



Smart Growth Committee Meeting
August 13, 2025 @ 6:30 PM
This meeting is recorded for public record.

Committee Members:

Nicole Scimone, Chair
Lisa Dorsey
Bernie Flynn

Smart Growth Committee of Borough Council:

Borough Manager: Sean Metrick

Director of Building & Housing: Aaron Flook

Smart Growth Committee Meeting:

1. Call to Order
2. Announcements
3. Comments
Comments, suggestions, petitions by residents in attendance regarding items that are not on the agenda. Please be advised that all public comment has a 5-minute time limit.
4. Reports
 - A. Director's Report
5. Old Business
 - A. Motion to approve Smart Growth Committee minutes – July 9, 2025 (attachment)
 - B. Discuss Amendments to Chapter 90A – Restaurants-Café
Issue: Continue discussion on Chapter 90A amendments
6. New Business
 - A. Potential Turk's Head Trail - Presentation by Carrie Roskamp (attachment)
 - B. Townhouse proposal for 410 S High Street, Presentation by Pete Staz - (attachment)
 - C. Motion to approve Public Arts Commission endorsement of Safe Harbor of Chester County -20 N. Matlack St (attachment)
Issue: review proposed new mural
 - D. Motion to approve HARB applications (attachment)
Issue: Consider a Motion to approve the July HARB Certificate of Appropriateness
 1. 2025-20: 233 W. Gay St-Revised exterior HVAC equipment
 2. 2025-22: 18 W. Market St-Signs

3. 2025-23: 133 W. Market St-Exterior renovation & sign
4. 2025-24: 301 W. Market St-Signs
5. 2025-25: 20 W. Market St-Door & window replacement

E. Motion to schedule a Public hearing to amend Chapter 66 to change penalties for disruptive conduct notices

Issue: Review draft amendment and consider scheduling a Public Hearing

F. Discuss amending Chapter 112 – 602 Zoning referencing curbs and streets (attachment)

G. Motion to appoint Borough Historic Architect. (attachment)

Link to Website: <https://www.patterhn-ives.com/>

Issue: Appoint Patterhn Ives, LLC as Historic Architect for the Borough.

7. Other Business

8. Adjournment

Visit www.west-chester.com for access to all attachments.

Agendas are posted to www.west-chester.com by noon 3 business days prior to the meeting.



Borough of West Chester

401 East Gay St West Chester PA 19382

Borough Council

Patrick McCoy, President
Nicole Scimone, Vice President
Bryan Travis
Brian McGinnis
Sheila Vaccaro
Bernie Flynn
Lisa Dorsey

Mayor

Lillian L. DeBaptiste

Borough Manager

Sean Metrick

Department of Building and Housing Monthly Report – July 2025

To: Smart Growth Committee of Borough Council

From: Aaron Flook, Director of Building and Housing

August 11, 2025

Summary Highlights

- The new Director, Aaron Flook, took over on July 21st.
- Rental license renewal period continued for 2025-2026. We have been contacting all property owners/managers that have outstanding required submittals and will not be depositing checks and issuing licenses until items are complete. At this time, we are ahead of where we were in November of last year
- The Department members are performing a review of training, processes and policies. The first goal will be to update and/or create Standard Operating Procedures for the department.
- The Department is looking to join the American Association of Code Enforcement (a nonprofit organization dedicated to promoting professionalism in Code Enforcement) This will help to provide continuous education and training for the COE.

Planning & Zoning

- Review and Discussion of the draft amendments for Build-to requirements. Proposed changes to the Dimensional Requirements for Districts, front and side yard build-to setbacks.
- Discussions on Rec Space or Fee in lieu (97.A.19.19). Discussion of ideas for changes, or clarification
- 210-214 W Washington: Has proposed changes to the proposed development, reducing the number of units from 8 to 6. Discussion was tabled to allow a meeting between the Owner/Developer and the new Director of BH&CE
- 700 S. High Street, West Chester University presentation of the West Chester University Master Plan report by Conrad Talley, AIA.
- Review and discussion of new Preservation ordinance.
- 531 Marshal Drive, 1029, Dimensional Variance: continued to September 22, 2025
- 510 E. Miner Street, 1031, Illuminated Ground Mounted Sign

Codes Enforcement

- Rental inspections have been a priority this month.
- Code Enforcement Officers and Public Works are working together to streamline tickets on bulk trash pickups. Sharing information and better identifying which properties have ordered bulk trash pickup properly.
- Code Enforcement Officers were able to resolve issues with 614 E. Barnard Street. An ongoing issue

Code Enforcement Tickets Issued: Grass, Snow & Trash

Status	24-Nov	24-Dec	25-Jan	25-Feb	25-Mar	Apr-25	May-25	Jun-25	July
Paid		2	61	43	44	74	68	11	62
Issued		1	2		27	0	9	8	97
Warning	2		2	3	8	18	38	9	11
Void				3	6	5	2	3	2
Dismissed			4	12	2	10	10	3	4
Abandoned			1		2	0	1		
In Dispute					1	1	0	3	3
Court	0	0	20	11	1	16	12	0	8
	2	3	90	72	91	124	140	37	179

Rental Licensing

Rentals	<u>Mar</u>	<u>Apr</u>	<u>May</u>	<u>Jun</u>	<u>July</u>
Annual Rental Inspection	127	129	128	165	208
Initial Rental Inspection (New Rental)	5	5	3	1	1

- We are currently ahead of where we were last year in November with Rental Licenses processed.

Points

- No points accumulated in July because no active citation was found guilty in that month. There were no PD citations received this month.

Building Permits

		Mar	Apr	May	Jun	July
<u>Code Enforcement</u>						
Enforcement Requests		71	34	84	53	107
Cases Opened		49	15	54	24	70
Cases Closed		28	55	71	50	39
<u>Permits Issued</u>						
CERTIFICATE OF OCCUPANCY			1			
COMMERCIAL ADDITION-ALTERATION-REPAIR			10	6	8	1
RESIDENTIAL ADDITION-ALTERATION-REPAIR			25	51	19	30
RESIDENTIAL DEMOLITION					1	1
COMMERCIAL DEMOLITION				1		1
CAFE PERMIT CONTRACT			15	7		1
HOME OCCUPATION			1			1
SIGN PERMIT			2		2	1
RESIDENTIAL NEW BUILDING			2			1
ZONING SITE PLAN REVIEW				4	1	4
<u>Permit Applications Received</u>						
CAFE PERMIT CONTRACT		14	28	7	1	1
CERTIFICATE OF APPROPRIATENESS- SIGNS		1	4	2	1	2
CERTIFICATE OF APPROPRIATENESS- REPAIR				5	1	1
CERTIFICATE OF OCCUPANCY		2	2	2	1	1
COMMERCIAL ADDITION-ALTERATION-REPAIR		4	18	14	10	19
COMMERCIAL DEMOLITION				1		1
LAND DEVELOPMENT APPLICATION		1	1		1	
HEN PERMIT				1	1	0
RESIDENTIAL ADDITION-ALTERATION-REPAIR		42	53	60	22	38
RESIDENTIAL DEMOLITION					3	2
RESIDENTIAL NEW BUILDING		2	2	1		1
SIGN PERMIT		4	3	5	2	3
VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL		2	1		1	
ZONING SITE PLAN REVIEW		13	8	4	1	4
ZONING VERIFICATION LETTER		1	1	1	1	1

<u>Building Permit Inspections</u>		85	164	100	99	104
<u>Code Enforcement</u>						
NUISANCE		1		4		
PROPERTY MAINTENANCE		33	2	49	10	24
RIGHT OF WAY						
ZONING VIOLATION		4	1	1	1	1
BUILDING CODE VIOLATION				2	1	1
GRASS AND WEEDS						14

DRAFT MEETING MINUTES

SMART GROWTH COMMITTEE OF BOROUGH COUNCIL

Date: Wednesday, July 9, 2025 @ 6:30 PM

Committee Members: Nicole Scimone, Chair
Lisa Dorsey
Bernie Flynn

Staff: Ramsey Reiner, Interim Director of Building, Housing & Code Enforcement Sean Metrick, Borough Manager

I. Call to order-7:00PM

II. Announcements-None

III. Comments, suggestions, petitions by residents in attendance regarding items not on the agenda. *(Please be advised that all public comments have a 5-minute time limit.)* In reference to comments made at a previous meeting, Ms. Scimone comments that she is pro-free speech, and welcomes all to the meetings and Public Comment that have relevant issues pertaining the Borough. Mr. Flynn respectfully disagrees with Ms. Scimone's comment. Ms. Dorsey agrees with Ms. Scimone.

IV. Reports

A. Director's report-Interim Director Ramsey Reiner presents statistical Building & Housing information for June 2025 and announces a new Director is going through the hiring process with a tentative start date of July 21, 2025. Mr. Metrick gives a presentation called Rental Enforcement Activity. This presentation explains the connection between the Police Department and Building Housing & Code Enforcement Department and how the two departments enforce together. Mr. Metric explains the procedure when Police Citations are issued and how the citations are processed through Building & Housing then ultimately how the citation issued affects the property point enforcement process. Ms. Dorsey reminded all the points was torture to the neighbors even with the letters and citations. He continues that maybe these nuisance properties should be subject to higher points from the moment of citation. Ms. Scimone asks if there is a way citations issued in the rental cycle from July-June, but not resolved until the next rental cycle, could points acquired count for the rental cycle the citation was written. Mr. Flynn offered that points acquired by these nuisance properties would be on a scale to the escalation of citations, *i.e.*, first time-three points, second time-four points, third time-five points, etc. Daryl Cooke, South Walnut St, commented the old interpretation was that points stuck for a twelve-month "floating" year, from issue to twelve-months later and was unaware of the expiration of property points at the end of license year. Ms. Scimone said this would be double checked. Committee makes a recommendation to amend Chapter 66, adjusting points allocated for nuisance properties from a three-point start to a graduated allocation, incremental point for every future citation. Mayor Baptiste asked if the points stay with the house, and if the points stay with the house, why can't the time frame be extended for points, maybe extend to 2 years? She continues that a solution needs to be created. Mr. Flynn states an extension to 2 years would punish property owners that have poor tenants one year, then good tenants the next. It would appear the Borough is "picking on them." Director Reiner offers that since the reporting proves enforcement has gotten much better since January 2025, with additional training and support, enforcement will continue to improve. She is in favor of the incremental point idea, then suggests working towards making this change for the 2026-2027 rental cycle. This issue will be forwarded to the Work Session.

V. Old Business

A. Motion to approve Smart Growth Committee minutes – June 11, 2025-3:0 Recommend to approve

VI. New Business

A. Motion to grant extension until August 31, 2025 for 210-214 W Washington Street, Axel Square

land development project. Director Reiner states the applicant will be submitting a new design to this application by possibly decreasing the number of units. Ms. Scimone, for the record, offers she hopes that the redesign is for the applicants wishes and not that the application process was not too hard on them. Ms. Scimone adds she is a big proponent of building more and more affordable homes. Eight affordable homes would be preferable over six more expensive homes. 3:0 Recommend to approve

B. Motion to approve HARB applications (attachment) 3:0 Recommend to approve
Issue: Consider a Motion to approve the June HARB Certificate of Appropriateness

1. 2025-18: 120 N. Church St-Exterior mechanical equipment installation
2. 2025-19: 233 W. Gay St-Exterior mechanical equipment-Rectory office
3. 2025-20: 233 W. Gay St-Exterior mechanical equipment-Choir mezzanine
4. 2025-21: 202 W. Gay St-Replace front door and sign

C. Consider directing the Solicitor to attend Zoning Hearing Board (attachment)

1. 531 Marshall Drive: relief from residential dimensional and parking requirements- 3:0 Recommended to for Solicitor to attend Zoning Hearing to oppose this application
2. 501 E. Miner St: relief to allow illuminated ground mount sign at The Melton Center on West Market Street. 2:0 Recommended not sending Solicitor to attend Zoning Hearing to oppose this application. Ms. Dorsey recused herself from recommendation.

D. Discuss amendment to front yard setbacks of the Zoning code. Director Reiner informs the Committee that Planning Commission would like to amend the front yard setback in Town Center zoning district to zero feet, confirming that this amendment was a recommendation from Committee to Planning Commission and not the other way around. Ms. Scimone confirmed that Smart Growth Committee did request the Planning Commission to address building build-to line in Town Center in 2024, that is being acted upon in 2025. The next item the Committee would like the Planning Commission to address is how to make it easier to build homes, rather than big apartment buildings.

E. Discuss revisions to café permits, dining platforms in parking areas, and use of the street during Gay St closure
Issue: Improvements to regulations for outdoor seating standards and possible ordinance updates. Director Reiner stated there was no new information with this topic, rather keeping it on the agenda and work with the new director and Downtown West Chester to make changes for 2026.

VII. Other business- Mayor Debaptist makes public comment regarding the state of the Davis Property, requesting a meeting with entire Borough Council. Mr. Flynn says that the Director's Report reflects how busy the Code Officers have been and a phone call can be made to the property owner in the morning. Mayor Debaptist feels the property is being neglected and needs to be addressed consistently. Ms. Scimone adds she believes the property would be a great skate park. Mr. Flynn reminds all that remediation needs to happen before development of the property can occur, and there are other remediated properties that have been successfully developed and suggest a dog park.

VIII. Adjournment- 8:02pm

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Turks Head Trail Concept

Connect, Explore, Discover

The Problems



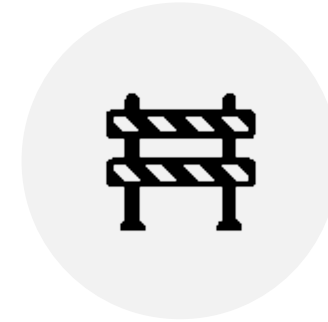
Safety

Many residents must walk, jog or bike along busy streets.



