LIQUID DEICER PRODUCTS MAY BE APPLIED ON OR ADJACENT TO THE POROUS PAVEMENT.
- ANY DEICING MATERIALS SHOULD BE USED IN MODERATION.

POROUS ASPHALT REPAIRS:

- POTHoles ARE NOT COMMON; THOUGH SETTLING MIGHT OCCUR IF A SOFT SPOT IN THE SUBGRADE IS NOT REMOVED DURING CONSTRUCTION.
- DAMAGED AREAS THAT ARE LESS THAN 10% OF THE TOTAL POROUS AREA CAN BE PATCHED WITH A POROUS OR STANDARD ASPHALT MIX, DEPENDING ON THE LOCATION WITHIN THE POROUS AREA. IN MANY CASES THE LOSS OF POROUS SURFACE WILL BE INSIGNIFICANT. IF AN AREA GREATER 10% OF THE TOTAL IS IN NEED OF REPAIR, APPROVAL OF PATCH TYPE MUST BE SOUGHT FROM THE BOROUGH.
- POROUS PAVEMENT MUST NEVER BE SEAL COATED UNDER ANY CIRCUMSTANCES.
- ANY REQUIRED REPAIR OF DRAINAGE STRUCTURES SHOULD BE DONE PROMPTLY TO ENSURE CONTINUED PROPER FUNCTIONING OF THE SYSTEM.



STANDARD INLET BOX

CIRCULAR OPENINGS:
1. FOR A STANDARD BOX, ONLY A 24" OPENING IS PERMITTED

TOP SLAB WITH OPTIONAL ROUND OPENING FOR MANHOLE COVER (NOT TO SCALE)

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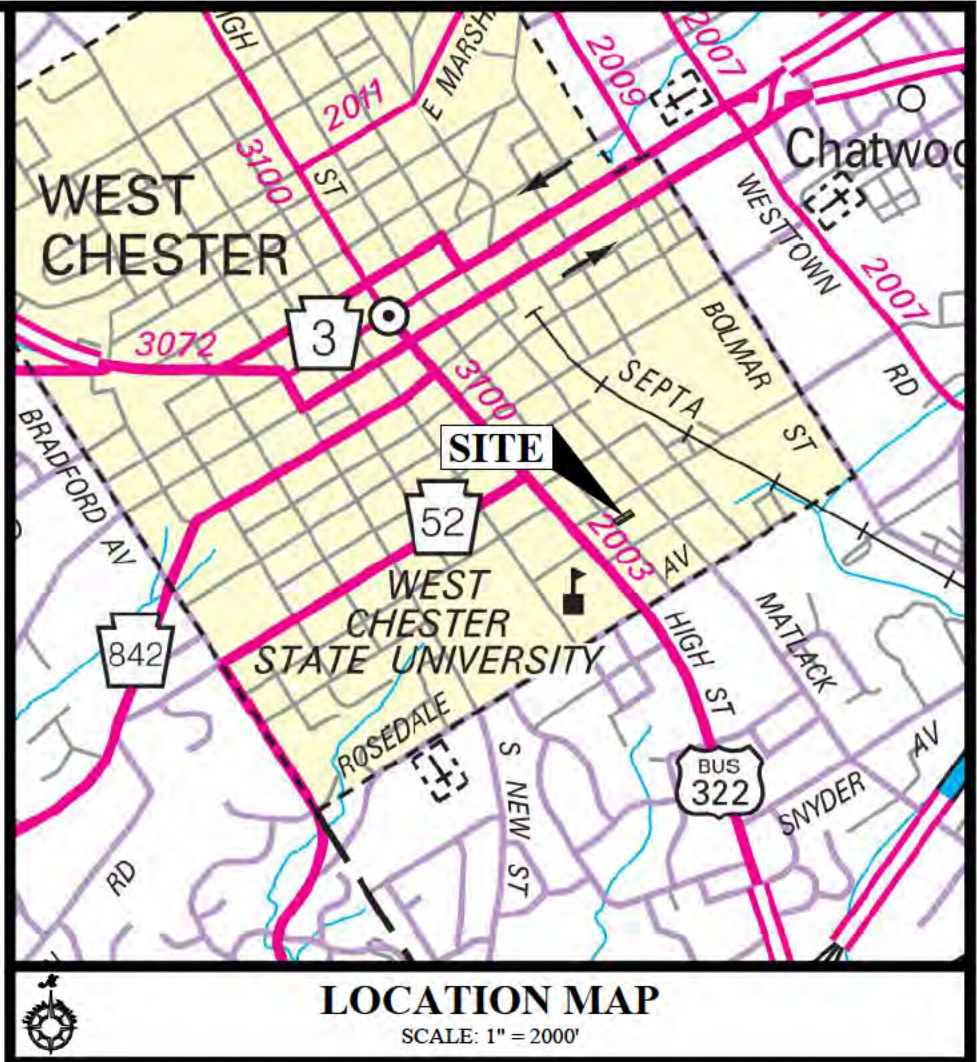
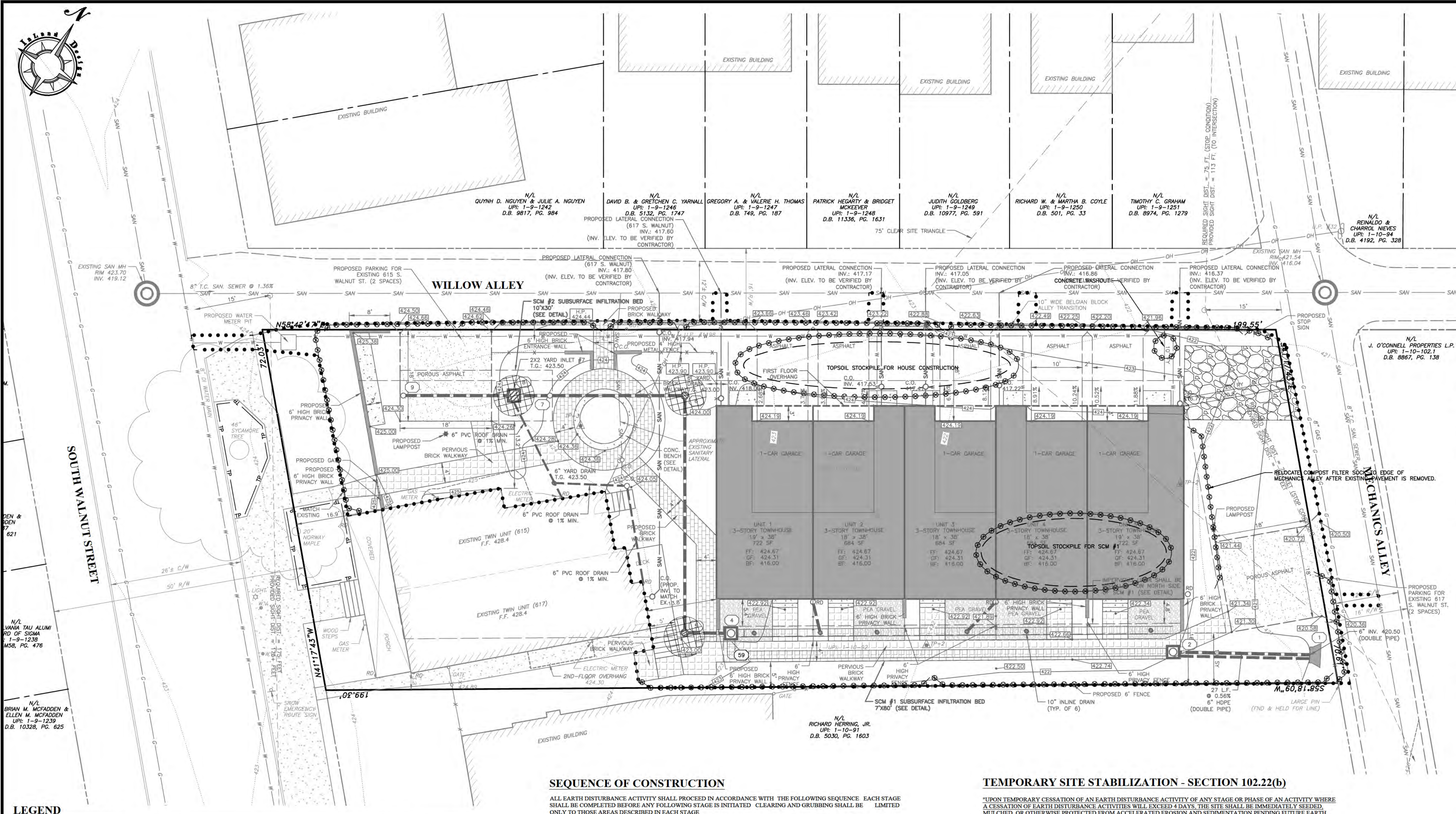
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SECTION 102.22(a) - PERMANENT SITE STABILIZATION

"UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO: SEEDING, MULCHING OR OTHERWISE PERMANENTLY STABILIZED AND PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION."

- E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT PCSM BMPs AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE O&P SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING PERIODS, MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES AREAS NOT AT FINISHED GRADE, WHICH WILL BE REDISTURBED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING
- PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
(1) LIME - AGRICULTURAL GRADE LIMESTONE
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED IF SOIL TEST RESULTS ARE NOT AVAILABLE. APPLY LIME AT THE FOLLOWING RATE:
LIME = 6 TONS PER ACRE (240 LBS PER 1,000 S F)
(2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED IF SOIL TEST RESULTS ARE NOT AVAILABLE. APPLY FERTILIZER AT THE FOLLOWING RATE:
FERTILIZER = 1,000 LBS PER ACRE (25 LBS PER 1,000 S F)
IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:
LIME = 1.0 TON PER ACRE (40 LBS PER 1,000 S F)
FERTILIZER = 500 LBS PER ACRE (12.5 LBS PER 1,000 S F)
APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE:
LIME = 5.0 TONS PER ACRE (200 LBS PER 1,000 S F)
FERTILIZER = 500 LBS PER ACRE (12.5 LBS PER 1,000 S F)
(3) PERMANENT SEED MIXTURE
IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED FOR THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102
(A) ANNUAL RYEGRASS (ANCHOR MATERIAL) IS TO BE SEED WITH ALL PERMANENT SEED MIXES AS COVER/NURE CROP (ANCHORING METHOD). SEEDING RATE (RATE OF ANCHORING) = 40 LBS PER ACRE (1 LB PER 1,000 S F)
(B) TURF LAWN AND MOWED AREAS (SUNNY):
60% KENTUCKY BLUEGRASS
20% CHEWINGS FESCUE
20% PERENNIAL RYEGRASS
SEEDING RATE = 170 LBS PER ACRE (4 LBS PER 1,000 S F)
PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15
(C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)
EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT:
CALCULATE PLS% FOR 85% PURE SEED WITH 72% GERMINATION: $85 \times 72 / 100 = 61\% \text{ PLS}$
DIVIDE THE PLS% INTO ONE HUNDRED (100 / 61 = 1.63)
THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED
(4) MULCH
ALL AREAS THAT ARE SEEDING SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
STRAW/HAY = 3 TONS PER ACRE (140 LBS PER 1,000 S F)

SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITY SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE THE NEXT STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON SITE PRE-CONSTRUCTION MEETING. THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNER MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPs. ANY DISTURBED AREA WHERE THERE WILL BE A CESSATION OF ACTIVITY FOR FOUR DAYS OR LONGER MUST BE STABILIZED WITH TEMPORARY STABILIZATION.

- DELINEATE THE LIMITS OF DISTURBANCE
- DEMOLISH ALL EXISTING STRUCTURES AND FEATURES REMOVE DEMOLISHED MATERIAL FROM THE SITE
- AS DEMOLITION ALLOWS, INSTALL PERIMETER CONSTRUCTION FENCE, SILT SOCK AND PERIMETER EROSION CONTROLS AS SHOWN ON THE PLAN AND ACCORDING TO DETAILS
- INSTALL ROCK CONSTRUCTION ENTRANCE
- ONCE BUILDING DEMOLITION IS COMPLETE, SOIL SHALL BE ANALYZED TO CONFIRM NO SOIL REMEDIATION IS NEEDED
- CLEAR, GRUB AND BEGIN ROUGH GRADING OPERATIONS. STOCKPILE TOPSOIL IN DESIGNATED AREA
- INSTALL SCM #1 FOLLOWING THE INFILTRATION BED SEQUENCE OF CONSTRUCTION SHOWN ON THE DETAILS SHEET. ONCE INSTALLED, SEAL SCM#1 FROM RECEIVING RUNOFF UNTIL AFTER BUILDING CONSTRUCTION
- EXCAVATE FOR BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION
- INSTALL NEW SIDEWALK WHEN APPROPRIATE
- WHEN APPROPRIATE, INSTALL SCM #2 FOLLOWING THE INFILTRATION BED SEQUENCE OF CONSTRUCTION. INSTALL STORM SEWER AND ROOF DRAIN CONNECTIONS TO INFILTRATION BEDS. INLET SEDIMENT FILTERS SHALL BE INSTALLED IMMEDIATELY
- PRIOR TO POROUS ASPHALT PAVEMENT INSTALLATION, ALL SITE DISTURBED AREA SHALL HAVE EROSION CONTROL BLANKET INSTALLED OR BE SO DODD
- SEED AND MULCH ALL REMAINING DISTURBED AREAS
- INSTALL LANDSCAPING
- ONCE ALL HOUSES ARE CONSTRUCTED AND PERMANENTLY STABILIZED (VEGETATED AREAS MUST HAVE A UNIFORM 70% VEGETATIVE COVER), AND AFTER A SITE INSPECTION AND APPROVAL FROM THE BOROUGH, REMOVE ANY REMAINING EROSION CONTROLS

TEMPORARY SITE STABILIZATION - SECTION 102.22(b)

"UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDING, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES."