Isolation

Parks, schools, and recreation are disconnected.

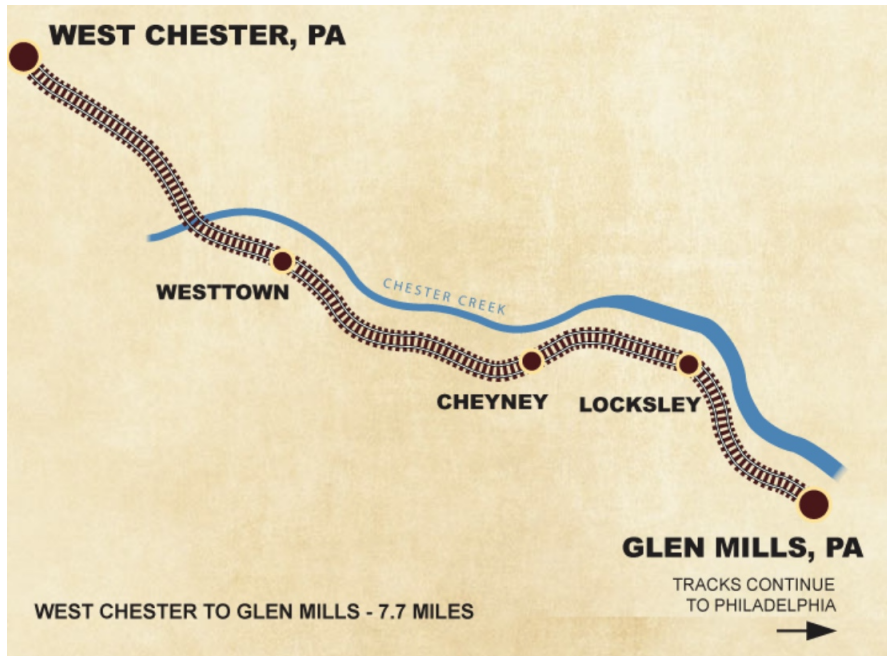


Traffic

Cars are the primary travel method for short trips around the area.

The Opportunity

The SEPTA corridor has room for a parallel trail – a hidden gem!



- SEPTA ended passenger rail service to West Chester in **1986** due to low ridership and deteriorating track conditions.
- Since **1997**, West Chester Railroad Co. has operated a historic train on SEPTA track between the Glen Mills and West Chester stations.
- The train operates on Sundays at noon from April – December with additional service for special events (Santa’s Express, etc.).



A New Multi Use Trail

Rail with Trail

West Chester Borough
0.75 mi


West Goshen
0.95 mi

Westtown
1.75 mi

Thornbury (ChesCo)
1.26 mi


Thornbury (DelCo)
0.30 mi

Chester County Total Distance
4.71 mi



Delaware County Total Distance
0.30 mi*

*Luckenbach Trail connection would add another 1.5 mi



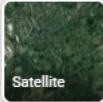
Chester County

WESTTOWN ACRES

WESTMOUNT

WESTTOWN PARK

WESTTOWN HILLSIDE



Mental and Physical Health



Be Active

Get outside and enjoy a run, walk, or bike ride on a fun and safe trail.



Relax & Enjoy Nature

Take in the natural beauty this area has to offer in the fresh air and sunlight.

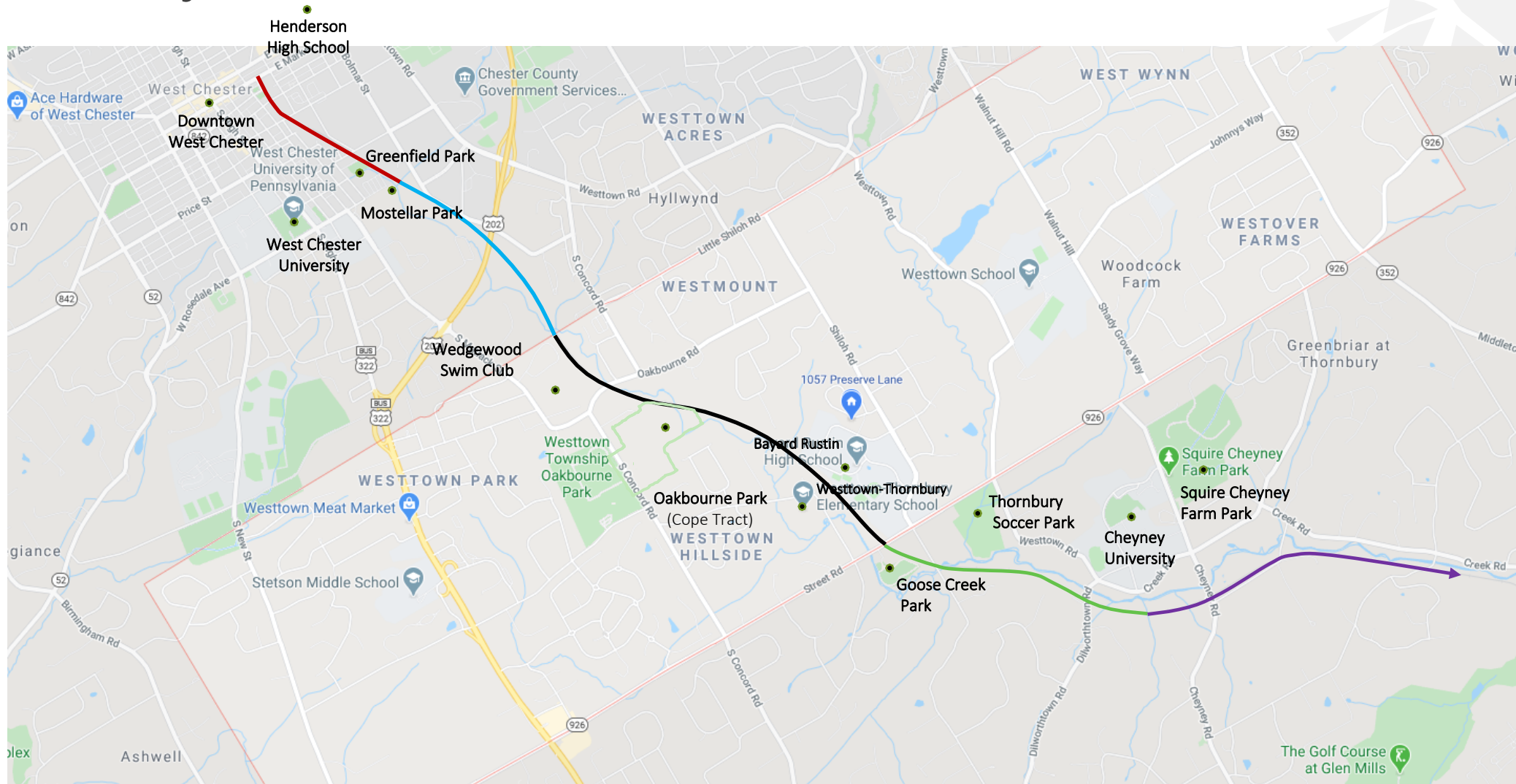


Go Green

Get to Points of Interest along the trail and leave the car at home.

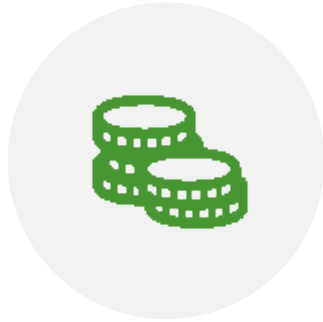


Community Connection



Benefits of Trails

Trails enhance the area in significant ways



Economic

A trail is an amenity that can benefit businesses and increase the desirability of properties near the trail.



Quality of Life

Use of trails and reconnection with nature and community can improve people's quality of life.



Health

Trails encourage exercise and physical fitness which translates into improved health for people and their pets.

Inspired by the Chester Valley Trail

The Chester Valley Trail is currently 18.6 miles in length.

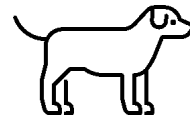
The trail surface is paved in asphalt that is fully ADA accessible.

The trail is constructed to a 10-12' width with 2' level shoulders on each side.

The trail is used for commuting, exercise, and recreation by a variety of users.

Permitted Uses

- ❖ Battery powered wheelchairs by persons with disabilities
- ❖ Cross country skiing
- ❖ Cycling and scooters (non-motorized)
- ❖ Dog walking under leash
- ❖ In-line skating
- ❖ Jogging
- ❖ Strollers, including those connected to bicycles
- ❖ Walking



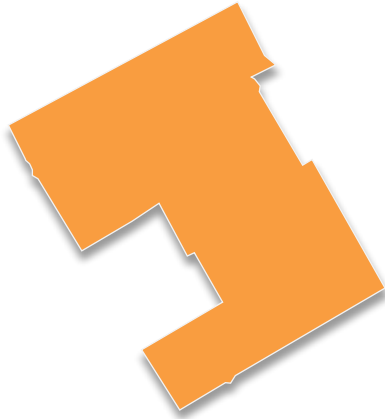
Regional Analysis

Public interest in a local multi-use trail is high; the trail could benefit 64,000 local residents.



West Chester

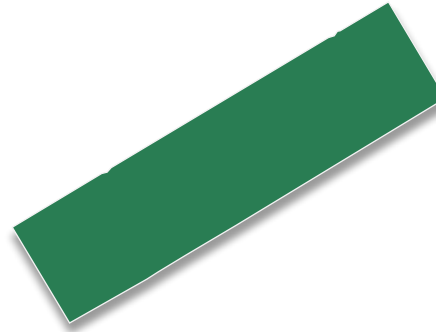
7001 households
pop: 19,658 (31%)



West Goshen

9000 households
pop: 23,040 (36%)

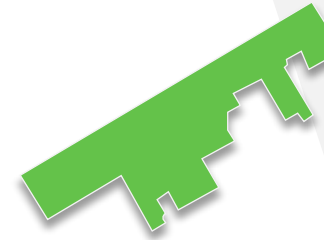
Trails and bike paths scored highest in a 2018 Survey asking what the Township needs more of.



Westtown

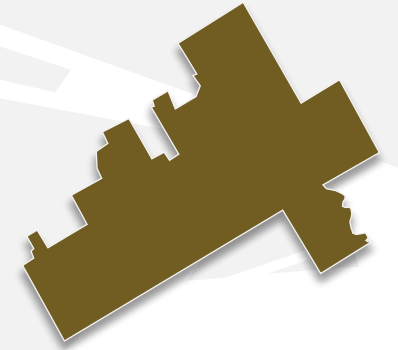
4320 households
pop: 11,257 (17%)

Trails and open space were highly listed in the 2012 Open Space Planning survey.



Thornbury (c)

1200 households
pop: 3,017 (5%)



Thornbury (d)

2256 households
pop: 6,910 (11%)

The Plan



Multi-Municipal Team

Each municipality along the trail will be represented in the group



Feasibility Study

The group will perform a Feasibility Study with the assistance of grant funds



Trail Planning

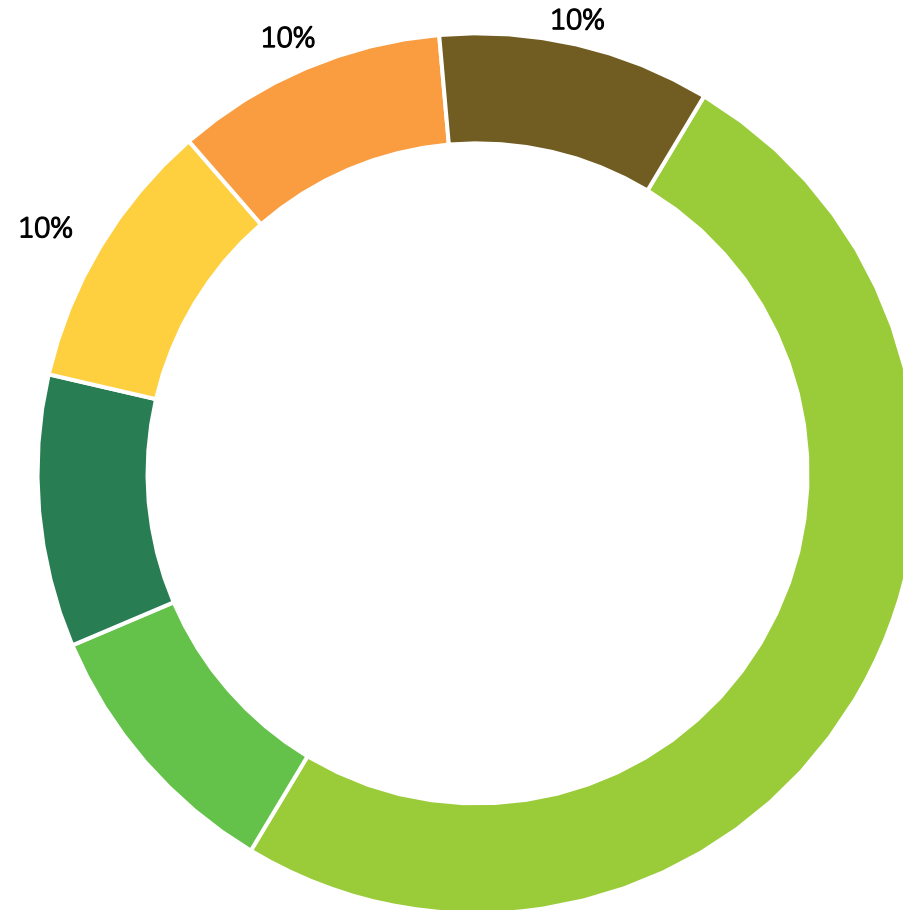
With the Feasibility Study in hand, the group can begin trail planning

Potential Feasibility Study Funding



Municipalities

Part of the cost of the feasibility study would be funded by the multi-municipal group, with each participating municipality contributing to the funding.