- E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs
- ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEED WITH PERMANENT SEED MIX AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
(1) LIME - AGRICULTURAL GRADE LIMESTONE
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED IF SOIL TEST RESULTS ARE NOT AVAILABLE. APPLY LIME AT THE FOLLOWING RATE:
LIME = 1.0 TON PER ACRE (40 LBS PER 1,000 S F)
(2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED IF SOIL TEST RESULTS ARE NOT AVAILABLE. APPLY FERTILIZER AT THE FOLLOWING RATE:
FERTILIZER = 500 LBS PER ACRE (12.5 LBS PER 1,000 S F)
(3) TEMPORARY SEED MIXTURE
ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEEDING DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY.
ANNUAL RYEGRASS = 40 LBS PER ACRE (1 LB PER 1,000 S F)
NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)
(4) MULCH
ALL AREAS THAT ARE SEEDING SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
STRAW/HAY = 3 TONS PER ACRE (140 LBS PER 1,000 S F)

LEGEND

	PROPERTY BOUNDARY		PROPOSED SETBACK LINE
	EXISTING RIGHT OF WAY LINE		PROPOSED 2' CONTOUR
	EXISTING 1' CONTOUR W/ ELEVATION		PROPOSED 10' CONTOUR
	EXISTING 100' CONTOUR W/ ELEVATION		PROPOSED SPOT ELEVATION
	EXISTING CONCRETE		PROPOSED ROAD / PAVING
	EXISTING TREE SYMBOLS		PROPOSED CONCRETE SIDEWALK
	EXISTING LIGHT		PROPOSED PERVIOUS BRICK
	EXISTING UTILITY POLE		PROPOSED GRAVEL COURTYARD
	EXISTING WATER VALVE		PROPOSED STORM STRUCTURES & PIPE
	EXISTING SIGN		PROPOSED SANITARY STRUCTURES & PIPE
	EXISTING FENCE LINE		PROPOSED SANITARY CLEAN-OUT
	EXISTING SANITARY STRUCTURES & PIPE		PROPOSED SANITARY LATERAL
	EXISTING CURB LINE		PROPOSED WATER VALVE
	EXISTING ROAD / PAVING		PROPOSED WATER LINE
	EXISTING WATER LINE		PROPOSED 12' COMPOST FILTER SOCK
	EXISTING GAS LINE		ORANGE CONSTRUCTION FENCE
	EXISTING OVERHEAD WIRES		LIMIT OF DISTURBANCE
			TREE PROTECTION
			ROCK CONSTRUCTION ENTRANCE
			EROSION CONTROL BLANKET FOR SLOPES

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SCOTT W. ZWISANSKI
REGISTERED PROFESSIONAL ENGINEER
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REGISTERED PROFESSIONAL ENGINEER
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PRELIMINARY LAND DEVELOPMENT PLAN

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10'

Date: 4/27/2026
Scale: 1" = 10'
Drawn by: MMH
Checked by: SJZ
Project No: 12706

Date: 4/27/2026
Scale: 1" = 10'
Drawn by: MMH
Checked by: SJZ
Project No: 12706

12706

CONSERVATION & EROSION CONTROL PLAN

FOR

TRBL WALNUT, LLC

615 & 617 S. WALNUT STREET

WEST CHESTER, PA 19382

WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

OWNER OF RECORD:

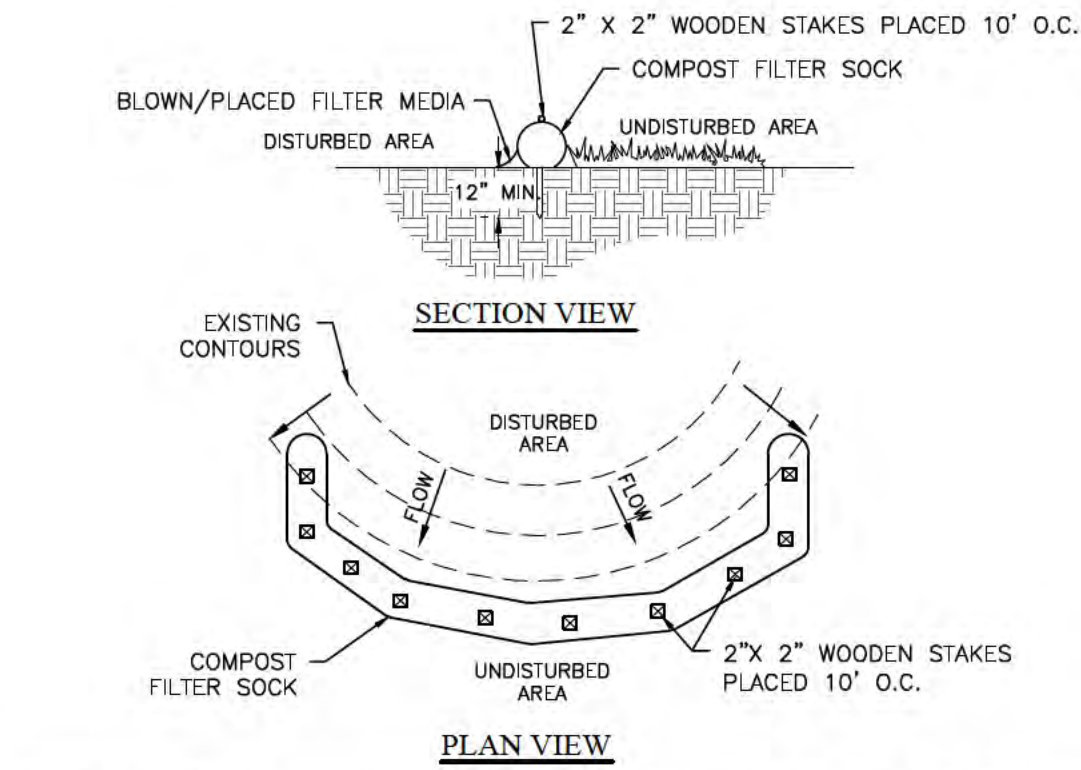
TRBL WALNUT, LLC
842 TOPAZ DRIVE
WEST CHESTER, PA 19382

S H E E T

9

OF 15

12706



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1)

MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

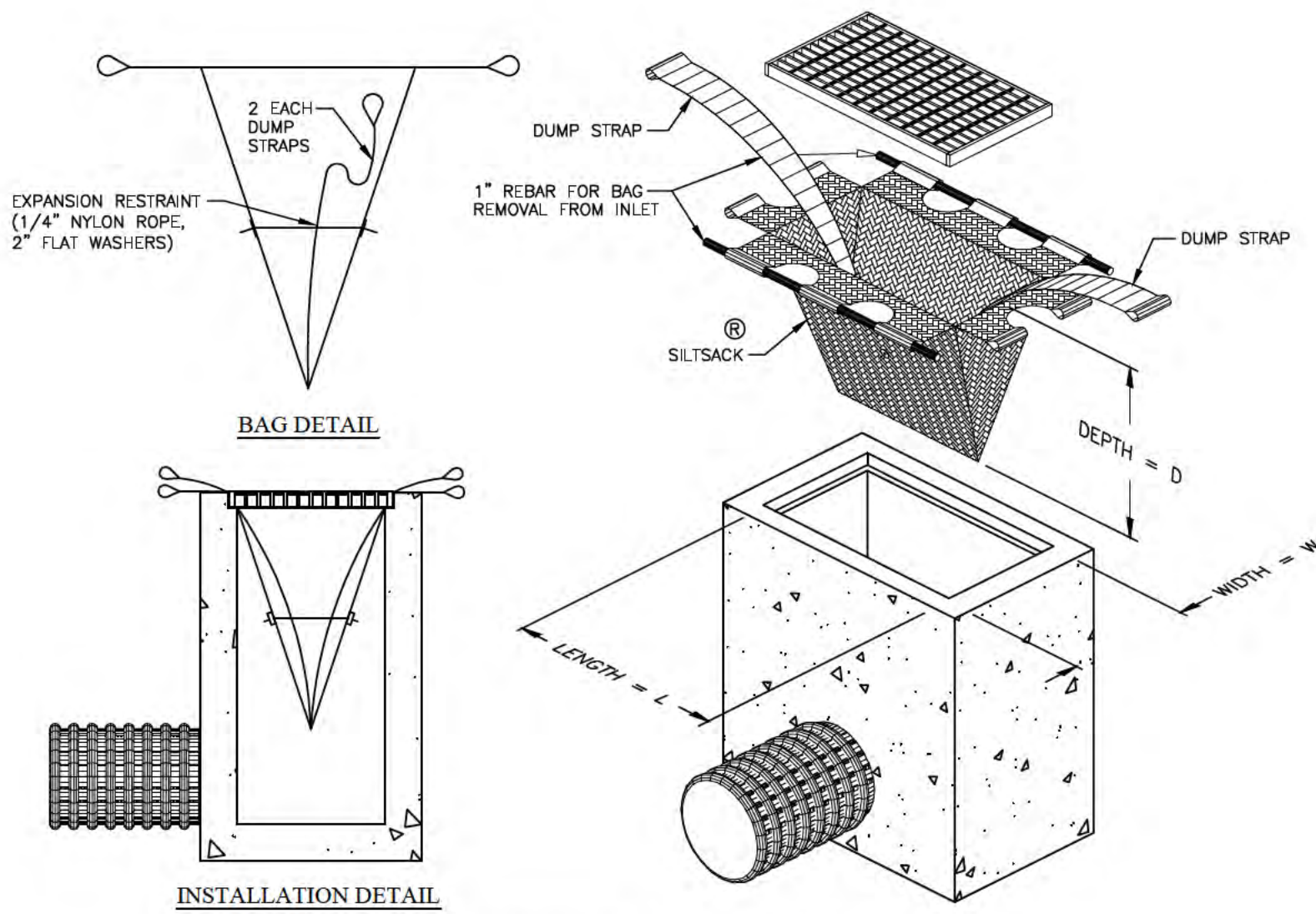
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

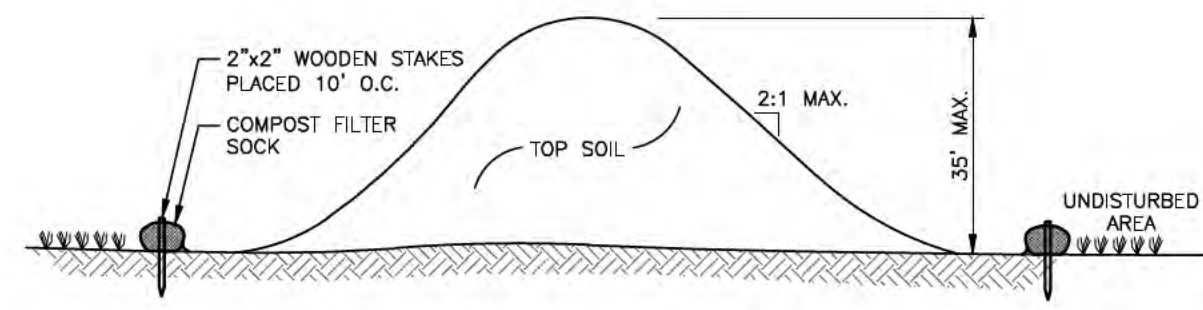
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #3-1
COMPOST FILTER SOCK
(NOT TO SCALE)



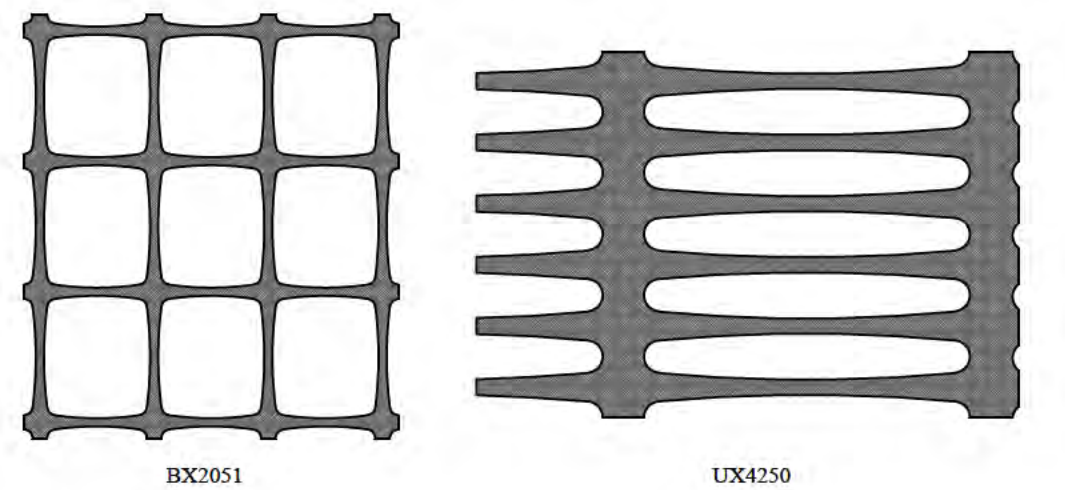
SEDIMENT FILTER BAG INLET PROTECTION DETAIL
(NOT TO SCALE)

1. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
2. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED.

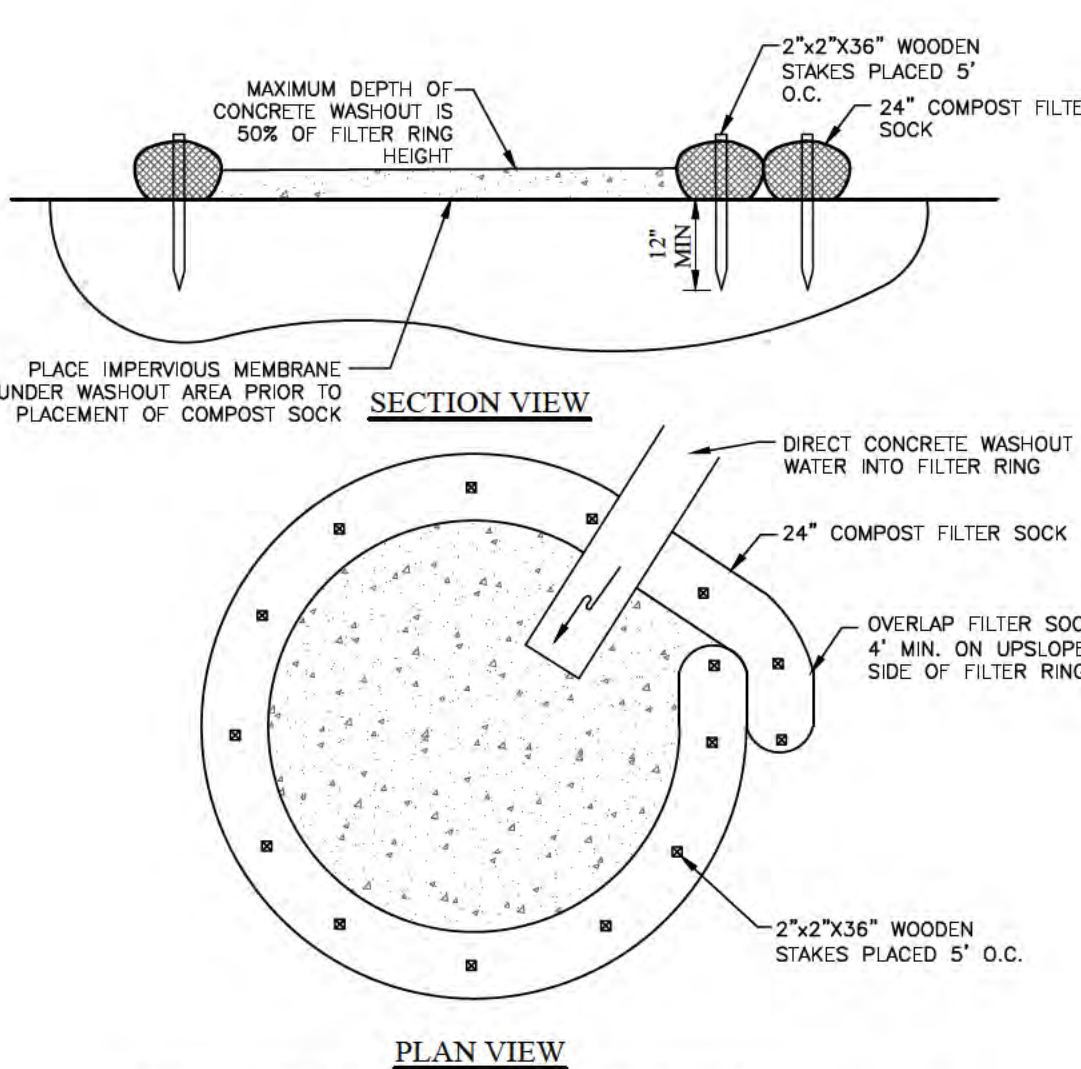


TYPICAL TOPSOIL STOCKPILE DETAIL
(NOT TO SCALE)

- NOTES:
1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 2. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
 3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 4. SILT FENCE OR HAY BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.
 5. SEE STANDARD CONSTRUCTION DETAIL #4-1, COMPOST FILTER SOCK FOR INSTALLATION REQUIREMENTS.
 6. LOCATION OF PROPOSED STOCKPILE WHICH AFFECTS EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 7. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.

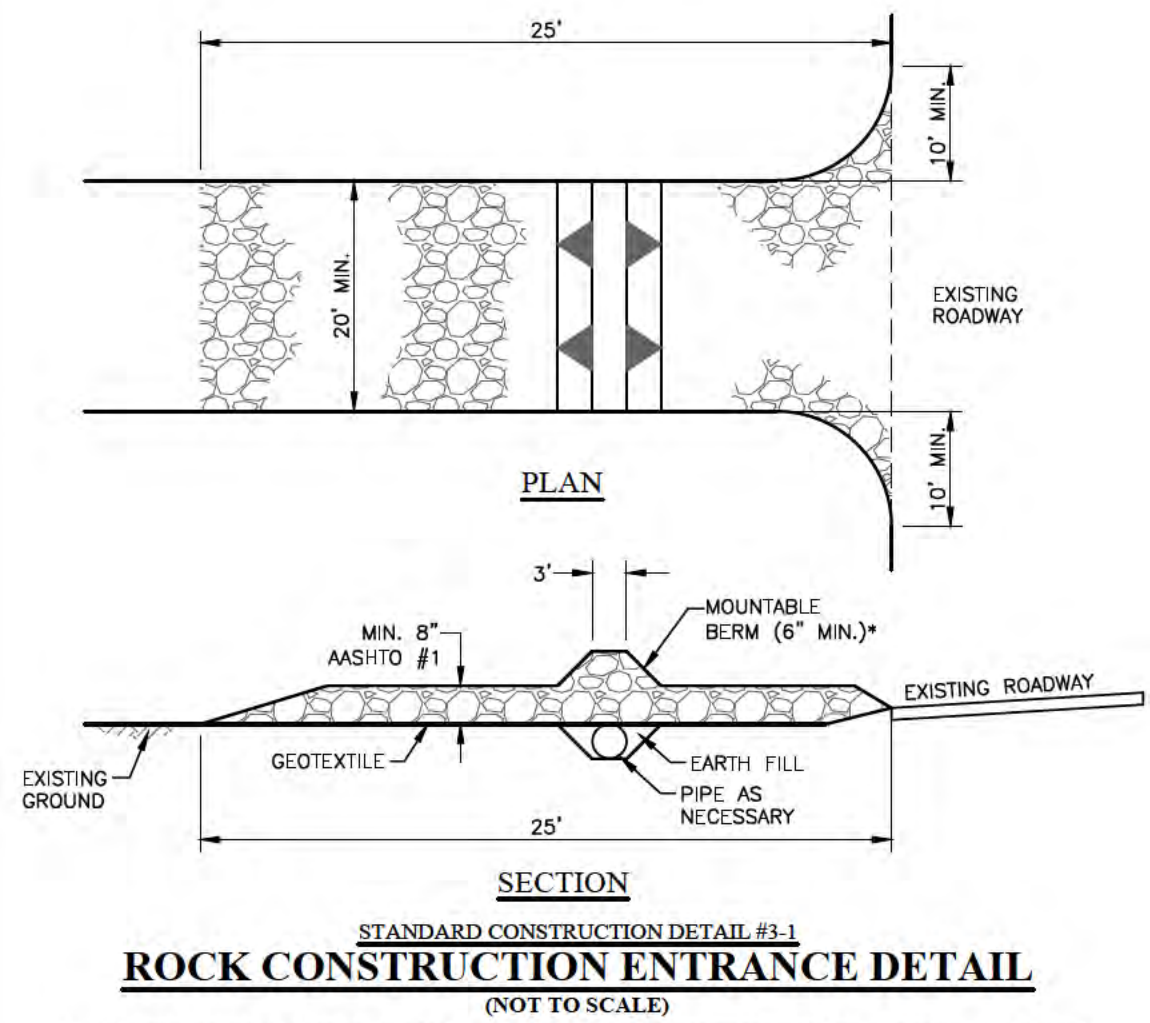


FOR GENERAL USE:
TENSAR SAFETY FENCE BX 2051, 4' HT.,
ORANGE FOR EXTRA PROTECTION:
TENSAR SAFETY FENCE UX 4250, 4' HT.,
ORANGE INSTALLATION:
ATTACH FENCE TO 2" x 2" PINE STAKES DRIVEN AT LEAST 18" INTO THE
GROUND, SPACED 8' ON CENTER, WITH WIRE FASTENERS IN 3 PLACES PER
STAKE.
ORANGE CONSTRUCTION FENCE DETAIL
NOT TO SCALE



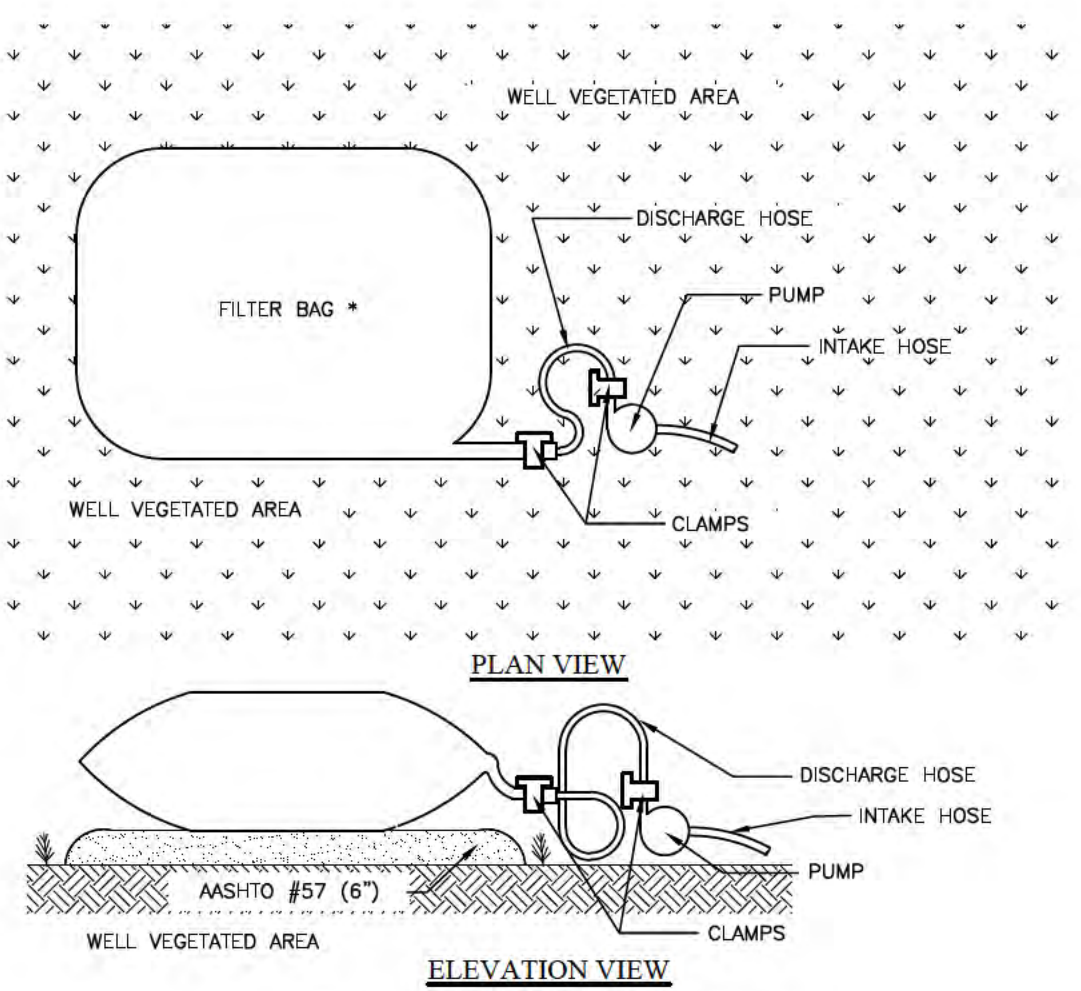
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

STANDARD CONSTRUCTION FIGURE 3-18
COMPOST SOCK WASHOUT INSTALLATION
(NOT TO SCALE)



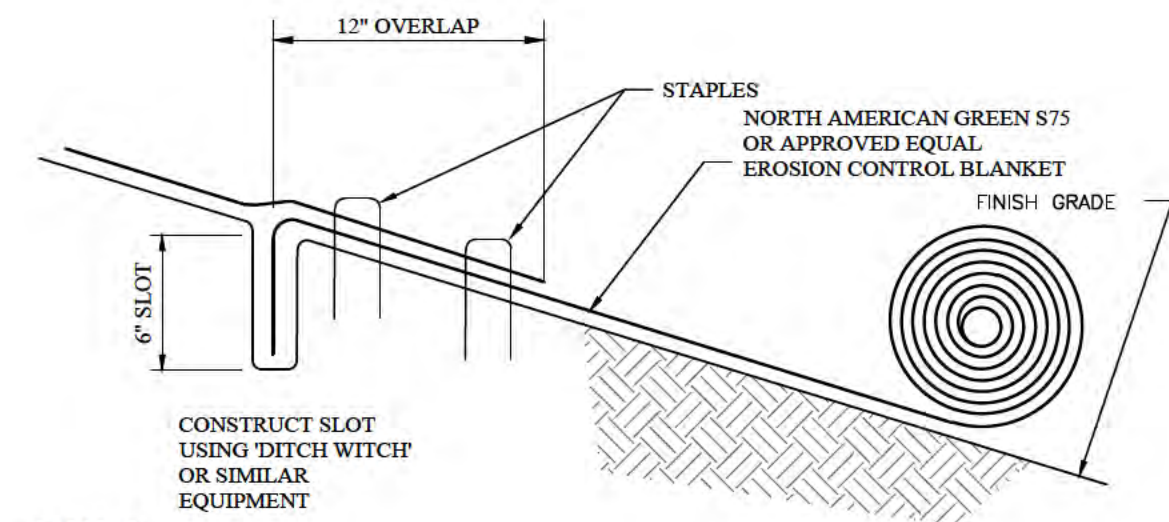
STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG
(NOT TO SCALE)

1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Y" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 3%.
4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



- NOTES:
1. COMPLETE GRADING OF SLOPE.
 2. CULTIVATE THE SOIL TO A DEPTH OF 6 INCHES, INCORPORATING FERTILIZER AND LIME WHERE NECESSARY, PROVIDING AN EVEN SURFACE, FREE FROM EXCESSIVE STONES, CLODS OR TRASH.
 3. SEED AND MULCH THE AREA AS OUTLINED IN SEEDING SCHEDULE.
 4. UNREEL THE MATTING UP AND DOWN THE SLOPE. THIS IS BEST ACHIEVED BY PLACING A METAL PIPE THROUGH THE CENTER OF THE ROLL, THROUGH WHICH IS PASSED A ROPE. BY HOLDING EACH END OF THE ROPE, THE ROLL CAN BE UNWOUND SLOWLY DOWN THE SLOPE. THE MATTING SHOULD NOT BE STRETCHED NOR ALLOWED TO LIE LOOSELY, BUT TO TAKE UP THE CONTOURS OF THE GROUND. THE MANUFACTURER'S RECOMMENDATIONS FOR OVERLAPPING ADJACENT STRIPS SHALL BE FOLLOWED.
 5. UPHILL ENDS OF THE MATTING SHALL BE BURIED IN A 6-INCH DEEP SLOT AND STAPLED, AS SHOWN, AT 12-INCH CENTERS ACROSS THE WIDTH OF THE MAT. AT JOINTS, THE DOWNHILL END SHOULD BE OVERLAPPED (SHINGLE FASHION).
 6. MATTING SHOULD BE STAPLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS, BUT GENERALLY STAPLES SHOULD BE INSERTED ON 12-INCH CENTERS DOWN EACH EDGE OF THE MAT AND DOWN ITS CENTERLINE.
 7. FOLLOWING INSTALLATION, MESH MATTINGS SHOULD BE ROLLED WITH A SMOOTH ROLLER TO BRING INTO CLOSE CONTACT WITH THE SOIL AND TO CONSOLIDATE THE SEEDBED.

EROSION BLANKET INSTALLATION FOR SLOPES
(NOT TO SCALE)

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Pennsylvania One Call System
PA act 172 of 1986 requires
three working days notice

Serial Numbers:
20253170513, 20253170655, 20253170702

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Engineering, Surveying & Land Planning

SCOTT J. ZWIZANSKI
ENGINEER
PE091752

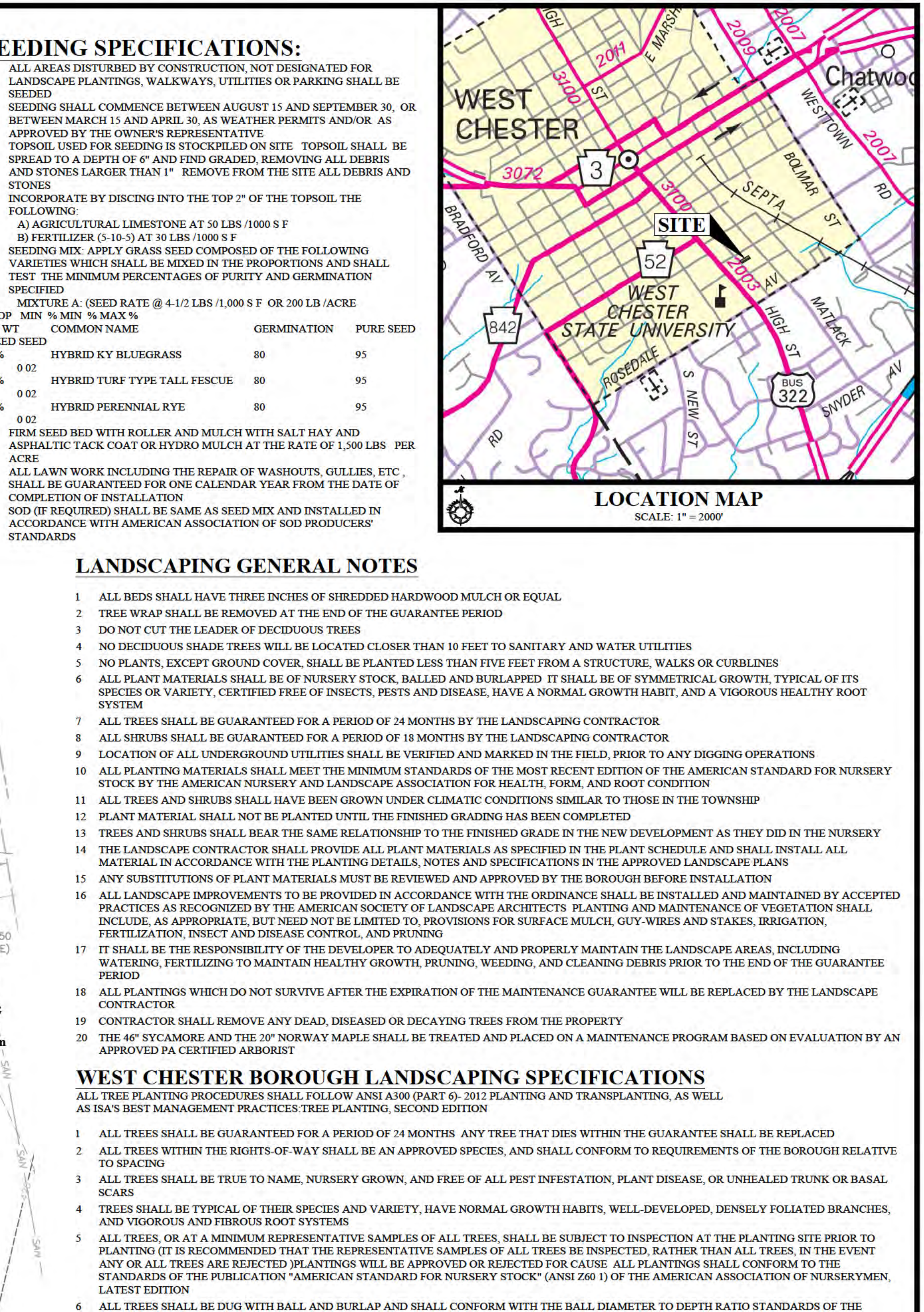
No.	Date:	Description:
1	06/26/2026	REVISED PER TWP REVIEWS