Grant

The other part of the cost for the feasibility study would be funded by grants from organizations that seek to promote conservation projects like this one (DCNR, DVRPC, PA DECD, etc.).



Summary

Building the Turks Head Trail

- **Goal:** Build a multi-use trail alongside the rail line that runs through West Chester, West Goshen, Westtown, Thornbury (ChesCo), and Thornbury (DelCo)
- SEPTA owns the right-of-way; we need a letter of support from them to move forward.
- Chester County Planning has stated that they can't take on the project due to current trail development commitments already in their pipeline.
- A multi-municipal coordinated effort is needed with each municipality officially stating their support through a letter of support or resolution.
- The multi-municipality consortium would need to apply for a grant to fund a feasibility study, one municipality must take the lead on the application.
- Grants are available from: DCNR, DVRPC, PA DECD, Chester County's Vision Partnership Program.
- Once the Feasibility Study is complete, trail planning can commence.



Thank You

Nick Rickards
&
Carrie Roskamp





LANDSCAPE ARCHITECTS
PLANNERS | DESIGNERS

SEAL



LICENSE # LA003025

TEAM

LANDSCAPE ARCHITECT
STUART AND ASSOCIATES, LLC.
860 FIRST AVENUE, SUITE 9B
KING OF PRUSSIA, PA 19406
TEL. 610.337.2100

OWNER
CORE DEVELOPMENT
283 2ND STREET PIKE, SUITE 110
SOUTHAMPTON, PA 18966
TEL. 888.609.1171

CIVIL
ARIA ENGINEERING
1309 JAMESTOWN DRIVE
WEST BRADFORD TWP, PA
TEL. 610.873.2690

PROJECT NAME

410 S HIGH ST II

410 S. HIGH STREET
WEST CHESTER, PA 19382
BOROUGH OF WEST CHESTER
CHESTER COUNTY, PA

REVISIONS

NO.	DATE	NOTES

DRAWN BY TAS

CHECKED BY PJS

SCALE 1" = 20'-0"

DATE 08.08.2025

PLOTTED DATE 08.08.2025

DRAWING NAME

ILLUSTRATIVE PLAN

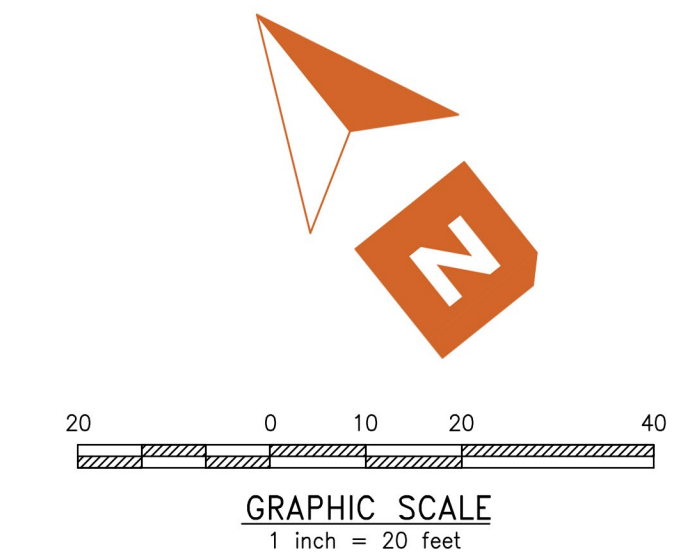
DRAWING NUMBER SHEET NUMBER

IL1.00
1 OF 1
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ILLUSTRATIVE PLAN NOTES

1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN IS TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND IS NOT MEANT FOR CONSTRUCTION.
3. THIS IS AN ARTIST'S INTERPRETATION OF TEXTURES AND MATERIALS.
4. PLANS CREATED FROM DRAWINGS FROM ARIA ENGINEERING, DATED 08/06/25.

**CO
RE**
DEVELOPMENT
living refined



PRELIMINARY LAND DEVELOPMENT



PAC ENDORSEMENT

Borough of West Chester
Public Art Commission

ORIGINAL PUBLIC ART PROJECT

Applicant/Address:

Safe Harbor of Chester County, Jessica Chappell (*Executive Director*)
20 N. Matlack St. West Chester, PA 19380

1) ***Date of PAC Review:*** July 28, 2025

2) ***Application Number:*** 2025-1

3) ***Project Description & PAC Assessment:***

Safe Harbor of Chester County (20 N. Matlack St.), working with local artist Kendra Beitzel, has developed a mural project for the south facing wall of their building (Middle Alley). The image is a seascape with stormy seas on the left that switch to calm waters and safe shelter on the right. A centrally located lighthouse provides guidance to the refuge.

The image consumes most of the 1st level of the building's southern elevation (with a few components peaking up into the 2nd level) and wraps around the corner onto the east elevation (Matlack St.). The design is colorful, with stylized blue ocean waves balanced with warm rays of sun. The featured buildings are reflected in a few of the sun's rays, and some waves are dressed with fingerprint patterns to represent a human touch. The artwork tells a story of resilience and transition.

The wall surface will be cleaned and primed/painted as necessary in preparation for the mural's installation, which will utilize quality mural paints. Stefanie Birl, who painted the existing selfie murals at the location in question, has been informed of and supports the new project.

See attached rendering shown to scale on the building's elevation, as well as photos showing the wall's existing conditions.

4) **PAC Endorsement:**

- Approve as presented.
- Approve with the following conditions:
- Denied:** *The applicant must make the following changes to his/her proposal and resubmit to PAC:*

5) **Borough Council's Action and Date:**

- **Date of Borough Council Review:**
- **Borough Council Action:**

- Approved per PAC Endorsement.
- Approved with the following differences from PAC Endorsement:
- Denied for the following reasons:**

.....

Date: _____

Borough Manager's Signature: _____







Home Contacts Contractors Submittals Details Workflow Fees Conditions Inspections Other Requirements Notes

Application not yet complete

Project Description: 25118D-CR St Agnes CHOIR Mezzanine
Add A/C to the choir mezzanine. Install outside Mitsubishi A/C unit and indoor air handler

Permit Number:	COA-25-0011	Applicant:	BRANDYWINE VALLEY HEATING & AIR CONDITIONING, INC
Initial Application Number:	REFERENCE-25-0577	Primary Contact:	BRANDYWINE VALLEY HEATING & AIR CONDITIONING, INC
Permit Type:	CERTIFICATE OF APPROPRIATENESS- REPAIR	Primary Contractor:	BRANDYWINE VALLEY HEATING & AIR CONDITIONING, INC
Status:	INCOMPLETE SUBMITTAL	Last Activity:	06/17/2025 09:55
Process State:	Pending	Last Inspection Date:	
Parent Permit:		Initiated:	06/13/2025
Assigned To:	User WENDY MECKE	Submitted:	06/13/2025 Application is 5 days old
Fast Track:	<input type="checkbox"/>	Completed:	1 of 3 submittals received, 0 of 3 submittals accepted.
Applied for Online:	<input checked="" type="checkbox"/>	Approved:	0 of 3 (0%) steps approved.
		Ready:	\$0.00 paid (100%), \$0.00 due.
		Issued:	
		Finalized:	No inspections.
		Closed:	\$0.00 deferred fees due.
		Expires:	12/10/2025 Exp Override: <input type="checkbox"/>

Site Address

Site Address: 233 W GAY ST [Verify Address and Coordinates](#)

Site City: WEST CHESTER Latitude:

State: PA Site Zip: 19380 Longitude:

Inspection Area:

Zone: TC Town Center

Primary Parcel: 1-8-244

Contact

Contractor: Yes Active:

Display Name: BRANDYWINE VALLEY HEATING & AIR CONDITIONING, INC





























Primary Phone: (610) 692-3900 Primary Email: CFULLER@BVHVAC.COM

Primary Contractor License Number: 4628 Expiration Date: 12/31/2099

Portal Access Code: VTCJV-5NCX8

Mailing Address: 302 COMMERCE DR
SUITE 100
EXTON, PA 19341

Permit #: COA-25-0011 Status: INCOMPLETE SUBMITTAL Contact: BRANDYWINE VALLEY HEATING & AIR CONDITIONING, INC Site Address: 233 W GAY ST
Type: CERTIFICATE OF APPROPRIATENESS- REPAIR Project Name: 25118D-CR St Agnes CHOIR Mezzanine Contractor: BRANDYWINE VALLEY HEATING & AIR CONDITIONING, INC WEST CHESTER, PA 19380

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Replacement or alteration from original  
LOCATION OF PROJECT:*	233 W Gay Street  
NAME OF BUSINESS:*	St Agnes Church  
WHICH ELEMENTS DID YOU CHANGE:	Adding A/C unit on the side.  
ON HOW MANY FACADES:	<input type="text"/>  
WHAT WAS THE OLD IS THE MATERIAL:	<input type="text"/>  
WHAT IS THE PROPOSED NEW MATERIAL:	<input type="text"/>  
HOW WILL IT BE INSTALLED:	<input type="text"/>  
ARE YOU USING ANY HISTORICAL MATERIALS:	<input type="text"/>  
IF SO, WHAT AND HOW:	<input type="text"/>  
WHAT WERE THE OLD DIMENSIONS:	<input type="text"/> 
WHAT ARE THE NEW DIMENSIONS:	<input type="text"/>  
WHAT ARE THE OLD COLORS:	<input type="text"/>  
WHAT ARE THE NEW COLORS:	<input type="text"/>  
WHY DO YOU WISH TO MAKE THESE CHANGES:	<input type="text"/>  

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 233 W. Gay Street

- 1) **Date of HARB Review:** July 31, 2025 (Date of original HARB Review/COA Motion: June 26, 2025)
- 2) **Applicant's Proposal:** Exterior HVAC Equipment – Choir Mezzanine

3) **Findings:**

Note: This project, proposing the installation of a new exterior HVAC condensing unit at the St. Agnes Church, was previously reviewed by the HARB on June 26, 2024, under the Application Number 2025-20. At that time, the HARB recommended approval of a COA with specified clarifications. Since that time, the applicant has revised the design to move the exterior condensing unit closer toward the front of the building and rout the piping and wiring connections through an opening in the exterior stone wall. The current Application Number 2025-20-Rev1 applies to the revised HVAC design presented at the July 31, 2025, HARB meeting. Three (3) revised design sketches with annotated photos were submitted at the meeting.

The project proposes the installation of a new exterior HVAC condensing unit to serve the choir mezzanine. Carol Quigley appeared on behalf of the applicant, Brandywine Heating and Air Conditioning, to present the revised project. Ms. Quigley described the final project as follows:

- *Install one new exterior condensing unit on the west side of the St. Agnes Church Building. The revised design locates the unit closer to the south front of the building, fully concealed in vegetative screening.*
- *The condensing unit will be mounted at grade on a concrete pad.*
- *The revised design now specifies that the condensing unit's mechanical piping and electrical wiring will be routed from the building to the unit through a hole cored in the church's stone wall just above grade, directly behind the condensing unit. The pipes and wiring will also be concealed by the vegetative screening.*
- *A new evergreen shrubbery vegetative screen will be installed to fully conceal the condensing unit from public view.*

The HARB reviewed the application in detail. The revised design clarified all previous questions. The HARB commented that the shrubbery must be tall and dense enough when first planted to completely conceal the HVAC unit and accessories. The HARB deemed the revised HVAC design for St. Agnes Church to be appropriate.

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-20-Rev1 as submitted, with the following clarifications:

1. *The approval is based on the three (3) revised design sketches with annotated photos that were submitted at the meeting.*
2. *The condensate and wiring connections shall be run through a small hole cored through the exterior stone wall immediately above grade.*
3. *The electrical disconnect switch shall be located within the condensing unit.*
4. *The shrubbery comprising the vegetative screen will be tall and dense enough when first planted to completely conceal the new HVAC unit and accessories.*

Application Numbers: [2025-20-Rev1](#)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: [233 W. Gay Street](#)

5) *Borough Council's Action and Date*

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

Date of Action Taken: _____, 2025

Borough Manager's Signature:

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 233 W. Gay Street

- 1) **Date of HARB Review:** June 26, 2025
- 2) **Applicant's Proposal:** Exterior HVAC Equipment – Choir Mezzanine
- 3) **Findings:**

The project is for the installation of a new exterior HVAC condensing unit at the St. Agnes Church, to serve the choir mezzanine. Carol Quigley appeared on behalf of the applicant, Brandywine Heating and Air Conditioning, to present the project. Ms. Quigley described the final project as follows:

- *Install one new exterior condensing unit on the west side of the St. Agnes Church Building, in front of two existing basement level windows.*
- *The condensing unit will be mounted at grade on a concrete pad.*
- *New shrubbery will be installed to fully conceal the condensing unit from public view.*

The HARB reviewed the application in detail. There was some confusion regarding the mechanical piping and electrical wiring connections from the church to the condensing unit. No mention is made about this in the application. The existing church has stone exterior walls. Visible penetrations and/or surface routing of the piping is not appropriate on this distinctive building. Ms. Quigley reported she was told the connections would not be visible, but no details were provided to her. The HARB conjectured the connections could be routed below grade.

To keep the project on track, the HARB made a motion based on “concealed” connections. Should the actual design be different, the applicant will need to submit updated design details for further review.

- 4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-20 as submitted, with the following clarification:

1. *The approval is based on the requirement that there will be no visible above-grade piping or wiring connections to the condensing unit from the church building.*

Application Numbers: [2025-20](#)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: [233 W. Gay Street](#)

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

.....

Date of Action Taken: _____, 2025

Borough Manager's Signature:

St Agnes 233 W Gay Street AC Replacement for Choir Mezzanine

Straight on view of outside equipment location.

Mitsubishi A/C unit to be place between the shrubbs and window. The unit will be placed on a 3 ft x 1.5 ft concrete slab.

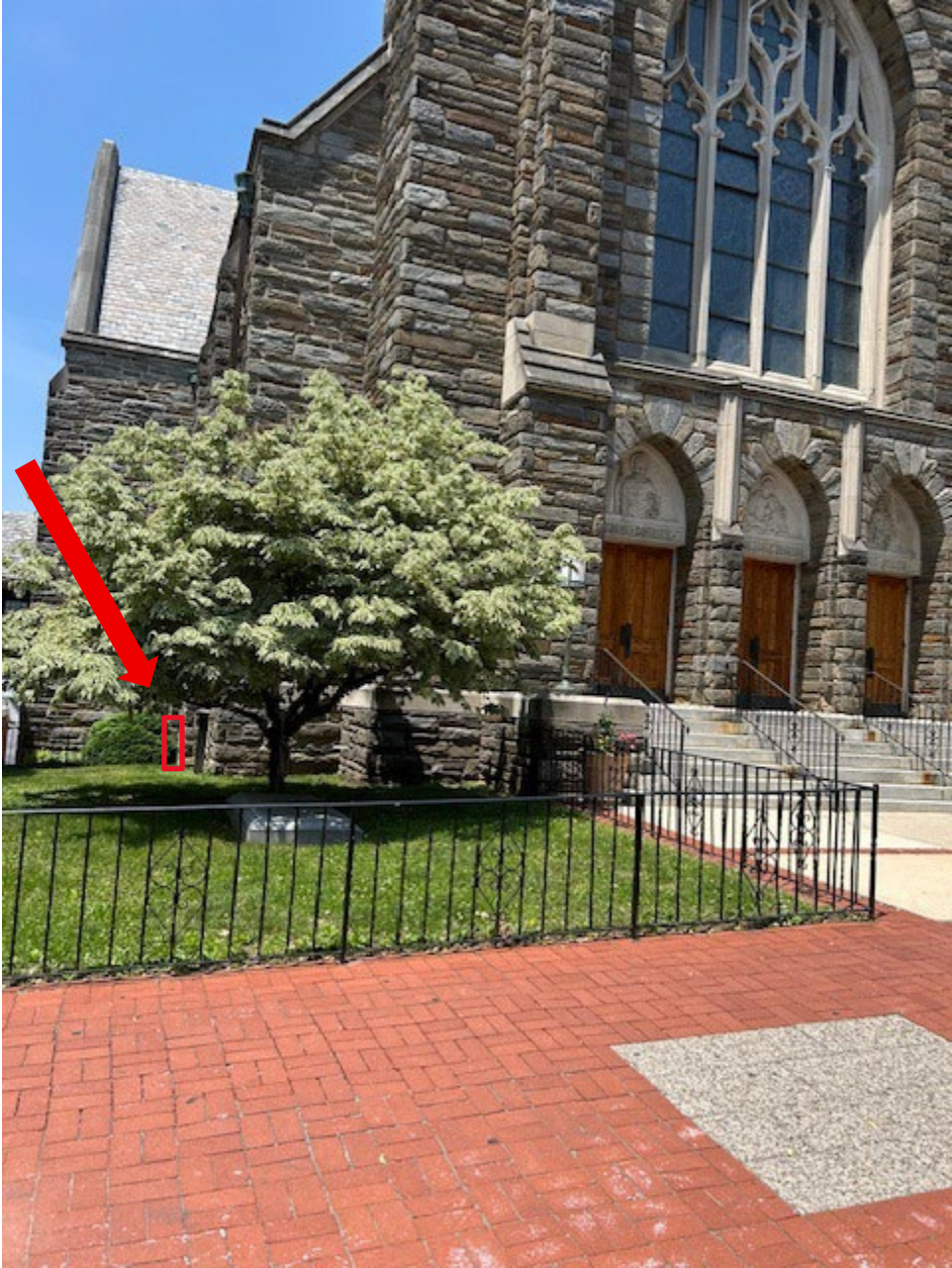
The existing shrubbery will remain and trimmed appropriately. St. Agnes' maintenance personnel will plant additional evergreen shrubbery to screen from public view, if necessary.



Straight on view from Gay Street.



Angled view from Gay Street.





St. Agnes Mitsubishi install for Choir Mezzanine

Location of outside equipment is circled.

MSY-GS30NA2 & MUY-GS30NA2
30,000 BTU/H WALL-MOUNTED INDOOR UNIT
30,000 BTU/H COOLING ONLY OUTDOOR UNIT



Job Name:

System Reference:

Date:



Indoor Unit.....MSY-GS30NA2

Outdoor Unit.....MUY-GS30NA2



←-----Outdoor equipment

INDOOR UNIT FEATURES

- Dual Barrier Coating
- Slim wall-mounted indoor units provide zone comfort control
- The outdoor unit powers the indoor unit, and should a power outage occur, the system is automatically restarted when power returns
- Multiple fan speed options: Low, Medium, High, Super-high
 - Auto and Powerful modes available in addition to the four fan speeds
- Multiple control options available:
 - Back-lit screen handheld remote controller (provided with the unit)
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Hot-Start Technology: no cold air rush at equipment startup or when restarting after defrost cycle
- Powerful Operation: quickly cools or heats the room by automatically adjusting fan speed and set temperature for 15 minutes
- Weekly Timer: easily set desired temperatures and operation ON/OFF times to match your lifestyle
- Smart Set: recalls a preferred preset temperature setting at the touch of a button
- Smart Dry Mode: improved moisture removal is achieved by optimizing the control of the indoor fan, compressor, and heat exchanger
- Wide Vane mode provides an airflow of 150° in heating and 100° in cooling
- Nano Platinum Filter: incorporates nanometer-sized platinum-ceramic particles that kill bacteria and deodorize air
- Anti-allergy Enzyme Filter: traps allergens such as molds and bacteria and decomposes them using enzymes

OUTDOOR UNIT FEATURES

- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life
 - Rated for 2,000 hours spraying time per ASTM B117 Standard

SPECIFICATIONS: MSY-GS30NA2 & MUY-GS30NA2

Cooling at 95°F ¹	Maximum Capacity	BTU/H	30,600
	Rated Capacity	BTU/H	30,600
	Minimum Capacity	BTU/H	10,300
	Maximum Power Input	W	3,320
	Rated Power Input	W	3,320
	Moisture Removal	Pints/h	7.8
	Sensible Heat Factor		0.72
	Power Factor [208V / 230V]	%	98.0 / 98.0
Efficiency	SEER2		19.2
	EER2 ¹		9.2
	HSPF2 [IV]		—
	ENERGY STAR® Certified		No
Electrical	Voltage, Phase, Frequency		208/230, 1, 60
	Guaranteed Voltage Range	V AC	187 - 253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Short-circuit Current Rating [SCCR]	kA	5
	Recommended Fuse/Breaker Size (Outdoor)	A	25
	Recommended Wire Size [Indoor - Outdoor]	AWG	14
	Power Supply		Indoor unit is powered by the outdoor unit
Indoor Unit	MCA	A	1.0
	Fan Motor Full Load Amperage	A	0.76
	Fan Motor Output	W	56
	Airflow Rate at Cooling, Dry	CFM	379–613–710–932
	Airflow Rate at Cooling, Wet	CFM	341–552–639–839
	Sound Pressure Level [Cooling]	dB[A]	34–42–49–53
	Drain Pipe Size	In. [mm]	5/8 [16]
	Coating on Heat Exchanger		—
	External Finish Color		White(Munsell 1.0Y 9.2/0.2)
	Unit Dimensions	W x D x H: In. [mm]	46-1/16 x 11-5/8 x 14-3/8 [1,170 x 295 x 365]
	Package Dimensions	W x D x H: In. [mm]	51 x 18-1/2 x 14-1/4 [1,300 x 470 x 360]
	Unit Weight	Lbs. [kg]	45 [20]
	Package Weight	Lbs. [kg]	52 [23]
Indoor Unit Operating Temperature Range	Cooling Intake Air Temp [Maximum / Minimum]*	°F	90 DB, 73 WB / 67 DB, 57 WB
Outdoor Unit	MCA	A	22.0
	MOCP	A	25
	Fan Motor Full Load Amperage	A	0.93
	Fan Motor Output	W	50
	Airflow Rate [Cooling / Heating]	CFM	56
	Refrigerant Control		LEV
	Defrost Method		N/A
	Sound Pressure Level, Cooling ¹	dB(A)	55
	Compressor Type		Twin Rotary
	Compressor Model		SNB220FQAM1T
	Compressor Rated Load Amps	A	13.8
	Compressor Locked Rotor Amps	A	17.3
	External Finish Color		Munsell 3Y 7.8/1.1
	Unit Dimensions	W x D x H: In. [mm]	33-1/16 x 13 x 34-5/8 [840 x 330 x 880]
	Package Dimensions	W x D x H: In. [mm]	38-3/4 x 16-3/4 x 39 [980 x 420 x 990]
Unit Weight	Lbs. [kg]	122 [55]	
Package Weight	Lbs. [kg]	138 [63]	
Outdoor Unit Operating Temperature Range	Cooling Air Temp [Maximum / Minimum]*	°F	115 DB / 14 DB
	Cooling Thermal Lock-out / Re-start Temperatures**	°F	-4 / 0
Refrigerant	Type		R410A
	Pre-Charged Refrigerant Amount	Lbs, oz	4.0, 5.0
	Maximum Pre-Charged Piping Length	Ft. [m]	25.0 [7.5]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	1.08 [20]
Piping	Gas Pipe Size O.D. [Flared]	In.[mm]	5/8 [15.88]
	Liquid Pipe Size O.D. [Flared]	In.[mm]	1/4 [6.35]
	Maximum Piping Length	Ft. [m]	100 [30]
	Maximum Height Difference	Ft. [m]	50 [15]
	Maximum Number of Bends		10

NOTES:

AHRI Rated Conditions

(Rated data is determined at a fixed compressor speed)

¹Cooling (Indoor // Outdoor)

²Heating at 47°F (Indoor // Outdoor)

³Heating at 17°F (Indoor // Outdoor)

°F 80 DB, 67 WB // 95 DB, 75 WB

°F 70 DB, 60 WB // 47 DB, 43 WB

°F 70 DB, 60 WB // 17 DB, 15 WB

*Indoor/Outdoor Unit Operating Temperature Range (Cooling Air Temp [Maximum / Minimum]):

• Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures):

• System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

INDOOR UNIT ACCESSORIES: MSY-GS30NA2

Control Interface	IT Extender	PAC-WHS01IE-E
	kumo station® for kumo cloud®	PAC-WHS01HC-E
	Procon BACnet® and Modbus® Interface	PAC-UKPRC001-CN-1
	System Control Interface	MAC-334IF-E
	Thermostat Interface	PAC-US445CN-1
	USNAP Adapter	PAC-WHS01UP-E
	Wireless Interface for kumo cloud®	PAC-USWHS002-WF-2
Remote Sensor	Wired Remote Sensor	M21EAA307
	Wireless temperature and humidity sensor for kumo cloud®	PAC-USWHS003-TH-1
Wired Remote Controller	Deluxe Wired MA Remote Controller†	PAR-40MAAU
	Simple Ductless Wired Remote Controller	PAC-SDW01RC-1
	Simple MA Remote Controller†	PAC-YT53CRAU-J
	Touch MA Controller†	PAR-CT01MAU-SB
Wireless Remote Controller	kumo touch™ RedLINK™ Wireless Controller	MHK2
	Lockdown bracket for remote controller	RCMKP1CB
Condensate	Blue Diamond (Advanced) Mini Condensate Pump w/ Reservoir & Sensor (208/230V) [recommended]	X87-721
	Blue Diamond (MegaBlue Advanced) Condensate Pump w/ Reservoir & Sensor	X87-835
	Blue Diamond Alarm Extension Cable — 6.5 Ft.	C13-192
	Blue Diamond MultiTank — collection tank for use with multiple pumps	C21-014
	Blue Diamond Sensor Extension Cable — 15 Ft.	C13-103
	Drain Pan Level Sensor/Control	SS610E
	Refco Condensate Pump (100-240 VAC)	GOBI-II
	Refco Condensate Pump (100-240 VAC) up to 120,000 BTU/H	COMBI
	Saueremann Condensate Pump	SI30-230
Disconnect Switch	(30A/600V/UL) [fits 2" X 4" utility box] - Black	TAZ-MS303
	(30A/600V/UL) [fits 2" X 4" utility box] - White	TAZ-MS303W
Lineset	100' x 1/4" x 100' x 5/8" Lineset (Twin-Tube Insulation)	MLS145812T-100
	15' x 1/4" x 15' x 5/8" Lineset (Twin-Tube Insulation)	MLS145812T-15
	30' x 1/4" x 30' x 5/8" Lineset (Twin-Tube Insulation)	MLS145812T-30
	50' x 1/4" x 50' x 5/8" Lineset (Twin-Tube Insulation)	MLS145812T-50
	65' x 1/4" x 65' x 5/8" Lineset (Twin-Tube Insulation)	MLS145812T-65