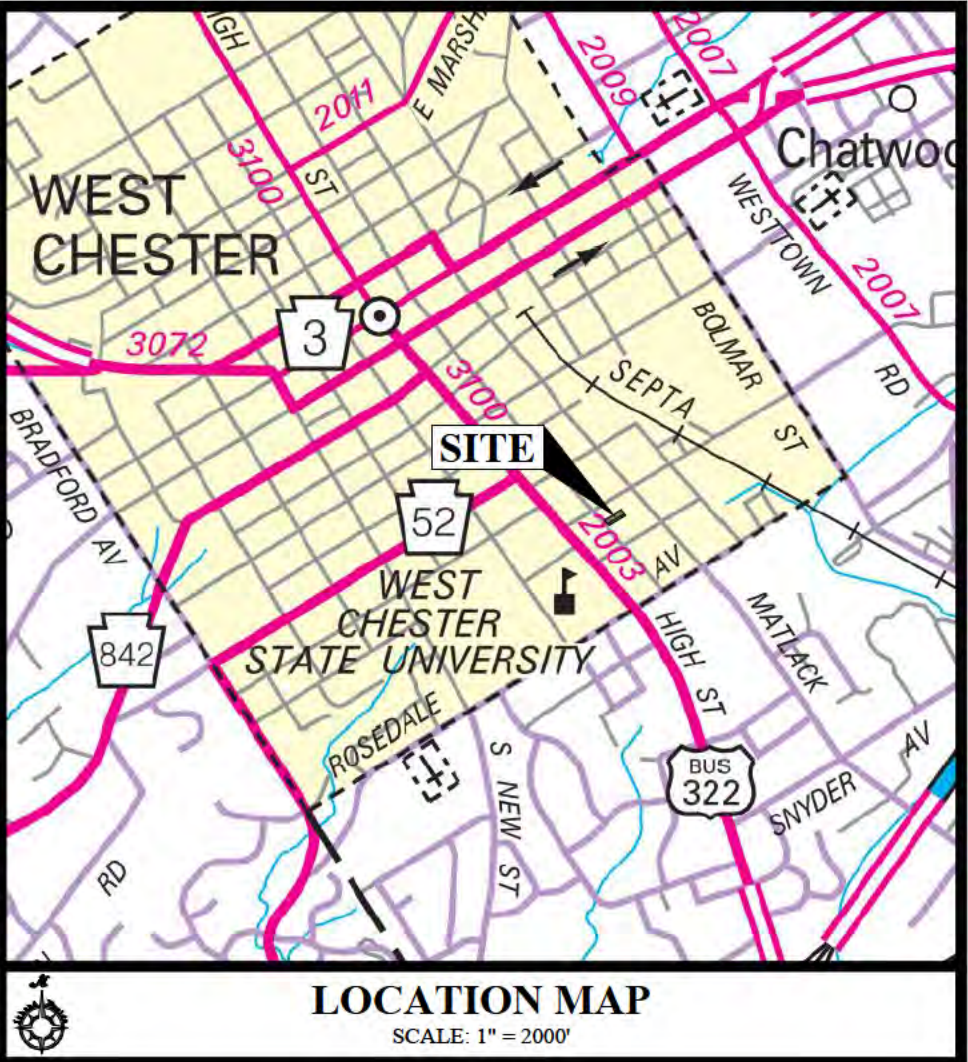
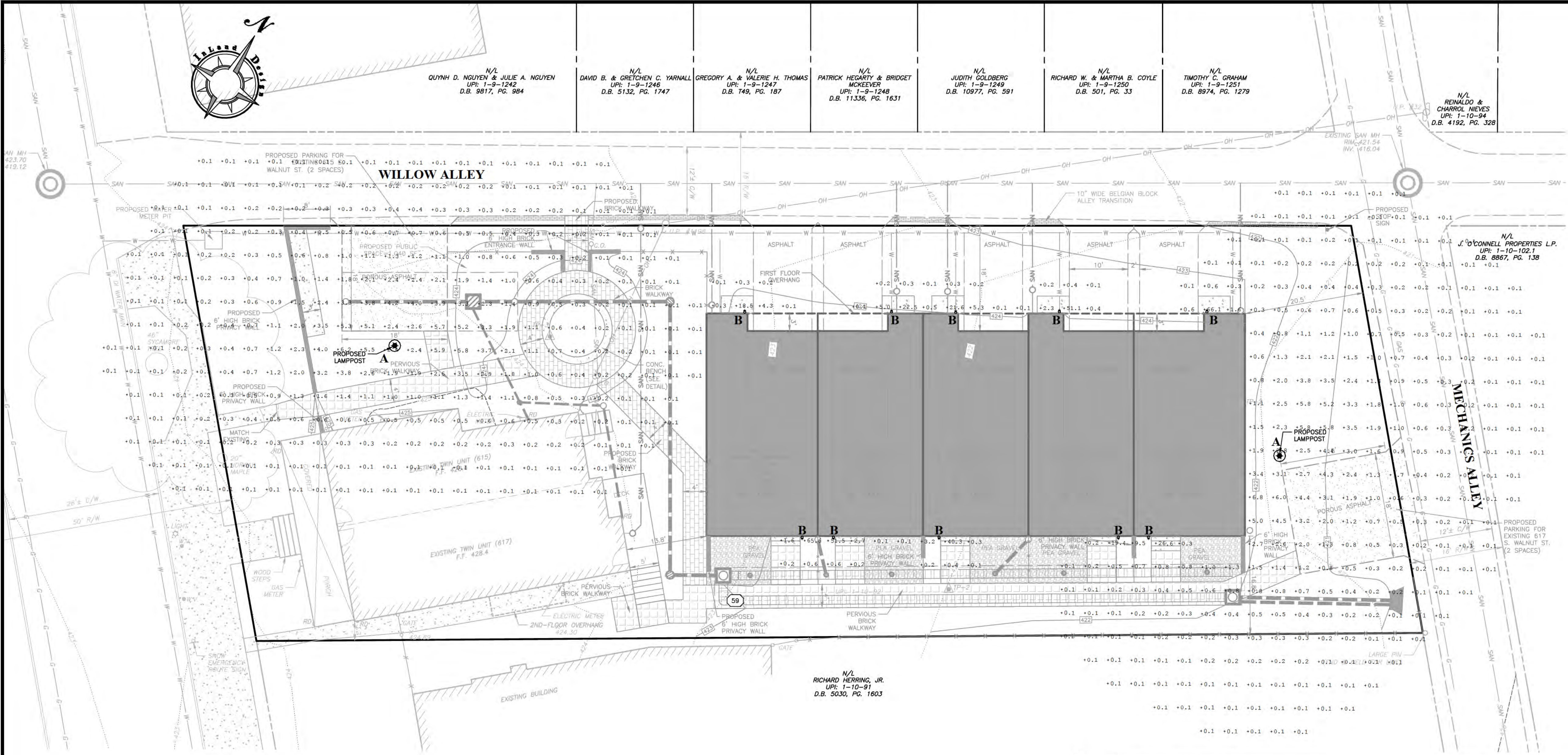
**PRELIMINARY
LAND DEVELOPMENT PLAN**

Date:
4/27/2026
Scale:
AS NOTED
Drawn by:
MMH
Checked by:
SIJZ
Project No.
12706

**EROSION & SEDIMENT CONTROL DETAILS
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

**S H E E T
10
OF 15**





LIGHTING NOTES:

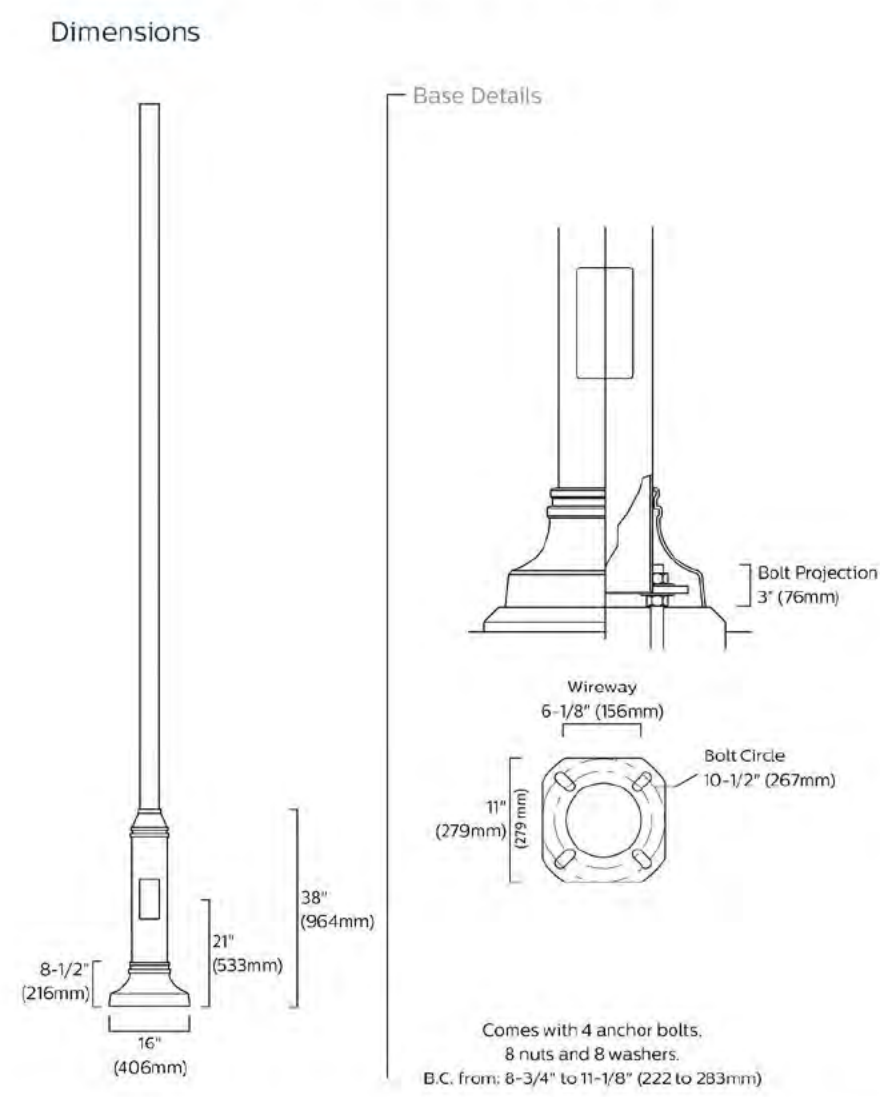
- 1 LIGHTING SHALL HAVE INTENSITIES AND UNIFORMITIES IN ACCORDANCE WITH THE CURRENT RECOMMENDED PRACTICES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA)
- 2 LIGHTING FIXTURES SHALL BE AIMED STRAIGHT DOWN. SHALL MEET IESNA FULL CUTOFF CRITERIA, AND SHALL BE DARK SKY COMPLIANT
- 3 ALL NONESSENTIAL LIGHTING, INCLUDING DISPLAY, AESTHETIC, PARKING, AND SIGN LIGHTING, SHALL BE REQUIRED TO BE TURNED OFF OR REDUCED BY 75% AFTER BUSINESS HOURS OR 11:00 P.M., WHICHEVER IS EARLIER. LEAVING ONLY THE NECESSARY LIGHTING FOR SITE SECURITY LIGHTING PROPOSED TO REMAIN ON AFTER 11:00 P.M. FOR A SPECIFIC SAFETY PURPOSE SHALL BE APPROVED BY THE TOWNSHIP
- 4 UNLESS OTHERWISE PERMITTED BY THE BOROUGH (E.G. FOR SAFETY, SECURITY OR ALL-NIGHT OPERATIONS), LIGHTING SHALL BE CONTROLLED BY THE AUTOMATIC SWITCHING DEVICES, SUCH AS TIME CLOCKS OR COMBINATION MOTION DETECTORS AND PHOTOCELLS, TO PERMIT EXTINGUISHING OFFENDING SOURCES BETWEEN 11:00 P.M. AND DAWN TO MITIGATE NUISANCE GLARE AND SKYLIGHTING CONSEQUENCES
- 5 THIS PLAN IS FOR LIGHTING PURPOSES ONLY. ALL SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING LOCATIONS, CURBING, SIDEWALK, UTILITIES, AND THEIR ANCILLARY APPURTENANCES, ARE SHOWN FOR INFORMATION PURPOSES ONLY AND ARE SUBJECT TO MODIFICATION AND REVISION
- 6 PROPOSED LIGHT FIXTURES MAY BE SUBSTITUTED FOR AN EQUIVALENT LIGHT SUBJECT TO REVIEW AND APPROVED BY MUNICIPALITY

LEGEND

	PROPERTY BOUNDARY		PROPOSED SETBACK LINE
	EXISTING RIGHT OF WAY LINE		PROPOSED 2' CONTOUR
	EXISTING 1' CONTOUR W/ ELEVATION		PROPOSED 10' CONTOUR
	EXISTING 5' CONTOUR W/ ELEVATION		PROPOSED ROAD / PAVING
	EXISTING CONCRETE		PROPOSED CONCRETE SIDEWALK
	EXISTING TREE SYMBOLS		PROPOSED PERVIOUS BRICK
	EXISTING LIGHT		PROPOSED GRAVEL COURTYARD
	EXISTING UTILITY POLE		PROPOSED STORM STRUCTURES & PIPE
	EXISTING WATER VALVE		PROPOSED SANITARY STRUCTURES & PIPE
	EXISTING SIGN		PROPOSED SANITARY CLEAN OUT
	EXISTING FENCE LINE		PROPOSED SANITARY LATERAL
	EXISTING SANITARY STRUCTURES & PIPE		PROPOSED WATER VALVE
	EXISTING CURB LINE		PROPOSED WATER LINE
	EXISTING ROAD / PAVING		
	EXISTING WATER LINE		
	EXISTING GAS LINE		
	EXISTING OVERHEAD WIRES		

Outdoor Poles and Brackets

SM6 - Round Steel Bottleneck Pole



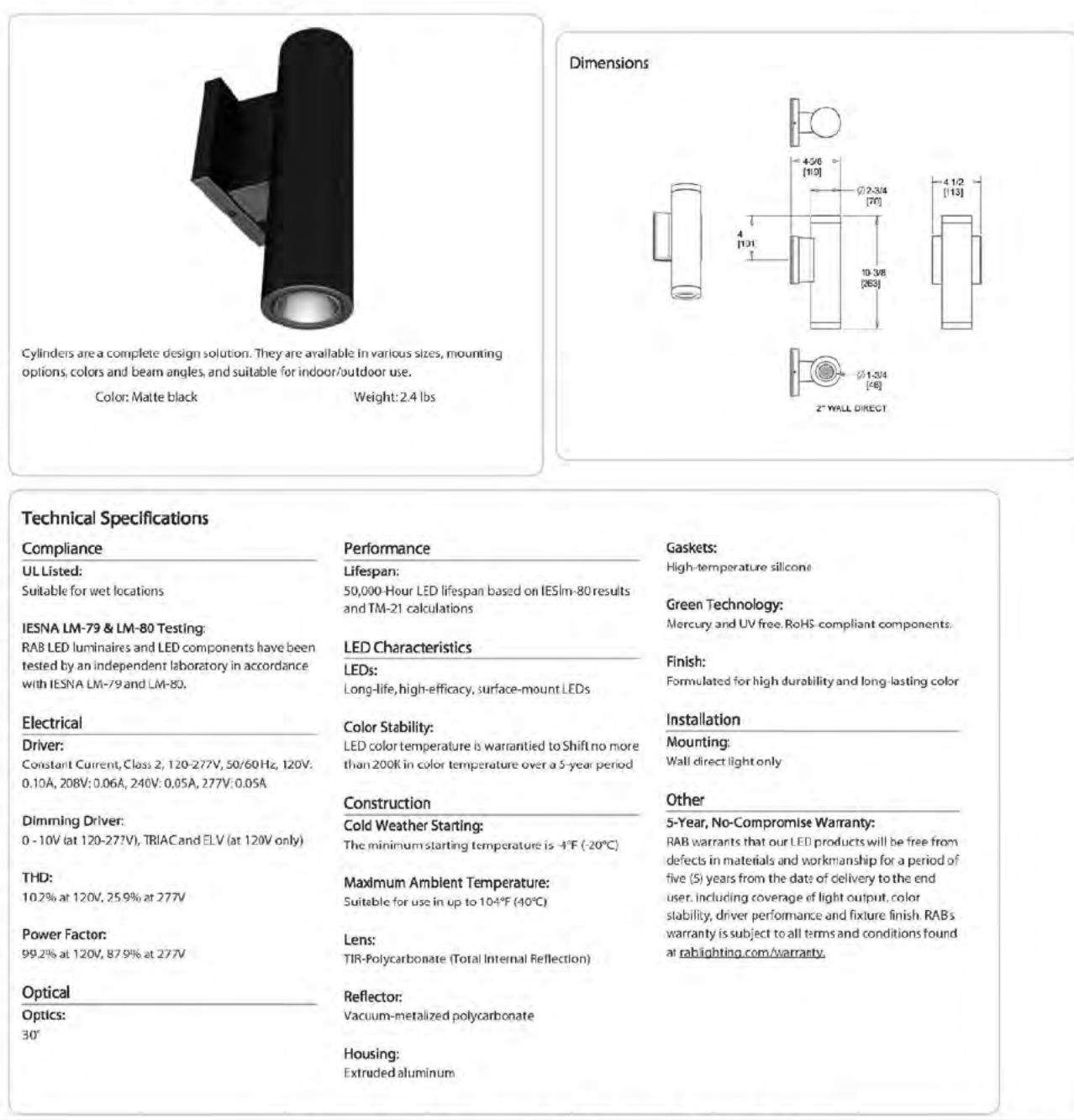
LIGHT POLE LIGHT 'A' (2)
NOT TO SCALE



B : METROSCAPE

- NOTES:
- 1 MANUFACTURER: LUMEC BY SIGNIFY
 - 2 MODEL NUMBER: MPTTRC-C-140L-450-WW-GI-UNV (3000K)
 - 3 LUMINAIRE OPTION: FN2
 - 4 COLOR: BLACK (BKTX)
 - 5 POLE: PHILLIPS LUMEC POLE-SM6 ROUND STEEL BOTTLENECK POLE COLOR: BLACK TEXTURED (BKTX) NOMINAL HEIGHT: 10'
 - 6 CONTACT INFORMATION: <https://www.signify.com/en-us> 800-555-0050

CDLED2WD-10W-30D930-K



WALL MOUNTED LIGHT 'B' (10)
NOT TO SCALE

LUMINAIRE SCHEDULE

(SEE NEXT SHEET FOR DETAILS)

- ⊙ A (2) PROPOSED POLE LIGHTS (SEE METROSCAPE DETAIL)
- ⊙ B (10) PROPOSED WALL PACKS (SEE RAB LIGHTING DETAIL)

CALCULATIONS SUMMARY

UNITS	AVG	MAX	MIN	AVG/MIN RATIO	MAX/MIN RATIO
WEST PARKING AREA					
Fc	24	57	06	40	95
EAST PARKING AREA					
Fc	16	44	02	82	220

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PENNSYLVANIA ONE CALL SYSTEM
PA act 172 of 1986 requires three working days notice

20253170513, 20253170655, 20253170702

PENNSYLVANIA ACT 187 REQUIREMENTS:
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UPJ: 1-10-92 | DEED BOOK 9953 | PAGE 1611 & UPJ: 1-10-93 | DEED BOOK 9953 | PAGE 1603

INLAND DESIGN
Engineering, Surveying & Land Planning

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
SCOTT J. ZWIZANSKI
ENG'NEER
PE091752

PRELIMINARY LAND DEVELOPMENT PLAN

GRAPHIC SCALE
0 5 10 20 40
(IN FEET)
1 inch = 10'