NOTES:

†Requires MAC-334IF-E

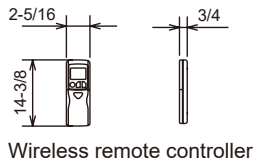
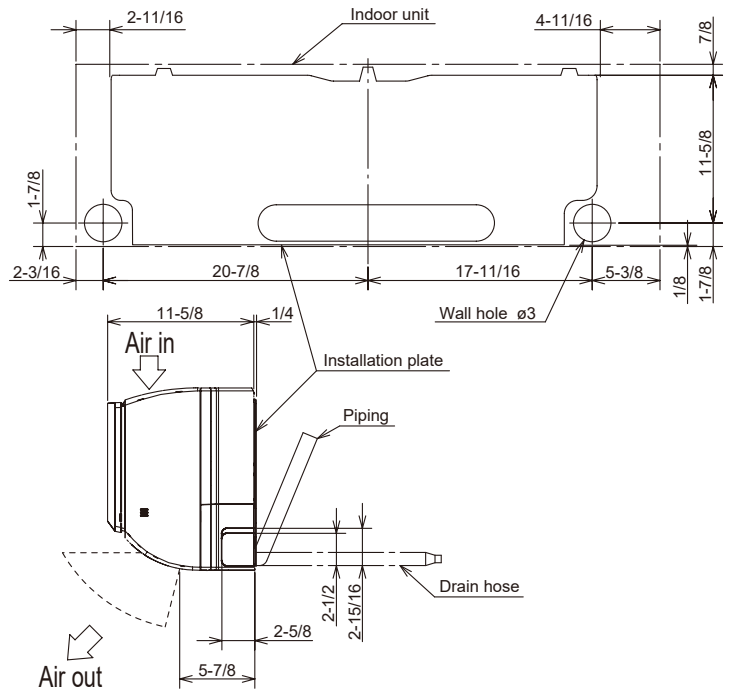
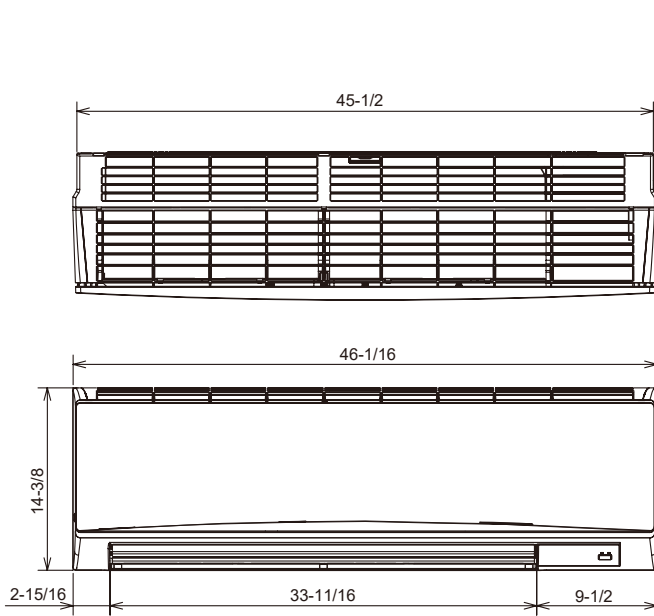
- M-Series EZ FIT® Recessed Ceiling Cassette, Floor-mount and Wall-mount
Allows indoor units to connect to an MA Controller:
 - Deluxe MA Remote Controller
 - Simple MA Controller
 - Touch MA Controller

OUTDOOR UNIT ACCESSORIES: MUY-GS30NA2

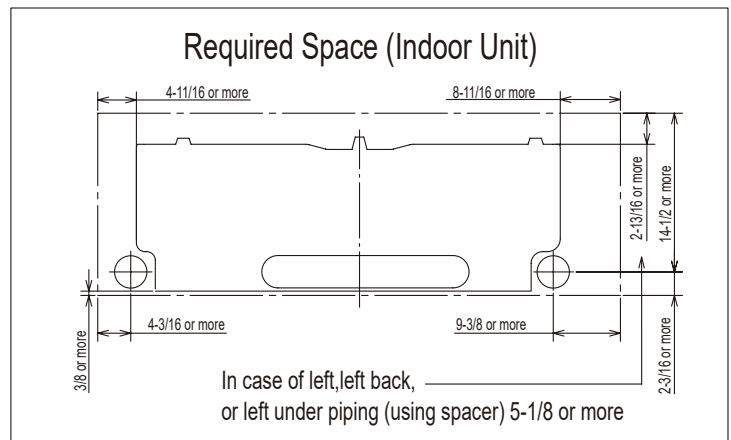
Air Outlet Guide	Air Outlet Guide	MAC-890SG-E
Control/Service Tool	M- & P-Series Maintenance Tool Cable Set	M21EC0397
	Maintenance Tool Interface	PAC-USCMS-MN-1
Drain Socket	Drain Socket	MAC-871DS
Hail Guards	Hail Guard	HG-A7
Mini-Split Wire	14 Gauge, 4 wire MiniSplit Cable—250 ft. roll	SW144-250
	14 Gauge, 4 wire MiniSplit Cable—50 ft. roll	SW144-50
	16 Gauge, 4 wire MiniSplit Cable—250 ft. roll	SW164-250
	16 Gauge, 4 wire MiniSplit Cable—50 ft. roll	SW164-50
Mounting Pad	Condensing Unit Mounting Pad: 16" x 36" x 3"	ULTRILITE1
	Outdoor Unit 3-1/4 inch Mounting Base (Pair) - Plastic	DSD-400P
Stand	18" Single Fan Stand	QSMS1801M
	24" Single Fan Stand	QSMS2401M
	Condenser Wall Bracket	QSWB2000M-1
	Condenser Wall Bracket - Stainless Steel Finish	QSWBSS
	Outdoor Unit Stand — 12" High	QSMS1201M

INDOOR UNIT DIMENSIONS: MSY-GS30NA2

Unit : inch



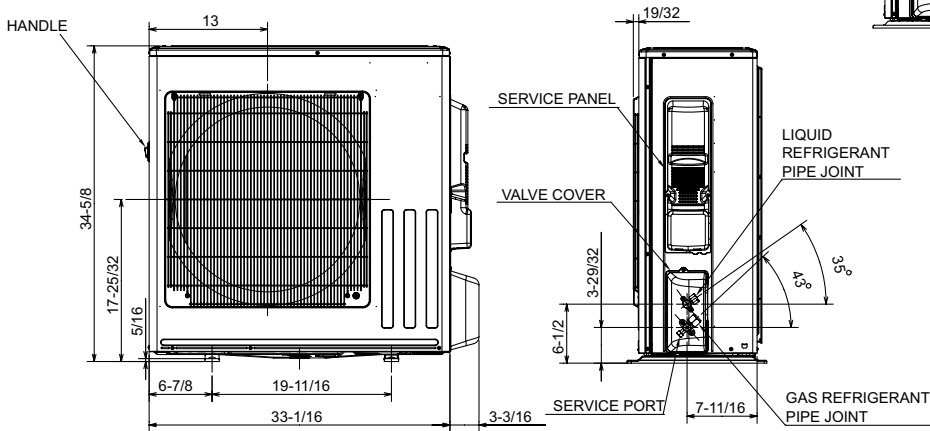
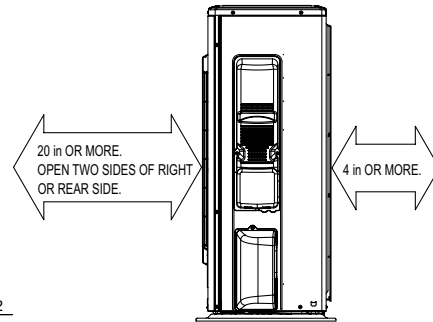
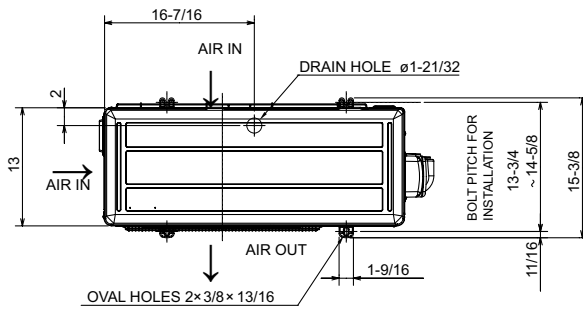
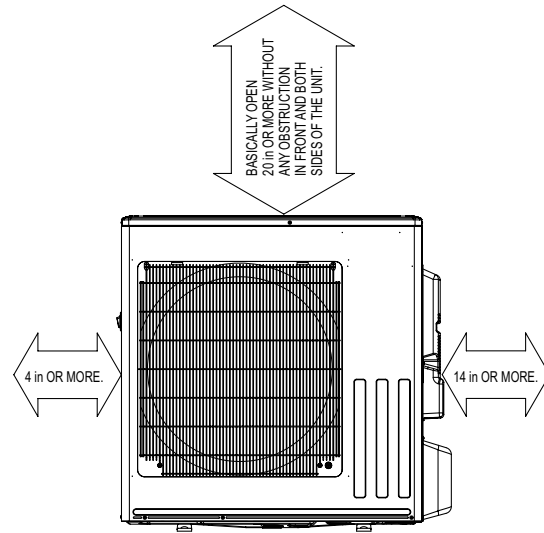
	PIPING	INSULATION
LIQUID LINE	$\phi 3/8 - 19 - 11/16$ (FLARED CONNECTION $\phi 1/4$)	$\phi 1 - 1/4$ O.D $\phi 9/16$ I.D
GAS LINE	$\phi 15/32 - 17 - 13/16$ (FLARED CONNECTION $\phi 5/8$)	$\phi 1 - 7/16$ O.D $\phi 13/16$ I.D
DRAIN HOSE	INSULATION $\phi 1 - 1/8$ CONNECTED PART $\phi 5/8$ O.D	



OUTDOOR UNIT DIMENSIONS: MUY-GS30NA2

Unit: inch

REQUIRED SPACE



REFRIGERANT PIPE JOINT	LIQUID REFRIGERANT PPE	FLARED $\phi 6.35$ (1/4")
	GAS REFRIGERANT PPE	FLARED $\phi 15.88$ (5/8")

1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

FORM# MSY-GS30NA2 & MUY-GS30NA2 - 202312



DATE APPLICATION RECEIVED: 06/24/2025

APPLICATION NUMBER: 2025-22

PROPERTY ADDRESS: 18 W. Market

APPLICANT'S EMAIL: shannonk@mcdonalddefense.com

Note: All projects must have the appropriate sections completed in its entirety and attached to this form. *Only attach the applicable sections.* The application number will be assigned by the Building & Housing Department.

1) This application is for (check all appropriate boxes):

- Section #1 – Sign
- Section #2 – Canopy or Awning
- Section #3 – Repair, replacement or alteration from original
- (please supply photos or elevations of original)*
- Section #4 – Addition
- (supply architectural elevations and site drawings, as well as photos of the existing structure)*
- Section #5 – New Construction
- (supply architectural elevations and site drawings, as well as photos of buildings next to and around the site)*
- Section #6 - Demolition

2) Please indicate which items you are submitting with your application form. Do not submit originals, since they will be kept by the HARB for its official archives:

- Color or B/W Sketches
- Old or Historic Photographs
- Plot or Site Plans
- Architectural Elevations
- Photographs of the current existing site showing where changes are to be made, location of buildings and streetscape.


All sketches, elevations, and plans must be signed by the preparer(s)

The owner of this property and the applicant agree to conform to all applicable findings of the Borough of West Chester Historical and Architectural Review Board.

Applicant's name (print): Shannon K McDonald

Applicant's Signature:  Date: 6/23/25

Owner's Name (print): Project M LLC- Chris or Shannon Mandeem

Owner's Signature:  Date: 6/23/25

Note: Check with the Building and Housing office of the Borough of West Chester to see if you need a building permit as well as a Certificate of Appropriateness **before** you begin your project

SECTION #1 – SIGNS

(Attach a separate Section #1 for each of the signs you want to install)

Instructions: Provide color or black and white sketches of each sign and its message. Also show the proposed location and proportion to building façade. Attach photos of the streetscape and adjacent buildings.

Location of project: 18 W Market St

Name of business: Law Offices of Shannon K McDonald

Applicant's name: Shannon K McDonald

Applicant's address: 18 W Market St

Applicant's phone number: 267-702-0648 Applicant's email: shannonk@mcdonalddefense.com

Owner's name: Project M LLC

Owner's address: 18 W Market St

Owner's telephone number: [REDACTED]

1) Are you replacing an existing sign? modifying existing sign

2) How many signs do you wish to install? 1 additional

3) On how many facades? 1 Front Side Back

4) Hanging Sign Building-mounted Other

5) Give a thorough description of sign: Current sign is deteriorated- would like to repair with same colors and font. Would like to place second sign below, on existing hangers, with same colors but different font. See attached photos & proposed diagram.

6) Is there new illumination? No Fixture Type? _____
How will it be mounted? _____

7) Sign Dimensions: Height: 14 x Width: 22 x Depth: 1

8) If a hanging sign, what is the height from the sidewalk to the bottom of the sign? 6 foot existing
(Borough Code requires 8'-0 minimum to bottom of sign)

9) How will this sign be mounted? it will hang from current sign hanger, no changes to that.
(please note: any attachment to a masonry façade must be done through the mortar joints, NOT into the masonry).