No.	Date:	Description:
1	06/26/2026	REVISED PER TWP REVIEWS

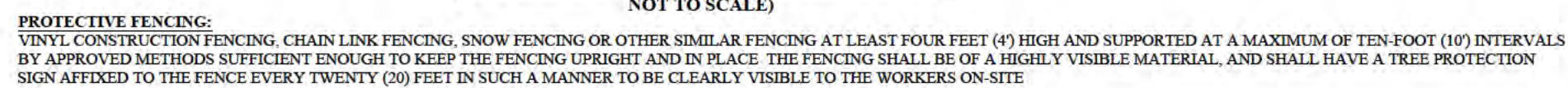
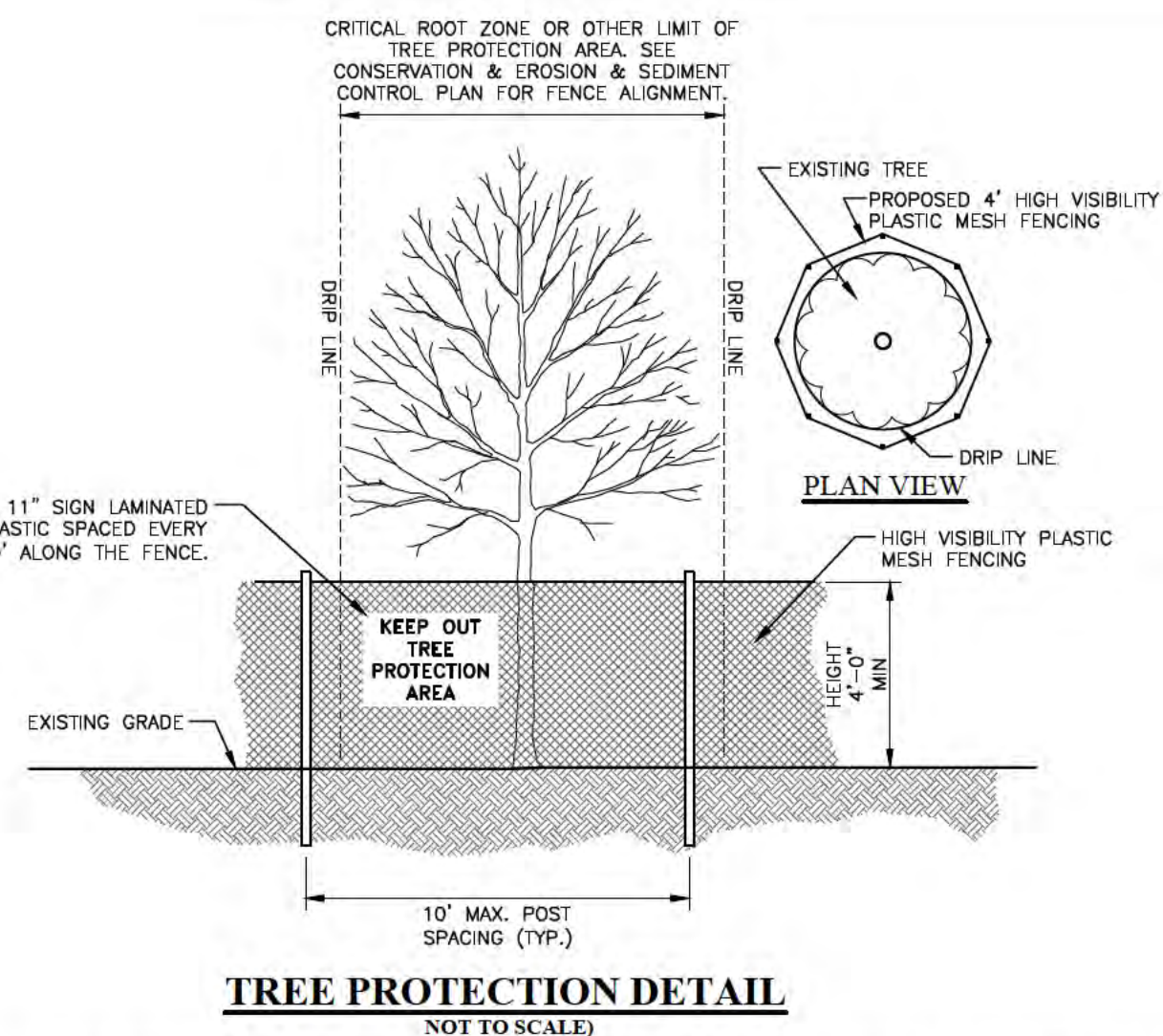
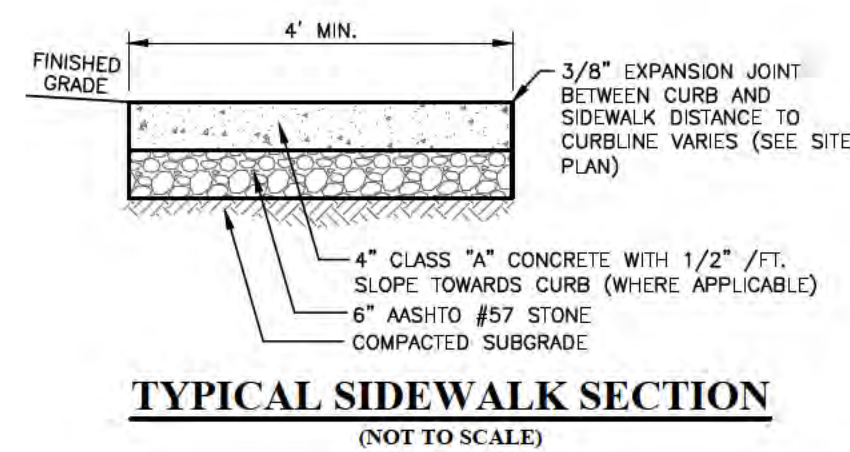
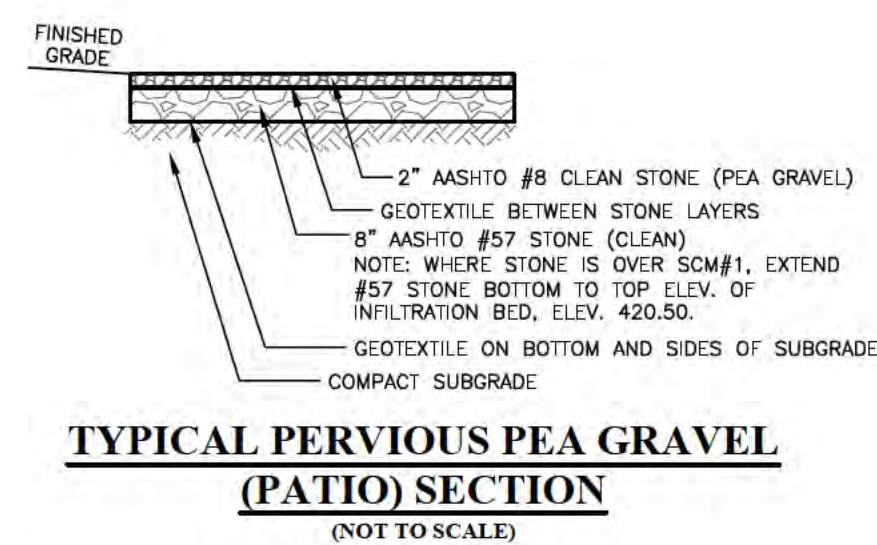
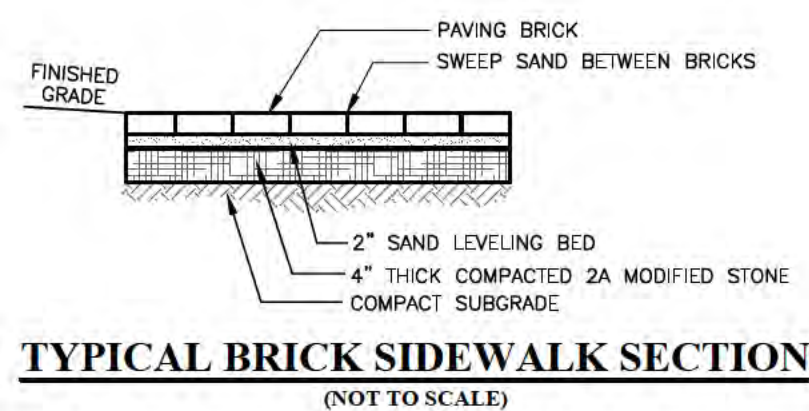
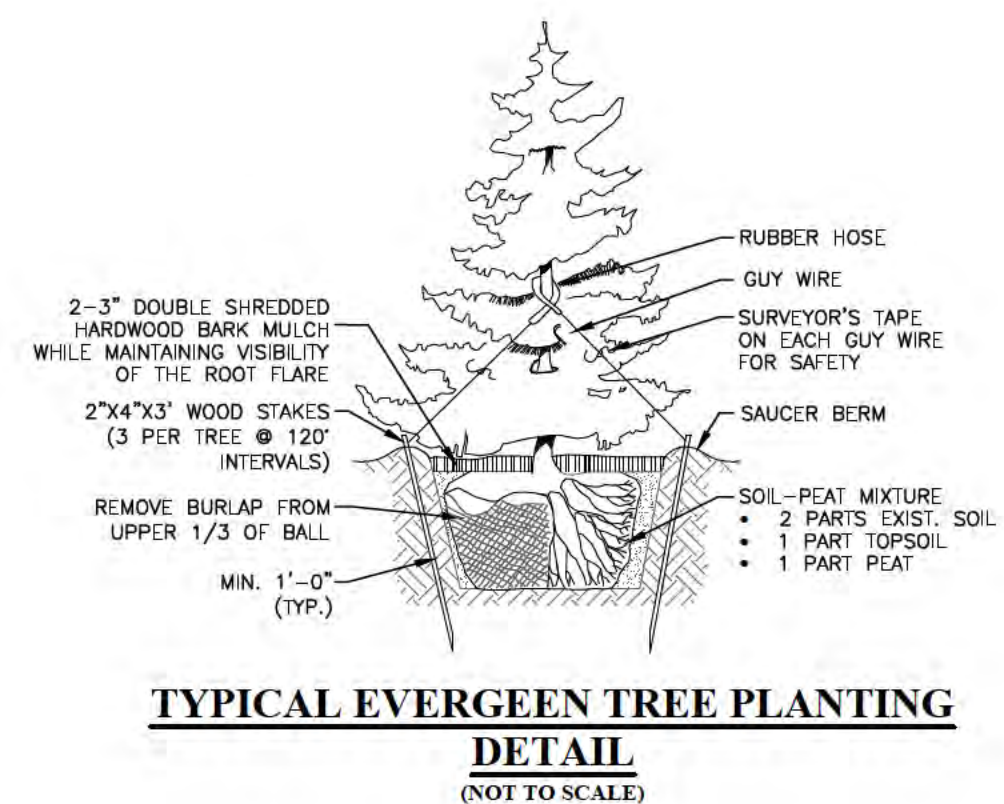
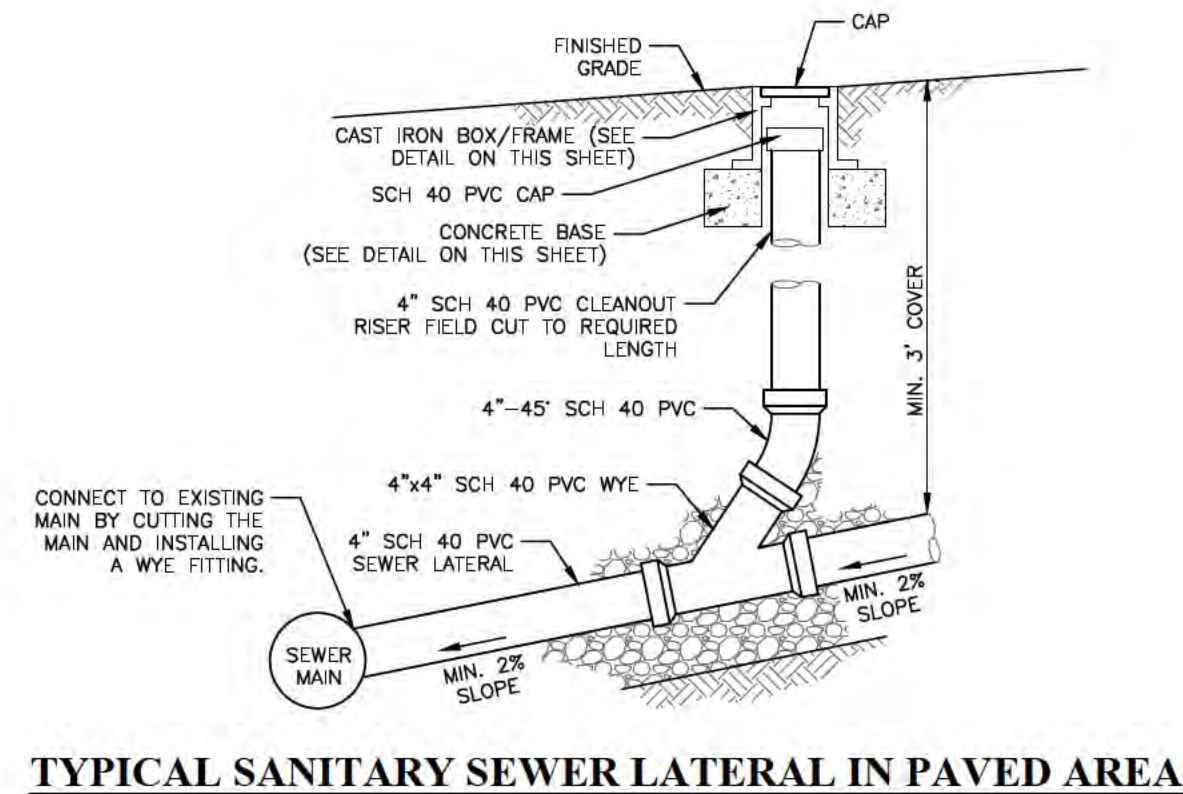
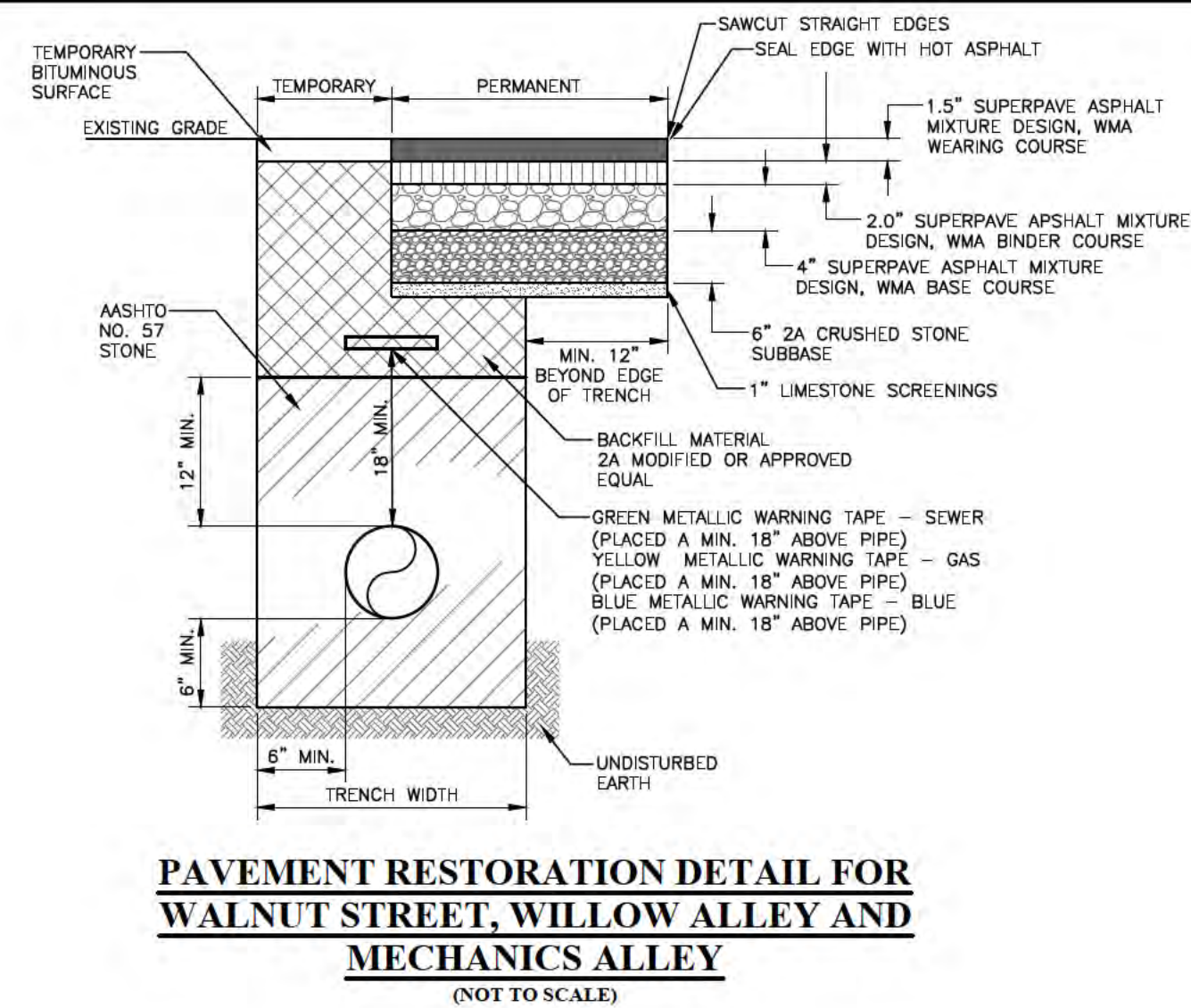
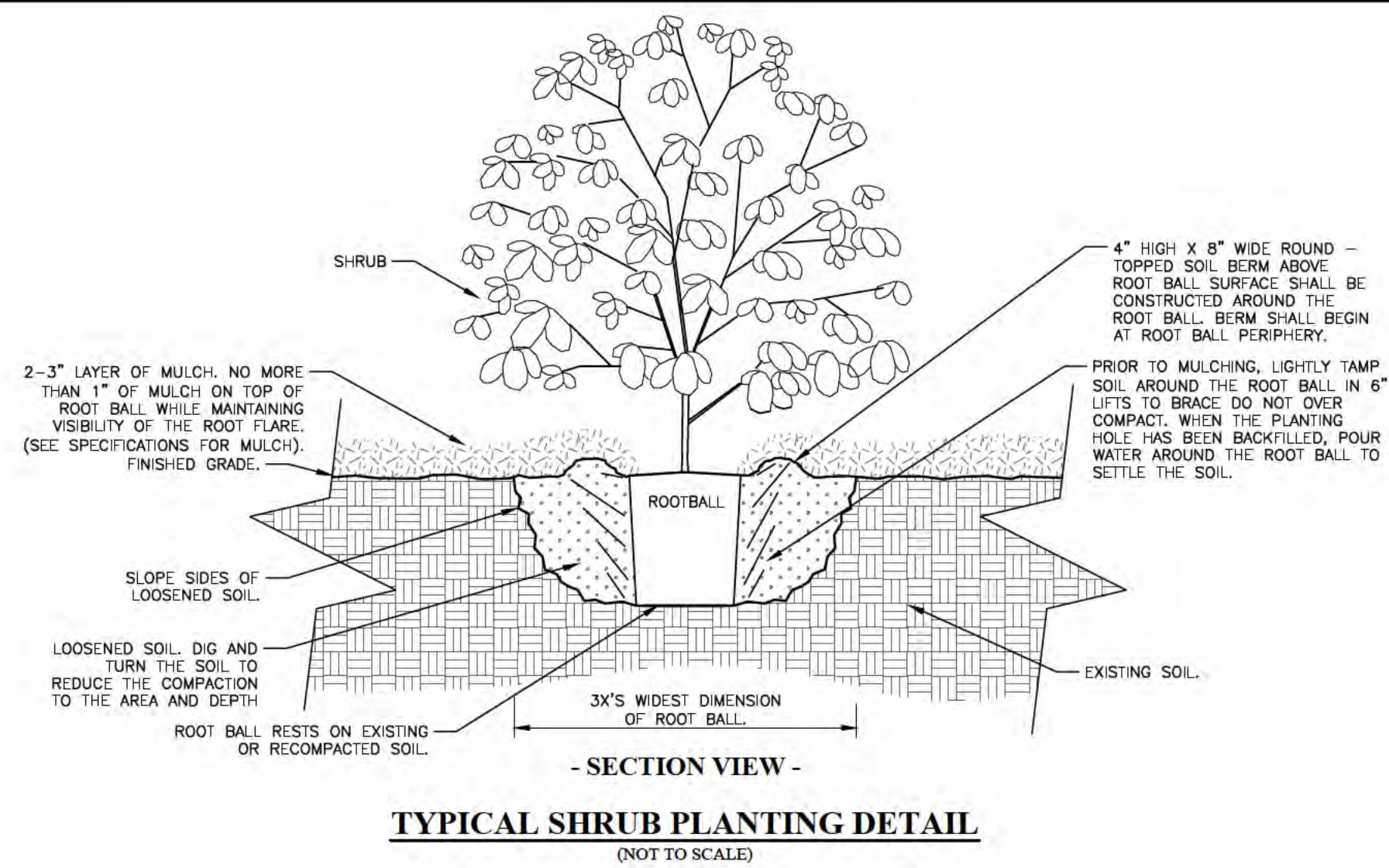
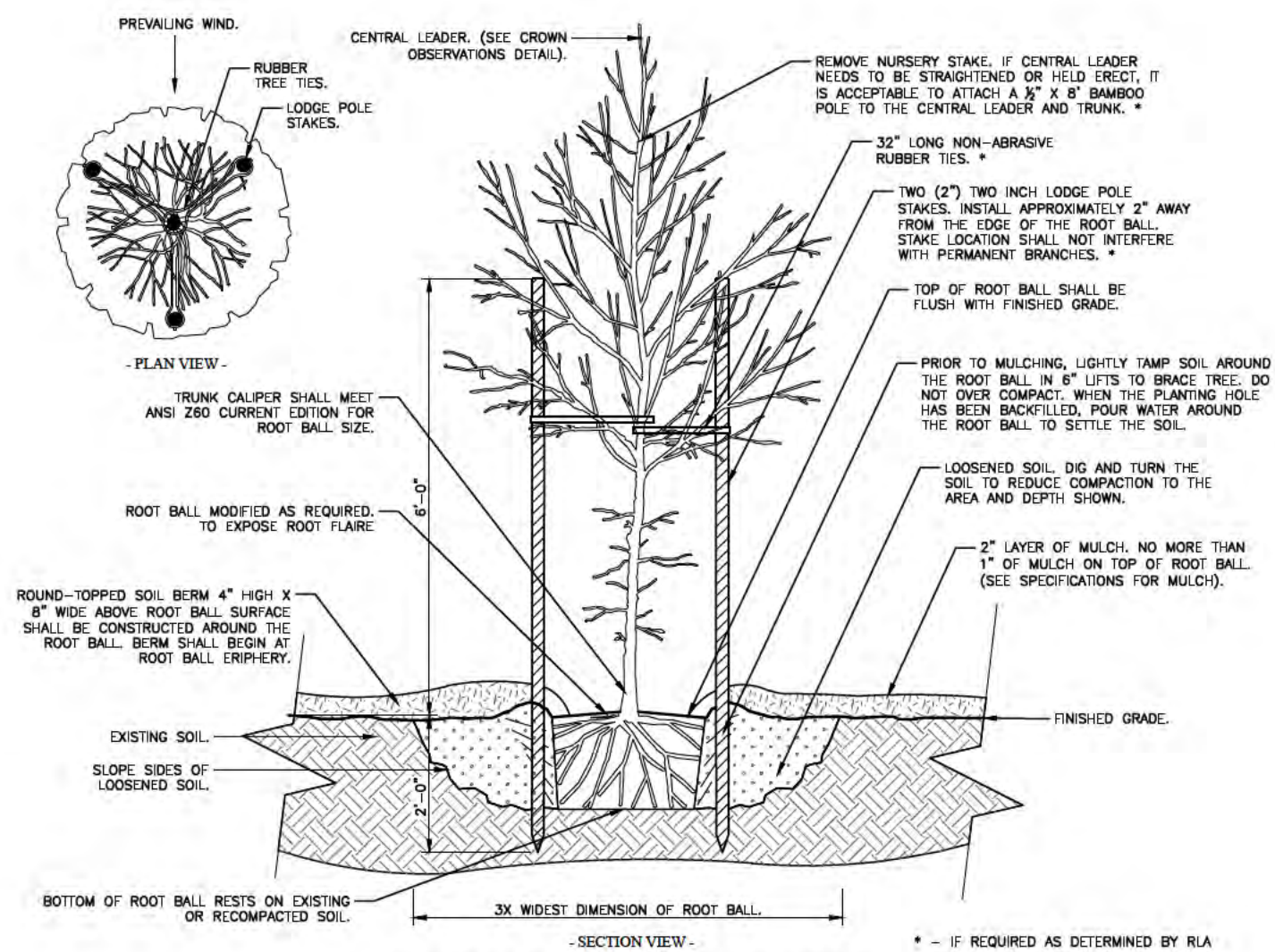
PRELIMINARY LAND DEVELOPMENT PLAN

GRAPHIC SCALE
0 5 10 20 40
(IN FEET)
1 inch = 10'

Date:
4/27/2026
Scale:
1" = 10'
Drawn by:
TAH
Checked by:
SIJ
Project No.
12706

LIGHTING PLAN FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

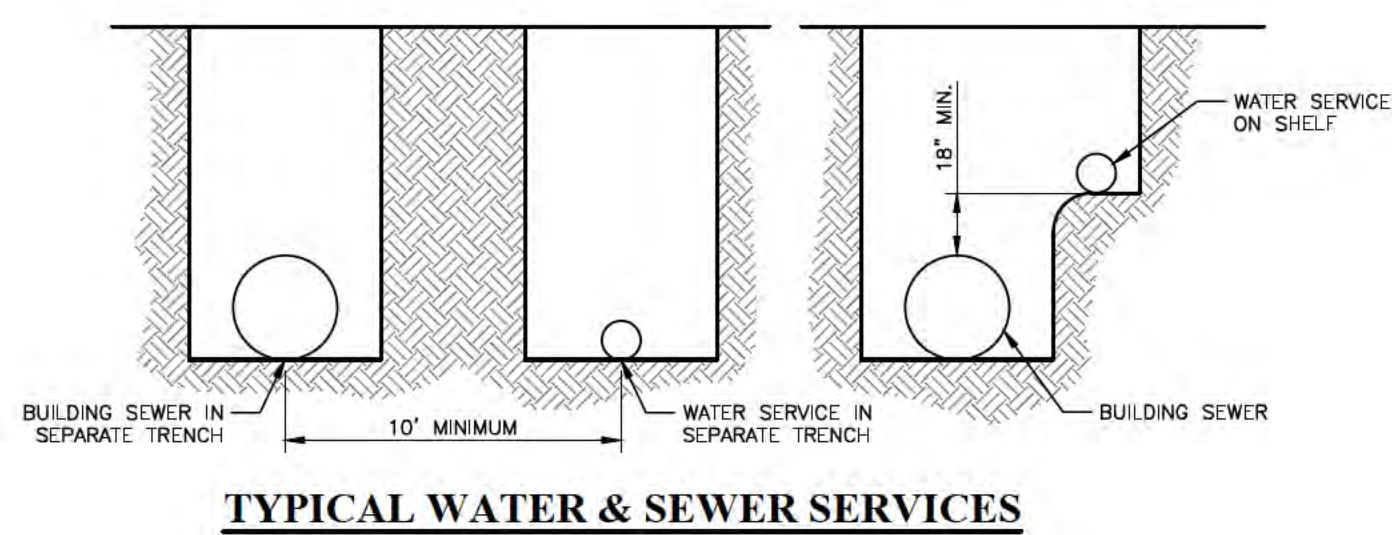
SHEET
12
OF 15



PRIOR TO CONSTRUCTION:
THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE OR GROUP OF TREES ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREES TO PROTECT THEM FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

DO NOT:

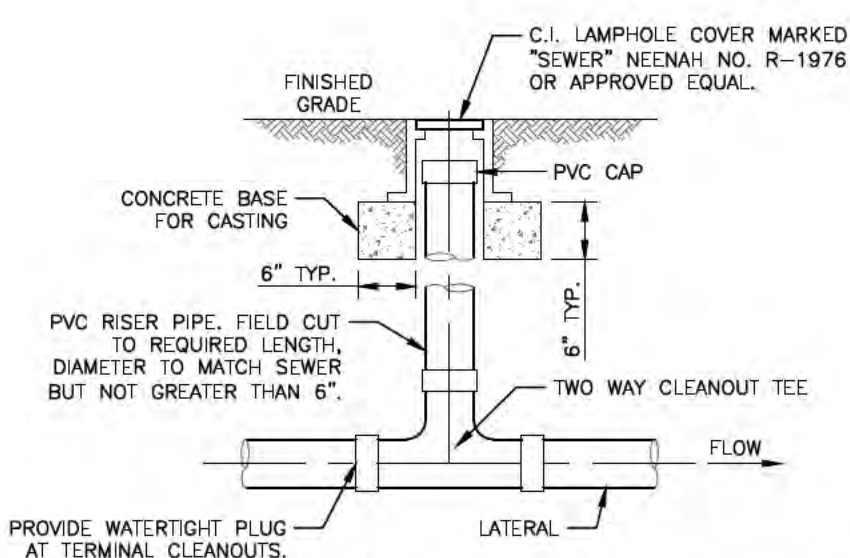
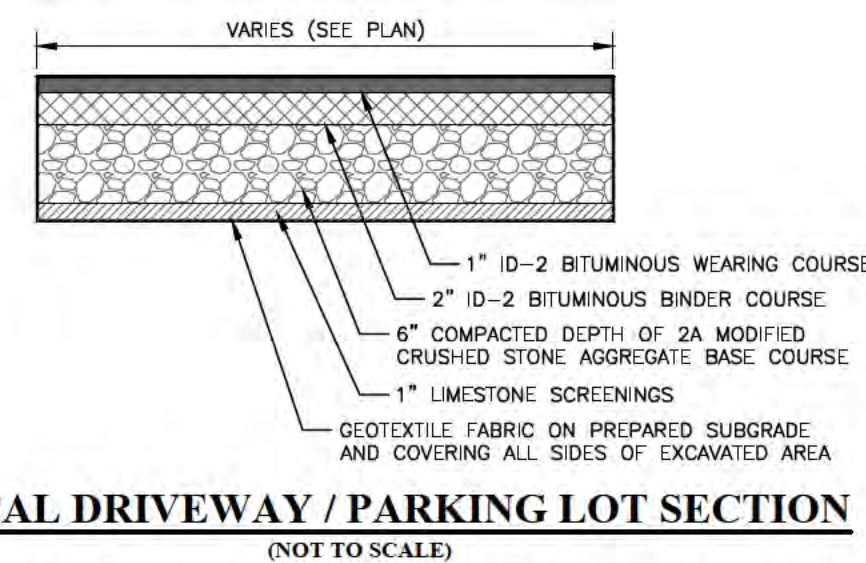
- A. ALLOW RUN OFF OF SPILLAGE OF DAMAGING MATERIALS INTO THE AREA BELOW ANY TREE CANOPY
- B. STORE MATERIALS, STOCKPILE SOIL, OR PARK OR DRIVE VEHICLES WITHIN THE TPZ
- C. CUT, BREAK, SKIN, OR BRUISE ROOTS, BRANCHES, OR TRUNKS WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CONSULTING ARBORIST
- D. ALLOW FIRES UNDER AND ADJACENT TO TREES
- E. DISCHARGE EXHAUST INTO FOLLAGE
- F. SECURE CABLE, CHAIN, OR ROPE TO TREES OR SHIRKS
- G. REMOVE OR CUT OR CUT DOWN OR WITHIN THE DRIPLINE OR TPZ OF THE TREE(S) WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CONSULTING ARBORIST
- H. APPLY SOIL, STERILANTS UNDER PAYEMENT NEAR EXISTING TREES

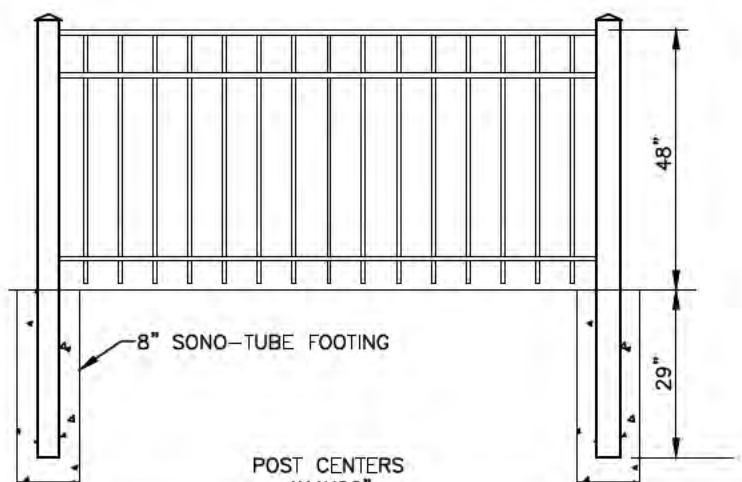


NOTE: (NOT TO SCALE)

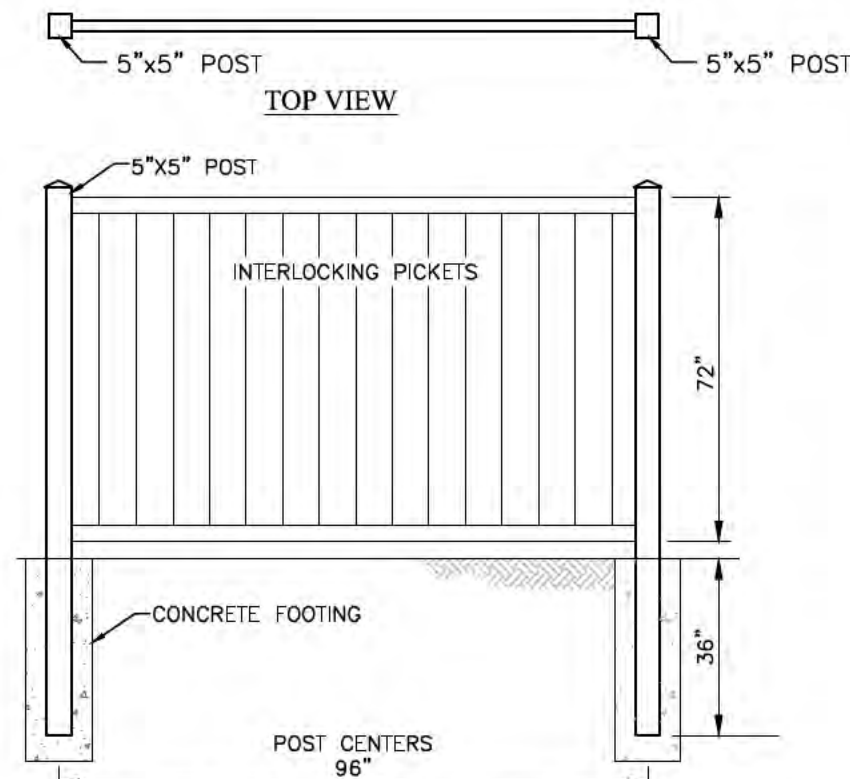
1 THE BUILDING WATER SERVICE AND SEWER SERVICES SHALL BE 10-FEET APART

2 WHERE 10-FEET SEPARATION CAN NOT BE ACCOMPLISHED, THE SERVICES SHALL HAVE A VERTICAL SEPARATION OF 18-INCHES (MINIMUM)



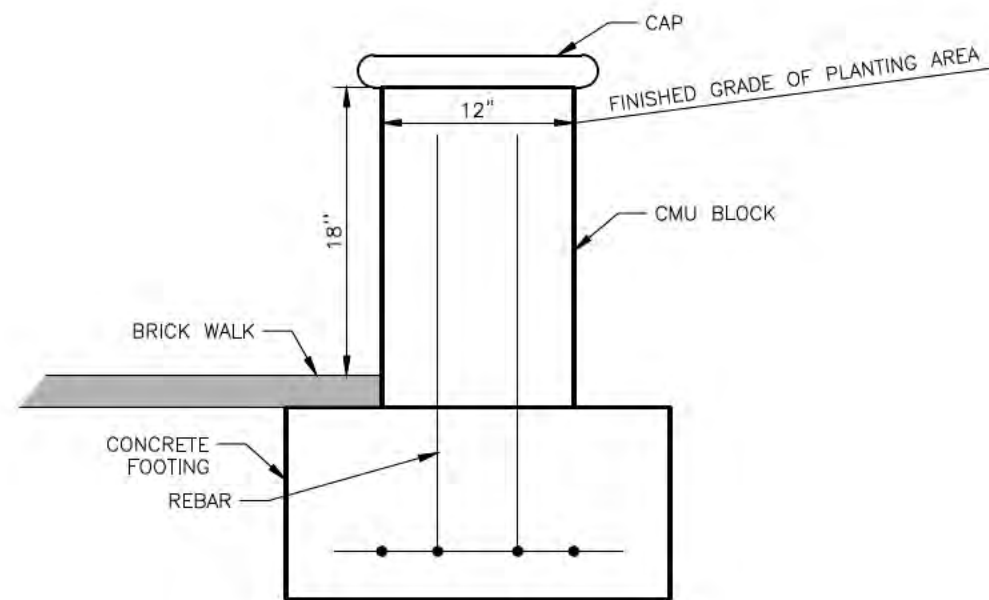


**POWDER COATED
ALUMINUM FENCE DETAIL**
(NOT TO SCALE)



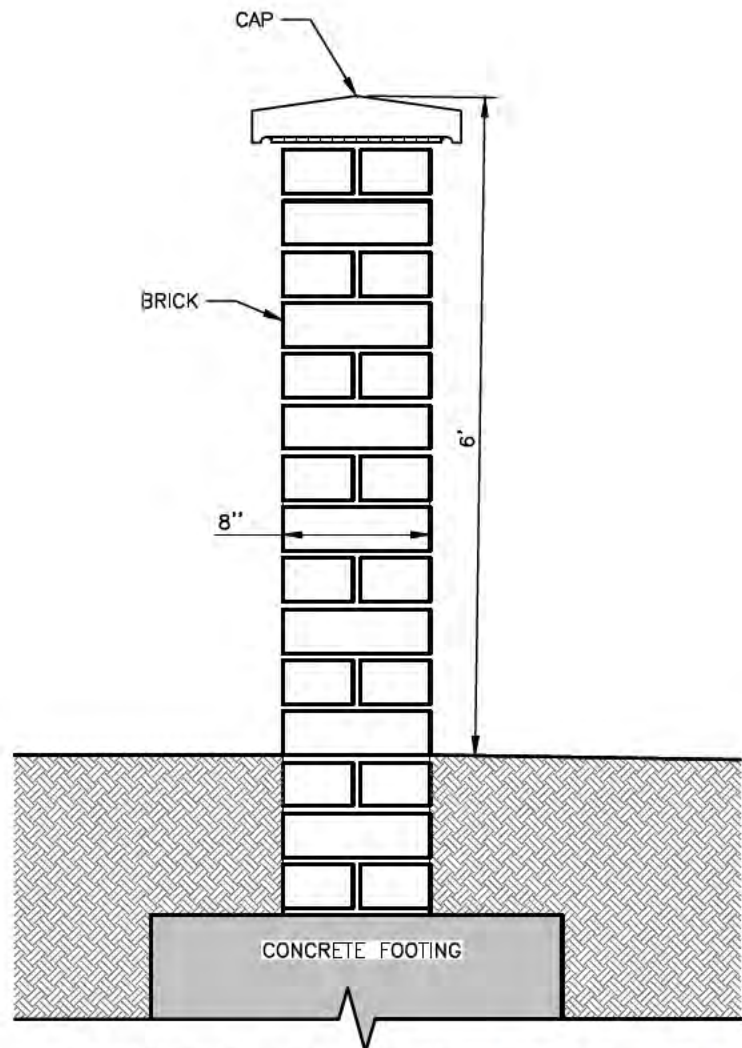
**TYPICAL 6-FOOT VINYL PRIVACY
FENCE DETAIL**
(NOT TO SCALE)

NOTE:
1 THE FENCE INSTALLED FOR THIS PROJECT SHALL BE A NON-WHITE COLOR



TYPICAL CONCRETE BENCH DETAIL
(NOT TO SCALE)