10) If a hanging sign, describe the hanging bracket: black metal

11) If a hanging sign, is this an existing bracket: yes

12) Colors: match current colors (light gray with black font)

13) Message: modification to current add dates of law practice, new will say "Law Offices of Shannon K. McDonald est. 2011)

14) Lettering style: please note that the historic preference is for any "serif" type: Times new roman on new, match old to repair the prior sign (see attached)

Please be sure to attach sample of sign wording in chosen lettering style

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 18 W. Market Street

1) **Date of HARB Review:** July 31, 2025

2) **Applicant's Proposal:** Sign

3) **Findings:**

The applicant, Shannon McDonald, was present to describe the proposed building sign revisions as follows:

- *Modify the existing hanging wood sign by adding a new 22"Wx10"H sign panel below the existing 22"Wx14.5"H sign. The existing sign will be unchanged but may be repainted.*
- *The existing sign message is: "Wade Law Offices," with 3 names listed below. The message on the new sign is: "Law Offices of Shannon K. McDonald – est. 2011."*
- *The new sign panel and text design is stylistically similar and compatible with the original sign. It will hang from the bottom of the existing sign.*
- *The applicant plans to retain the existing metal sign bracket in its existing location.*
- *The sign ordinance requires 8-foot clearance to the sidewalk below. The existing sign clearance is 6-feet, the new sign clearance will be about 5-feet.*

The HARB reviewed the application in detail. The design of the new sign was deemed to be appropriate. The discussion focused on the non-compliant height of the existing sign, a condition that will be worse with the new sign. An existing pent roof overhanging the first floor prevents raising even the existing sign to meet the 8-foot clearance. It was noted there are a number of similar small office signs in the borough that are also low. An existing raised brick step at the office entrance door restricts pedestrian cross-traffic below the sign. Additionally, a large, movable, potted plant currently sits below the existing sign to prevent pedestrians from walking into the sign. The installation of a permanent handrail at the existing brick step was suggested by Mr. Yocum as a way to restrict pedestrians. Ms. McDonald stated she is open that solution. Mr. Edwards noted the sidewalk is approximately 8-feet wide, so the sign and brick step do not encroach on the required 48-inch pedestrian pathway width.

Options for obtaining zoning approval for this condition were discussed. The HARB was generally supportive of the proposed sign, but zoning enforcement issues are beyond the HARB's purview.

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-22 as submitted with the following clarification:

1. *It is understood that, due to existing site conditions, the proposed sign will not be in compliance the 8-foot sidewalk clearance height requirement. However, the HARB is supportive of the new sign due to its location below the existing pent roof, the existing step in front of the adjacent door restricting pedestrian cross-traffic, and the fact that the new sign will not encroach on the required 48-inch pedestrian sidewalk traffic pathway.*

Application Numbers: 2025-22

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 18 W. Market Street

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:



Date of Action Taken: _____, 2025

Borough Manager's Signature:

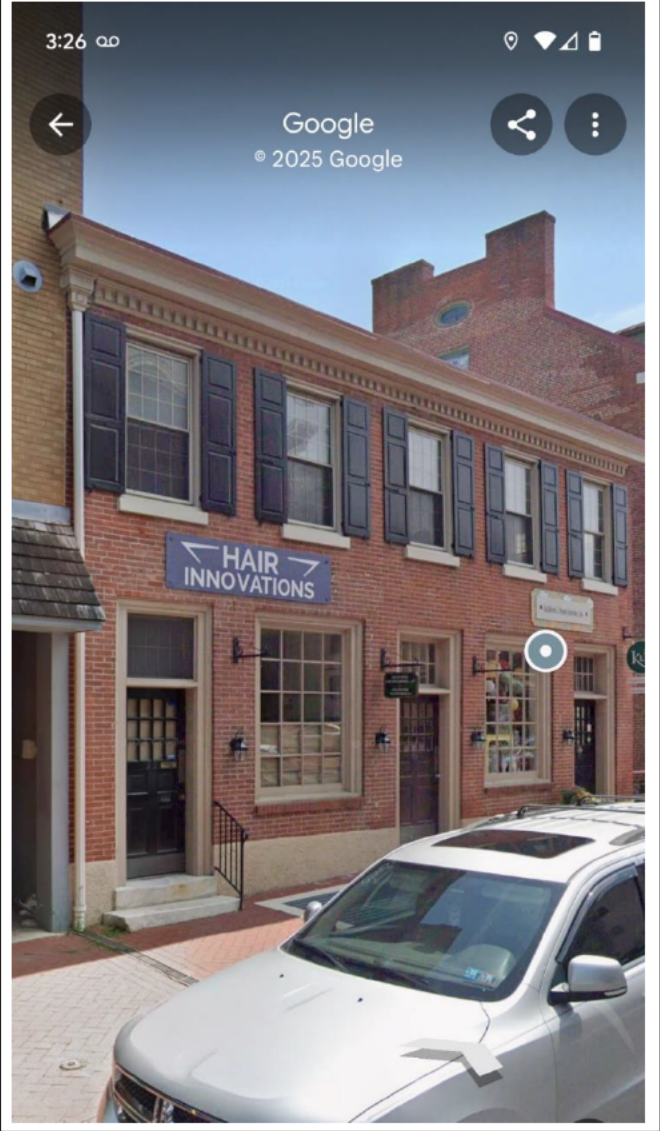
Current view from sidewalk- brick step 24 inches (pic. 1)



Current view looking left “up” W. Market (pic 2)



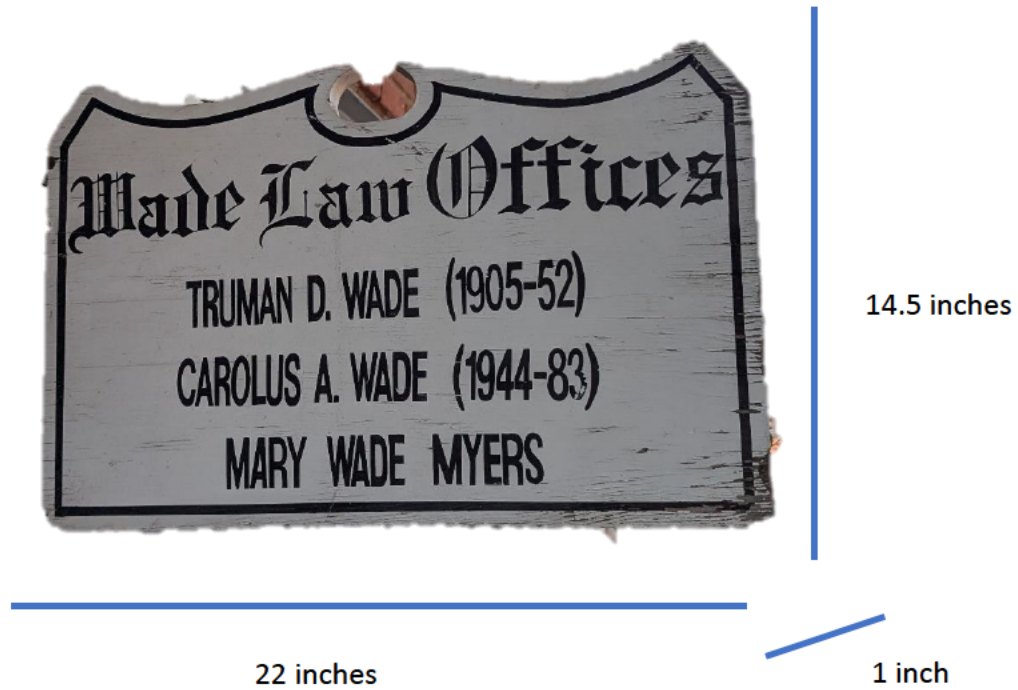
Current view looking right “down” at 22 W. Market (pic. 3)



Current sign (pic. 4)

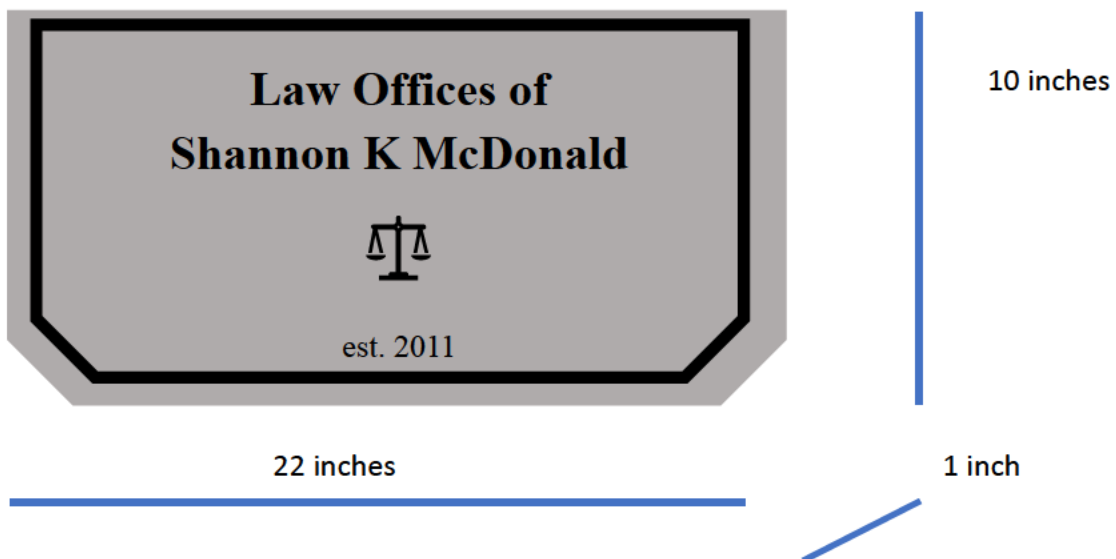


Current sign with measurements (fig 1)

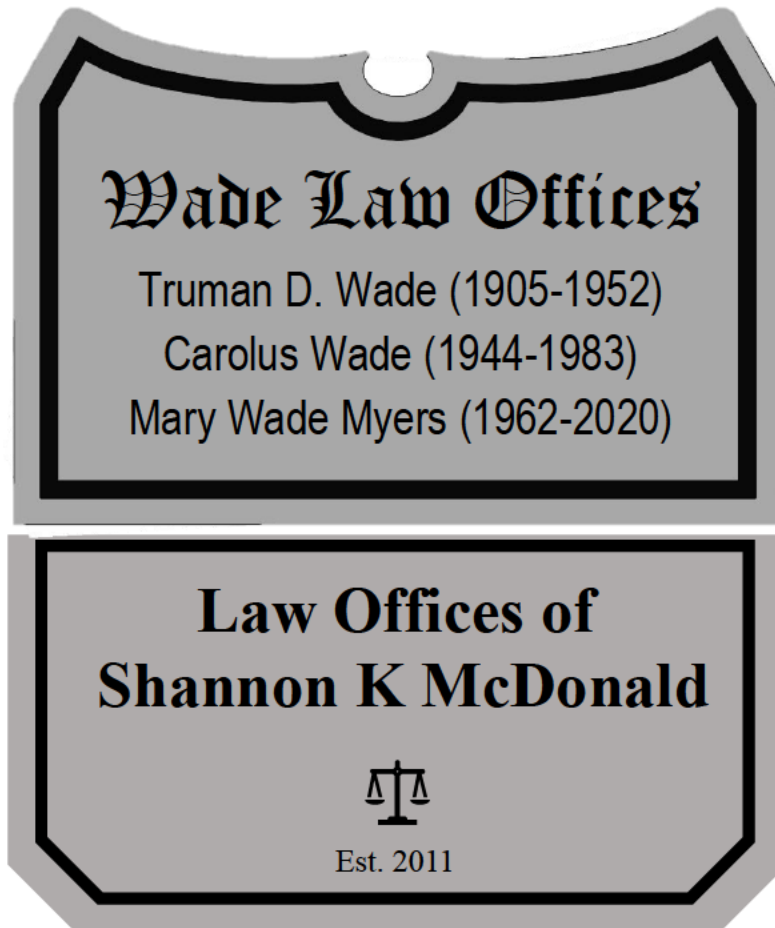


Note: Bottom of sign is 6 feet from brick sidewalk, width of sign is equal to brick step leading in the front door (see pic. 1)

Proposed new handing sign (fig. 2)



Proposed total sign(fig. 3): “Wade Law Offices” sign remains, but is repaired (keeping same font, changing “Mary Wade Myers” to “Mary Wade Myers (1962-2020)”, hanging above new sign, as depicted, new sign is same gray as the one above, new sign font is Times New Roman, new sign dimensions: 22”long x10” tall x 1” wide. Lower sign will be hanging from already existing hooks, approximate 3/4 inch gap. (Fig. 1) Font will be black, sign coloring will match original sign, by taking to store to match paint color. Bottom edge of sign will be at 5 feet and 1.25 inches from ground, aligning with current sign (fig. 4)



Proposed streetscape (fig. 4)



07/10/2025

DATE APPLICATION RECEIVED:

APPLICATION NUMBER: 2025-23

SECTION #1 - SIGNS

(Attach a separate Section #1 for each of the signs you want to install)

Instructions: Provide color or black and white sketches of each sign and its message. Also show the proposed location and proportion to building façade. Attach photos of the streetscape and adjacent buildings.