NOTE:
1 DETAIL WILL BE FINALIZED PRIOR TO CONSTRUCTION



TYPICAL FREESTANDING BRICK WALL DETAIL
(NOT TO SCALE)

NOTE:
1 DETAIL WILL BE FINALIZED PRIOR TO CONSTRUCTION

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Pennsylvania One Call System
PA act 172 of 1986 requires
three working days notice
Serial Numbers:
20253170513, 20253170655, 20253170702

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

UPI: 1-10-92 | DEED BOOK 9953 | PAGE 1611 & UPI: 1-10-93 | DEED BOOK 9953 | PAGE 1603



INLAND DESIGN
Engineering, Surveying & Land Planning





REGISTERED
PROFESSIONAL
ENGINEER
PE091752

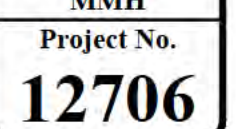


No.	Date:	Description:
1	06/26/2026	REVISED PER TWP REVIEWS

**PRELIMINARY
LAND DEVELOPMENT PLAN**



Date:
4/27/2026
Scale:
AS NOTED
Drawn by:
SJZ
Checked by:
MMH
Project No.
12706

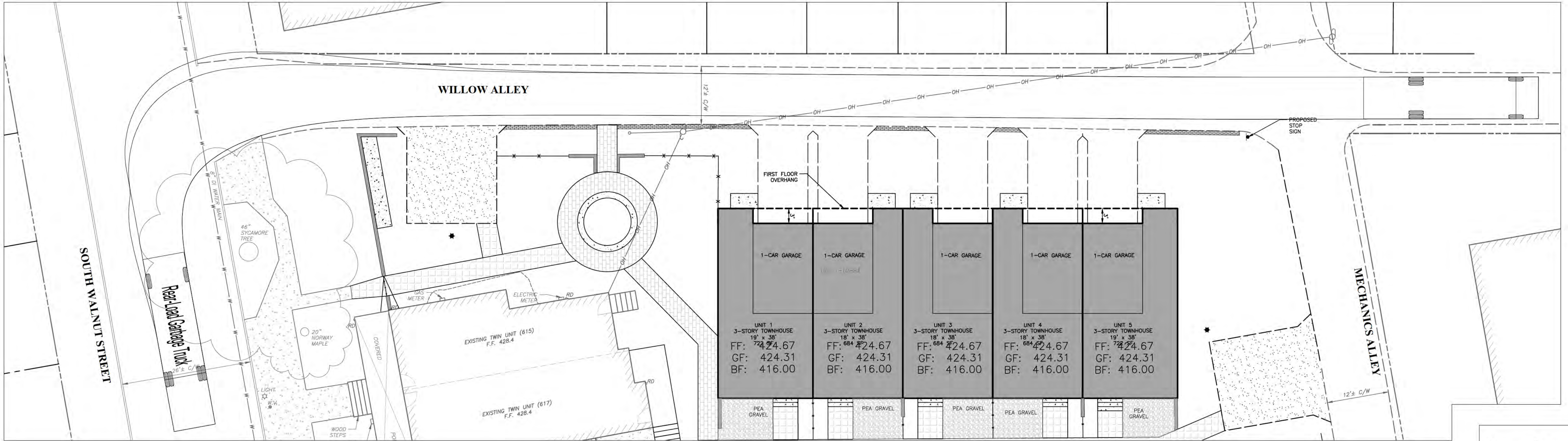


**CONSTRUCTION DETAILS 'B'
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

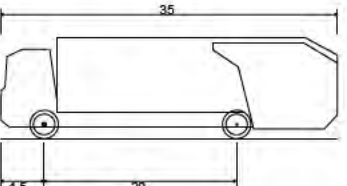


S H E E T
14
OF 15

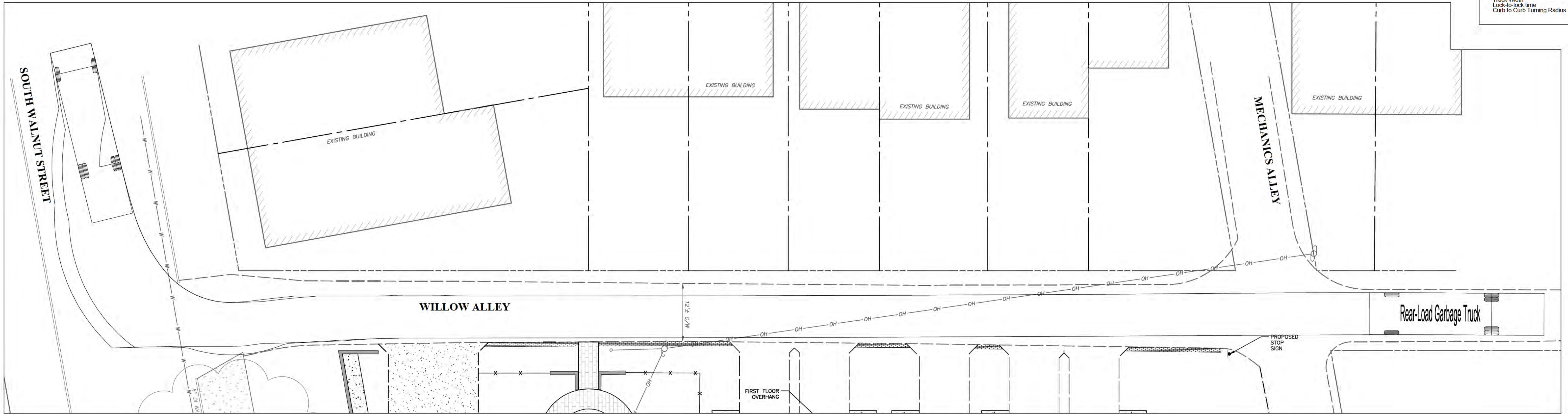




GARBAGE TRUCK ENTERING WILLOW ALLEY FROM SOUTH WALNUT ST.



Rear-Load Garbage Truck
Overall Length 35.000ft
Overall Width 8.375ft
Overall Body Height 10.545ft
Min Body Ground Clearance 1.000ft
Track Width 6.005ft
Lock-to-lock time 29.300ft
Curb to Curb Turning Radius



GARBAGE TRUCK EXITING WILLOW ALLEY TO SOUTH WALNUT ST.

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UP: 1-10-92 | DEED BOOK 9953 | PAGE 1611 & UP: 1-10-93 | DEED BOOK 9953 | PAGE 1603

INLAND DESIGN
Engineering, Surveying & Land Planning

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SCOTT H. ZWIZANSKI
ENGINEER
PE091752

No.	Date:	Description:
1	06/26/2026	REVISED PER TWP REVIEWS

**PRELIMINARY
LAND DEVELOPMENT PLAN**

GRAPHIC SCALE
0 5 10 20 40
(IN FEET)
1 inch = 10'

Date: 4/27/2026
Scale: 1" = 10'
Drawn by: MMH
Checked by: SJZ
Project No. 12706

**TRUCK TURNING PLAN
FOR
TRBL WALNUT, LLC
615 & 617 S. WALNUT STREET
WEST CHESTER, PA 19382
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

**S H E E T
15
OF 15**

EXHIBIT A-1
CHESCOVIEWS OF PROPERTY

COUNTY OF CHESTER
PENNSYLVANIA



Find UPI Information

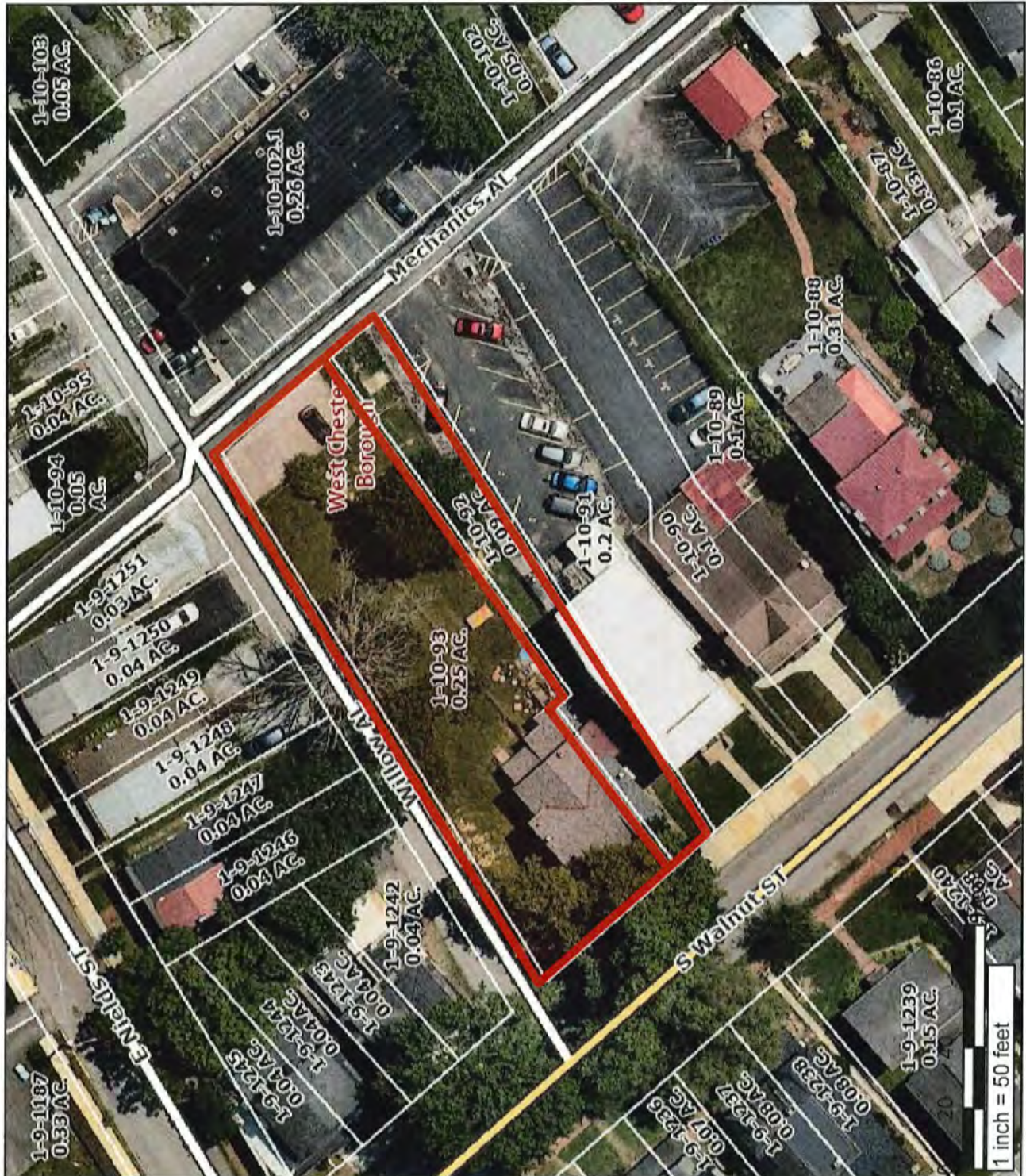
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UPI: 1-10-95
Owner: TRBL WALNUT LLC
Owner2:
Mail Address 1:
Mail Address 2:
Mail Address 3:
ZIP Code: 19382
Deed Book: 11499
Deed Page: 1974
Deed Recorded Date: 12/16/2025
Legal Desc 1: ES OF S WALNUT ST
Legal Desc 2: LOT & DWG
Acres: 0.2523
LUC: R-10
Lot Assessment: 38130
Property Assessment: 70690
Total Assessment: 128820
Assessment Date: 12/12/2025 9:23:31 AM
Property Address: 615 S WALNUT ST
Municipality: WEST CHESTER
School District: West Chester Area

Map Created:
Friday, July 10, 2026

County of Chester



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Department of Building, Housing & Codes Enforcement
Regulations for the Protection of Public Health, Safety and Welfare

401 East Gay Street • West Chester, Pennsylvania 19380
610-696-1773 • housing@west-chester.com

11/3/25

Owner: TRBL Walnut LLC
Property
Address: 615-616 S Walnut Street, West Chester, PA

Applicant: Inland Design

Zoning Determination

The Applicant is responding to a review of land development plans submitted for the property at 615-617 S. Walnut Street, West Chester, PA done by Pennoni Associates Inc, Review Letter #1 Dated June 1, 2026

“Pennoni Associates Inc.” Parking spaces shall not be located within any front yard areas. (§112-602.K(1))

“Inland Design Response.” Per the West Chester Borough Zoning Ordinance, a ‘Front Yard’ is defined as a “A yard abutting a street line of a primary street”. A ‘Primary Street’ is defined as “A street which serves as the principal means of vehicular travel to provide access to the front yard of abutting properties.” A ‘Secondary Street’ is defined as a street which serves as a subordinate means of vehicular travel to provide access to the side yard or rear yard of abutting properties, such as an alley.” Based upon the ordinance definitions the yard along South Walnut Street is the front yard for this parcel, and the proposed parking spaces along Willow Alley and Mechanics Alley are along secondary streets and are therefore not located in a front yard.

This is my determination on this response.

Definitions:

Yard, Front: A yard abutting a street line of a primary street extending the full width of the lot along the front lot line of such yard and extending in depth from the front lot line to the building setback line. In the case of a corner lot, the yards extending along all streets are front yards, and the remaining yards shall include a rear yard, opposite the street on which the principal building is generally faced, and a side yard opposite the other street. For lots fronting three streets, all yards abutting a street shall be considered a front yard. The remaining yard shall be either a rear yard or a side yard, determined by the position of the principle building facade.

Street, Primary: A street which serves as a principal means of vehicular travel to provide access to the front yard of abutting properties.

Street, Secondary: A street which serves as a subordinate means of vehicular travel to provide access to the side or rear yard of abutting properties, such as an alley.

Street: A right-of-way intended for the general public use to provide means of circulation for vehicles and pedestrians, furnishing access to abutting lots. The word "street" includes the words "road," "highway," "avenue," "boulevard," "lane" and "alley."

This property has two sets of single-family attached and semidetached buildings. One set of semidetached buildings (twins) is fronting Walnut Street, the other set of five single-family Semidetached and attached homes (townhouses) are fronting Willow Alley. Street definition states that the word street includes the words "road," "Avenue," "Boulevard," "Lane," and "alley". Primary street definition states that it is a street which serves as a principal means of vehicular travel to provide access to the front yard of abutting properties. This means that Walnut Street and Willow Alley are both primary means of vehicular access to the homes on this property, they are both "Primary Streets."

Since both Walnut Street and Willow Alley are primary streets, then that makes the yard that abuts both Walnut Street and Willow Alley a "Front Yard. As stated in item #5 of Pennoni's Review letter #1 Dated June 1, 2026, Parking spaces shall not be located within any front yard area.

Section 112-602.K(1) Parking in front of building.

(1) Parking spaces shall not be located within any front yard areas, except in the Industrial District, where parking in the front yard may be permitted as a special exception by the Zoning Hearing Board, provided that it does not comprise more than 50% of the front yard areas.

Right to Appeal:

The Applicant has the right to appeal a decision of the Zoning Officer, or seek relief of portions of Chapter 112, the Borough of West Chester, Zoning Ordinance through a variance, by applying to the Zoning Hearing Board within 30 days of determination. A link has been added below.

<https://www.west-chester.com/DocumentCenter/View/27616/Zoning-Hearing-Board-Appeal-Application?bidId=>

Sincerely,

Aaron Flook, Director

Borough of West Chester

610.696.1773/housing@west-chester.com