Location of project: 133 W. Market St. West Chester, PA 19382

Name of business: True by Krissy

Applicant's name: Kristina McKillop

Applicant's address: [Redacted]

Applicant's phone number: [Redacted] Applicant's email: info@truebykrissy.com

Owner's name: Henry + Darlene Goldberg

Owner's address: [Redacted]

Owner's telephone number: [Redacted]

1) Are you replacing an existing sign? yes

2) How many signs do you wish to install? 1

3) On how many facades? 1 Front [checked] Side Back

4) Hanging Sign [] Building-mounted [checked] Other []

5) Give a thorough description of sign: off-white metal sign with business logo, mounted to building. 18" diameter

6) Is there new illumination? N/A Fixture Type? mounted
How will it be mounted? screwed into building

7) Sign Dimensions: Height: 18" x Width: 18" x Depth: 1"

8) If a hanging sign, what is the height from the sidewalk to the bottom of the sign? (Borough Code requires 8'-0" minimum to bottom of sign)

9) How will this sign be mounted? screwed into building (please note: any attachment to a masonry façade must be done through the mortar joints, NOT into the masonry).

10) If a hanging sign, describe the hanging bracket:

11) If a hanging sign, is this an existing bracket:

12) Colors: off-white, gold tone & black

13) Message: business logo: True by Krissy

14) Lettering style: please note that the historic preference is for any "serif" type: business logo

Please be sure to attach sample of sign wording in chosen lettering style

DATE APPLICATION RECEIVED: 07/10/2025

APPLICATION NUMBER: 2025-23

SECTION #3 - REPAIR, REPLACEMENT OR ALTERATION

(Attach a separate Section #3 for each of the repairs, replacements or alterations you wish to make)

Instructions: Provide clear photographs showing the location of each proposed improvement, including photos of streetscape and the adjacent buildings. Provide architectural elevations and/or photographs clearly showing the location of the proposed work. Provide material specifications and manufacturer's pamphlets on the replacement materials proposed.

Name of business: True by Krissy

Applicant's name: Kristina McKillop

Applicant's address: [REDACTED]

Applicant's phone number: [REDACTED]

Owner's name: Hanny + Davere Goldberg

Owner's address: [REDACTED]

Owner's telephone number: [REDACTED]

1) Which element do you wish to change: Doors Windows Roofing Gutters
 Walls Steps Sidewalk Fence Trim Railing Porch or Balcony
 Other (specify) entry way

* paint only

2) On how many facades? 1 Front Side Back

3) What was the old is the material? turquoise + red paint

4) What is the proposed new material? new paint (Doverwhite - Sherwin-Williams)

5) How will it be installed? paint only

6) Are you using any historical materials? no

7) Is so, what and how?

8) What were the old dimensions? Height: _____ x Width: _____ Depth: _____

9) What are the new dimensions? Height: _____ x Width: _____ Depth: _____

10) What were the old colors? turquoise + red

11) What are the new colors? Sherwin Williams - "DoverWhite"

12) Why do you wish to make these changes? update for new business lease

DATE APPLICATION RECEIVED: 07/10/25

APPLICATION NUMBER: 2025-23

PROPERTY ADDRESS: 133 W. Market St. West Chester, PA 19382
APPLICANT'S EMAIL: info@truebykrissy.com

Note: All projects must have the appropriate sections completed in its entirety and attached to this form. Only attach the applicable sections. The application number will be assigned by the Building & Housing Department.

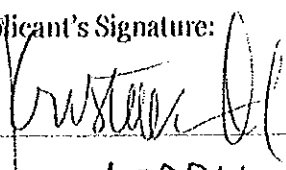
- 1) This application is for (check all appropriate boxes):
 - Section #1 - Sign
 - Section #2 - Canopy or Awning
 - Section #3 - Repair, replacement or alteration from original
 - (please supply photos or elevations of original)
 - Section #4 - Addition
 - (supply architectural elevations and site drawings, as well as photos of the existing structure)
 - Section #5 - New Construction
 - (supply architectural elevations and site drawings, as well as photos of buildings next to and around the site)
 - Section #6 - Demolition

- 2) Please indicate which items you are submitting with your application form. Do not submit originals, since they will be kept by the HARB for its official archives:
 - Color or B/W Sketches
 - Old or Historic Photographs
 - Plot or Site Plans
 - Architectural Elevations
 - Photographs of the current existing site showing where changes are to be made, location of buildings and streetscape.

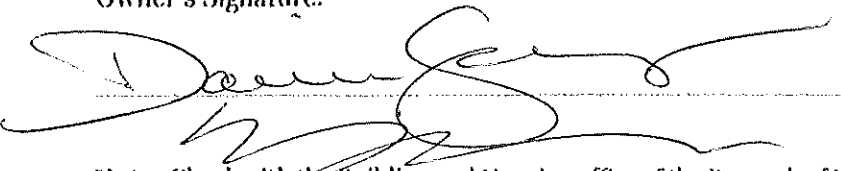
All sketches, elevations, and plans must be signed by the preparer(s)

The owner of this property and the applicant agree to conform to all applicable findings of the Borough of West Chester Historical and Architectural Review Board.

Applicant's name (print): Kristina McKillop

Applicant's Signature:  Date: 7/8/25
LARRY & DARCIe GOLDBERG

Owner's Name (print):

Owner's Signature:  Date: 7/9/25
7/9/25

Note: Check with the Building and Housing office of the Borough of West Chester to see if you need a building permit as well as a Certificate of Appropriateness before you begin your project

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 133 W. Market Street

- 1) **Date of HARB Review:** July 31 2025
- 2) **Applicant's Proposal:** Exterior Renovation and Sign
- 3) **Findings:**

The applicant's representative, Wayne McKillop, was in attendance to present the project. The applicant is relocating her existing store from 16 S. Church Street to 133 W. Market Street. The proposed project was described as follows:

- *Remove the existing retractable fabric awning.*
- *Remove the existing wall mounted sign and bracket above the pent roof.*
- *Install a new round projecting wall-mounted sign west of the storefront window.*
- *The message of the sign is "Time by Khristy – Meaningful Jewelry"*
- *Repaint the existing painted brick exterior wall area surrounding the first-floor storefront below the existing pent roof. Existing color is teal, new color is to be "Dover White."*
- *No lighting for the sign is proposed or included in the application.*

The HARB reviewed the application in detail and made the following comments:

- *The HARB found the proposed work to be generally appropriate.*
- *The proposed sign is appropriate. Some members admired the existing sign and bracket being removed and expressed hoped it would find a new home locally.*
- *Brick wall painting is typically discouraged but this brick is already painted. Paint removal was seen as ideal, but HARB is not empowered to require paint removal.*
- *Some members expressed reservations about the proposed white color and preferred red. Other members felt white was appropriate. Paint color is reversible, and color selection is typically not specified by the HARB.*

- 4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-23 as submitted.

Application Numbers: 2025-23

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 133 W. Market Street

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

.....

Date of Action Taken: _____, 2025

Borough Manager's Signature:



133 W. MARKET STREET
WEST CHESTER, PA 19382

- REMOVE AWNING
 - REMOVE CURRENT SIGN AND IRON BRACKET
 - REMOVE OVERGROWN WEED
 - AREAS TO BE PAINTED OVER THE EXISTING TEAL PAINT AND RED TRIM:
- 1) front brick
 - 2) window trim
 - 3) doors
 - 4) entryway
 - 5) down spout

PAINT: SHERWIN WILLIAMS
“DOVER WHITE”

SW 6385
Dover White
Interior / Exterior
Locator Number: 261-C2





133 W. MARKET STREET
WEST CHESTER, PA 19382



(example)

STEEL SIGNAGE:
OFF-WHITE, WITH LOGO &
GOLD-TONE STEEL BRACET
(MOCK UP)



Home | **Contracts** | **Contractors** | **Submittals** | **Details** | **Workflow** | **Fees** | **Conditions** | **Inspections** | **Site Requirements** | **Notes**

Current processing time is 1 day (In review 1 day)

Project Name: Add Note

Project Description:

Permit Number: COA-25-0016	Applicant: Tyrrell, Joe
Initial Application Number: REFERENCE-25-0665	Primary Contact: Tyrrell, Joe ¹
Permit Type: CERTIFICATE OF APPROPRIATENESS- SIGNS	Primary Contractor: ELMARK SIGN CO ¹
Status: * UNDER REVIEW	Last Activity: 07/14/2025 13:03
Process State: Technically Complete	Last Inspection Date:
Parent Permit: <input type="text"/>	Initiated: 07/11/2025
Assigned To: User <input type="text"/>	Submitted: 07/11/2025 i Application is 4 days old
Fast Track: <input type="checkbox"/>	Completed: 07/14/2025 ✔ 4 of 4 submittals received, 4 of 4 submittals accepted.
Applied for Online: <input checked="" type="checkbox"/>	Approved: <input type="text"/> 👉 2 of 3 (67%) steps approved.
	Ready: <input type="text"/> ✔ \$0.00 paid (100%), \$0.00 due.
	Issued: <input type="text"/>
	Finalized: <input type="text"/> ✔ No inspections.
	Closed: <input type="text"/> ✔ \$0.00 deferred fees due.
	Expires: 01/10/2026 i Exp Override: <input type="checkbox"/>

Site Address

Site Address: Verify Address and Coordinates

Site City: **Latitude:**

State: **Site Zip:** **Longitude:**

Inspection Area:

Zone: Town Center


Primary Parcel: 1-8-419 ¹

Permit #: COA-25-0016 Status: UNDER REVIEW Contact: Tyrrell, Joe Site Address: 301 W MARKET ST
Type: CERTIFICATE OF APPROPRIATENESS- SIGNS Project Name: Signage 301 W Market Contractor: ELMARK SIGN CO WEST CHESTER, PA 19380

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Sign
LOCATION OF PROJECT:*	301 W Market St.
NAME OF BUSINESS:*	TS Executive Abstract
ARE YOU REPLACING AN EXSISTING SIGN:*	Yes
HOW MANY SIGNS DO YOU WISH TO INSTALL:*	3
HOW MANY FACADES WILL SIGN DISPLAY ON:*	Front
HANGING SIGN:	Yes
BUILDING MOUNTED:	Yes
OTHER:	Yes
IF OTHER PLEASE SPECIFY:	Side
GIVE A THOROUGH DESCRIPTION OF SIGN:	on attached proof
IS THERE NEW ILLUMINATION:	No
FIXTURE TEXT:	
SIGN DIMENSION HEIGHT:	30
SIGN DIMENSION WIDTH:	25
SIGN DIMENSION DEPTH:	0

Contact

Contact Phone Numbers Email Addresses Details Secure Details Points of Contact Portal Accounts

 Replace Photo

Contractor: No Active:

First Name: Joe Middle Name: Last Name: Tyrrell

Display Name: Tyrrell, Joe

Primary Phone: [REDACTED] Primary Email: joe@tsexecutive.com

Portal Access Code: *3N17M-1GAMD

Mailing Address
[REDACTED]
Edit Address

Physical Address
[REDACTED]
Edit Address Copy Mailing Address

Save Reset Close Delete Audit Convert to Contractor Associations

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 301 W. Market Street

1) **Date of HARB Review:** July 31, 2025

2) **Applicant's Proposal:** Signs

3) **Findings:**

The applicant's representative, Connor Smith of Elmark Signs, was present to describe the proposed building sign design. Mr. Smith described the project as follows:

- *Replace an existing building mounted sign beside the south main entrance door with a new 14"Wx30"H acrylic, single-sided building mounted sign.*
- *Install a new 22"W x 18"H acrylic, double-sided hanging sign on an existing metal bracket above the new wall mounted sign beside the south main entrance door.*
- *Install a new 30"W x 25"H acrylic, double-sided hanging sign on an existing metal bracket at the corner of the building facing the Market Street and New Street intersection. This sign will also have a new scrolled metal hanging bracket installed upside-down at the bottom of the sign to prevent excessive swinging.*
- *All signs will be 6mm thick ACM sign panel with printed gloss laminated vinyl graphics.*
- *All three signs have the same upper and lower message panels – displayed on 5 total faces:*
 - *Upper panel message: "TS Executive Abstract-Title Insurance-Greg Tyrrell-610-565-4340.*
 - *Upper panel message: "Pennsylvania Probate Law Firm-Michael Daiello Esq-610-565-4340.*

The HARB reviewed the application in detail with the following comments:

- *The signage graphics are very plain, with an appearance similar to temporary real estate signs.*
- *The new signs are simple rectangles completely filled with dense text, giving an unattractive overall appearance.*
- *Three signs with five total face panels at one street corner (1 single-sided and 2 double-sided) were viewed as excessive and redundant.*
- *The existing wall mounted sign being replaced exhibits some sense of style with scrolled top and bottom edges. The new signs exhibit none of this design sensitivity.*
- *The smaller two-sided hanging sign located directly above the wall mounted sign (3 panels with identical messages) is seen as redundant.*

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-24 as submitted, with the following clarifications:

1. *Delete the 18"Hx22"W hanging sign above the south facing entrance door.*
2. *Remove the existing south wall metal bracket and patch holes to match historic wall materials.*
3. *Approve the 14"Wx30"H wall mounted sign.*
4. *Approve the 25"Wx30"H hanging corner sign.*
5. *Fabricate the new upside-down bottom bracket for the large corner hanging sign to match the existing upper bracket in materials, dimensions, and design details. Wall anchors shall be mounted in the mortar joints, not the face brick.*

Application Numbers: 2025-24

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 301W. Market Street

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

.....

Date of Action Taken: _____, 2025

Borough Manager's Signature:

S.1

Directory & Hanging Signs

One 25" high x 30" wide x 6mm thick double-faced ACM sign with printed, gloss-laminated vinyl graphics. The sign will hang from two eye hooks on an existing scroll bracket extending from the exterior wall over the door. An additional scroll bracket will be mounted onto the bottom of the sign for extra support and stability.

One 18" high x 22" wide x 6mm thick double-faced ACM sign with printed, gloss-laminated vinyl graphics. The sign will hang from two eye hooks on an existing scroll bracket extending from the exterior wall over the door.

One 30" high x 14" wide x 6mm thick single-faced ACM sign with printed, gloss-laminated vinyl graphics. Sign will be mounted with VHB tape and silicone.



6 mm thick ACM with printed and gloss laminated vinyl graphics



6 mm thick ACM with printed and gloss laminated vinyl graphics



6 mm thick ACM with printed and gloss laminated vinyl graphics



The existing building sign will be removed, and the new sign will be installed in its place with VHB tape and silicone.



The new signs will be mounted to existing scroll brackets with new stainless steel hanging hardware. The larger hanging sign will be secured with an additional new scroll bracket at the bottom to prevent swinging.



Pantone 7463C

Application not yet complete

Project Name: [Add Note](#)

Project Description:

Permit Number:	COA-25-0017	Applicant:	Mandeen, Chris
Initial Application Number:	REFERENCE-25-0708	Primary Contact:	Mandeen, Chris !
Permit Type:	CERTIFICATE OF APPROPRIATENESS- REPAIR	Primary Contractor:	
Status:*	<input type="text" value="COMPLETENESS REVIEW"/>	Last Activity:	07/22/2025 08:08
Process State:	Pending	Last Inspection Date:	
Parent Permit:	<input type="text"/>	Initiated:	<input type="text" value="07/21/2025"/>
Assigned To:	User <input type="text"/>	Submitted:*	<input type="text" value="07/21/2025"/> ! Application is 2 days old
Fast Track:	<input type="checkbox"/>	Completed:	<input type="text"/> ! 3 of 3 submittals received, 1 of 3 submittals accepted.
Applied for Online:	<input checked="" type="checkbox"/>	Approved:	<input type="text"/> ! 0 of 3 (0%) steps approved.
		Ready:	<input type="text"/> ! \$0.00 paid (100%), \$0.00 due.
		Issued:	<input type="text"/>
		Finalized:	<input type="text"/> ! No inspections.
		Closed:	<input type="text"/> ! \$0.00 deferred fees due.
		Expires:	<input type="text" value="01/17/2026"/> Exp Override: <input type="checkbox"/>

Site Address

Site Address: [Verify Address and Coordinates](#)

Site City: Latitude:

State: Site Zip: Longitude:



Contractor: No Active

First Name: Middle Name: Last Name:

Display Name:

Primary Phone: Primary Email:

Portal Access Code:

Mailing Address

711 South Matlack
West Chester, PA 19382

[Edit Address](#)

Permit #: COA-25-0017 Status: COMPLETENESS REVIEW Contact: Mandeem, Chris Site Address: 20 W MARKET ST
 Type: CERTIFICATE OF APPROPRIATENESS- REPAIR Project Name: Leaking door Contractor: WEST CHESTER, PA 19382

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Replacement or alteration from original
LOCATION OF PROJECT:*	18 W Market (First floor, side, alley access)
NAME OF BUSINESS:*	Project M, LLC
WHICH ELEMENTS DID YOU CHANGE:	Sealed door with transom into proper window
ON HOW MANY FACADES:	1
WHAT WAS THE OLD IS THE MATERIAL:	Wood and glass
WHAT IS THE PROPOSED NEW MATERIAL:	Wood and glass, brick below
HOW WILL IT BE INSTALLED:	Purchase from Chapman, installed by owner
ARE YOU USING ANY HISTORICAL MATERIALS:	not likely to be salvageable.
IF SO, WHAT AND HOW:	
WHAT WERE THE OLD DIMENSIONS:	105
WHAT ARE THE NEW DIMENSIONS:	80*47
WHAT ARE THE OLD COLORS:	goldenrod yellow
WHAT ARE THE NEW COLORS:	will match color
WHY DO YOU WISH TO MAKE THESE CHANGES:	The wall is water damaged due to the improv

Sealed door with transom into proper window to match building

The wall is water damaged due to the improper install and the glass slipping in the former door, door has been sealed since approx 1975,

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 20 W. Market Street

- 1) **Date of HARB Review:** July 31, 2025
- 2) **Applicant's Proposal:** Door & Window Replacement

3) **Findings:**

The applicant's representative, Shannon McDonald, was present to describe the project's scope. Ms. McDonald described the project as follows:

- *The overall project is to remove an existing rear exterior wood door/ transom; replace it with a new double hung wood window; and infill the lower section of the door opening with brick to match the historic exterior wall. This will create an office with two matching windows. Details as described below.*
- *Remove the existing historic exterior wood door and transom. The door is not used and is permanently closed. The lower door section is covered in drywall at the interior.*
- *Fabricate a new wood window to replicate the appearance of the building's existing historic double hung windows. New wood sill and trim will match the existing adjacent materials.*
- *Use available salvaged brick to infill the lower section of the door opening. New brick to be keyed into the adjacent wall.*

The HARB reviewed the application in detail. This type of permanent alteration of historic fabric is typically discouraged and some members expressed reservations. Ms. Quigly pointed out this alteration is not very visible from the rear alley. Mr. Yocum expressed support for this proposal because the applicant has committed to very closely matching the building's adjacent historic windows. That means replicating the exact profiles, dimensions, and delicate details of the existing wood windows. The new storm window should also match the existing units. Functionally, the new window makes the building more useful.

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-25 as submitted, with the following clarifications:

1. *Only the single rear door and transom unit above shall be removed.*
2. *The new window shall be wood (not clad) and will replicate the exact exterior profiles, dimensions, and delicate details of the existing adjacent wood window south of the door. Windows may be single pane true-divided-lite or simulated-divided-lite with insulated glass.*
3. *New wood sills and trim shall be installed to match the existing adjacent window materials.*
4. *The lower section of the door opening shall be infilled with brick to match the existing adjacent exterior brick in dimension, color, texture, and finish. The new brickwork shall be toothed into the existing masonry wall. Mortar color, joint size and tooling style shall match the existing wall construction.*

Application Numbers: [2025-25](#)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 20 W. Market Street

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

.....

Date of Action Taken: _____, 2024

Borough Manager's Signature:

Building first floor

(#18 W. Market, middle third)

Window
(another room)
80*47

Window
(same room)
80*47

Leaking door
(transom and
half window)
105*47

Brick wall

Corner to wider part of building

Concrete ground











§97-8 Terms defined

ALLEY

See "street, alley."

STREET

A right-of-way intended for the general public use to provide means of circulation for vehicles and pedestrians, furnishing access to abutting lots. The word "street" includes the words "road," "highway," "avenue," "boulevard," "lane" and "alley."

ALLEY

Land over which there is a right-of-way, municipally or privately owned, serving as a secondary means of access to two or more lots. "Alleys" in the Borough are typically located to the rear of a building, occasionally on the side of a building, and rarely in the front of a building.

§112-202 Definitions

ALLEY

Land over which there is a right-of-way, municipally or privately owned, serving as a secondary means of access to two or more lots. Alleys shall be those shown on a list and map of the same maintained by the Borough Manager.

PUBLIC STREET

Any land dedicated to public use or passage, including but not limited to streets, alleys, or other vehicular rights-of-way, whether constructed, dedicated or proposed.

STREET

A right-of-way intended for the general public use to provide means of circulation for vehicles and pedestrians, furnishing access to abutting lots. The word "street" includes the words "road," "highway," "avenue," "boulevard," "lane" and "alley."

§ 112-602. General regulations and design standards.

- A. Each building, structure or use established, erected, enlarged or altered in any district shall provide and satisfactorily maintain off-street parking space in accordance with § 112-603 and all other regulations pertaining to parking.
- B. Changes in use; alterations to buildings; construction of new buildings for all zoning districts except the Town Center District.
 - (1) Change in use. In all zoning districts except the Town Center District, whenever the use of a building changes, the number of parking spaces which shall be provided for the new use shall be based upon the applicable criteria without counting the number of parking spaces that existed on the lot prior to the change in use.
 - (2) Addition to existing buildings. In all zoning districts except in the Town Center District, whenever an existing building is enlarged by a building addition, the number of new parking spaces which shall be required for the building addition shall be based on the use and floor area of the addition, or in the case where additional dwelling units are added, the number of additional dwelling units created without counting the number of parking spaces that existed on the lot prior to the building addition.
 - (3) Demolition and construction of a new building. In all zoning districts except the Town Center, whenever an existing building is demolished in whole or in part, and a new building (or portion thereof) is erected in its place, the number of new parking spaces which shall be required shall be based on the use and floor area of the new building (or portion thereof).
- C. Town Center parking regulations.
 - (1) Change in use. In the Town Center District, whenever the use of a building changes, no new off-street parking spaces shall be required; provided, however, that if the use of a building in the Town Center District is changed to provide five or more dwelling units, off-street parking shall be provided for each dwelling unit in accordance with the applicable criteria without counting the number of parking spaces that existed on the lot prior to the change in use.
 - (2) Addition to existing buildings. In the Town Center District, whenever an existing building is enlarged by a building addition, no new off-street parking spaces shall be required; provided, however, that if the addition to the building in the Town Center District provides five or more new dwelling units, off-street parking shall be provided for each new dwelling unit in accordance with the applicable criteria without counting the number of parking spaces that existed on the lot prior to the building addition.
 - (3) Demolition and construction of a new building. In the HARB Overlay District only, whenever an existing building is demolished in whole or in part, and a new building (or portion thereof) is erected in its place, no new off-street parking spaces shall be required; provided, however, that if the use of the new building in the HARB Overlay District provides five or more dwelling units, off-street parking shall be provided for each dwelling unit in accordance with the applicable criteria. In the portions of the Town Center District which are not included in the HARB Overlay District, if an existing

building is demolished in whole or in part and a new building (or portion thereof) is erected in its place, off-street parking shall be provided for the new building or part thereof in accordance with the applicable criteria.

- D. Whenever an off-street parking area has a required capacity for two or fewer motor vehicles, such parking area shall be constructed in accordance with criteria as set forth in Chapter 97, Subdivision and Land Development.
- E. No parking area shall be used for any use that interferes with its availability for the parking need it is required to serve.
- F. Continuing character of obligation. All required parking facilities shall be provided and maintained so long as the use exists which the facilities were designed to serve.
- G. Unless otherwise approved for lots in the Town Center District pursuant to the applicable criteria, required off-street parking spaces shall be on the same lot as the principal use.
- H. Two or more uses may provide for required parking in a common parking lot if the total space provided is not less than the sum of the spaces required for each use individually, unless otherwise specifically set forth herein.
- I. All parking areas and accessways shall be built and maintained to provide safe and orderly access at all times from a street, alley or other approved accessway.
- J. Every parking area shall be designed so that its use does not constitute a nuisance, hazard or unreasonable impediment to traffic.
- K. Parking in front of building.
 - (1) Parking spaces shall not be located within any front yard areas, except in the Industrial District, where parking in the front yard may be permitted as a special exception by the Zoning Hearing Board, provided that it does not comprise more than 50% of the front yard areas.
- L. Except for properties in the TC-Town Center District and the NC-2 Neighborhood Conservation District, all parking spaces and access drives shall be at least five feet from any lot line, except for common driveways.
- M. For the purpose of servicing any property held under single and separate ownership, entrance and exit drives crossing the lot line along a street shall be limited to two along the frontage of any single street, and their center lines shall be placed at least 80 feet apart. On all corner properties, such drives shall be spaced a minimum of 60 feet, measured at the curbline, between the center line of any entrance or exit drive and the street line of the street parallel to said access drive.
- N. All artificial lighting used to illuminate any parking space or spaces shall be so arranged and shielded that no direct rays from such lighting shall fall upon any neighboring property. The angle for any such lighting shall not exceed 30° from the source to the ground plane.
- O. All off-street parking areas which have three or more parking spaces shall be designed in compliance with the following regulations:

- (1) Such parking area shall be designed so that each motor vehicle may proceed to and from the parking space provided for it without requiring any other motor vehicle to be moved, except in the case of a single-family dwelling.
 - (2) Such parking area shall not be built or maintained to permit parked vehicles to back into a public street in order to leave a parking space, except in the case of a single-family or two-family dwelling.
- P. In addition to the requirements set forth under § 112-602O, the following shall apply whenever an off-street parking area has a required capacity for three or more motor vehicles:
- (1) Any such parking area shall be screened and landscaped in accordance with this chapter.
 - (2) Any such parking area shall be physically separated from any street by a raised-concrete or other approved curb, except where entrance or exit drives cross street lines.
- Q. Parking shall be designed in accordance with the requirements of § 97-28 of the Subdivision and Land Development Ordinance.

§ 97-29. Curbs.

- A. Curbs shall be installed on all streets. Curbs shall be constructed in accordance with the requirements of Chapter 95, Streets and Sidewalks, § 95-12, Construction requirements for curbing, of the Code of the Borough of West Chester. Any other aspects of construction, as deemed applicable by the Borough, shall be in compliance with the latest edition of § 30 of Pennsylvania Department of Transportation Specifications, Publication 408.
- B. Curbs shall also be designed in accordance with § 97.A.8. of the Appendix A, Design Standards.¹

1. Editor's Note: Appendix A is included as an attachment to this chapter.

Appendix A

Article IV Design Standards

Chapter 97

Subdivision and Land Development

(9-26-2018) (10-3-2018) (12-7-2018)

This Appendix includes the following Written and Graphic Design Standards:

- 97.A.i. Overview
- 97.A.1. ADA Accessibility
- 97.A.2. Alleys
- 97.A.3. Architecture: Materials, Form & Composition
- 97.A.3.a. Architecture: Dumpsters, Refuse Bins, and Mechanical Equipment
- 97.A.4. Blocks
- 97.A.5. Buffer, Buffer Area, Buffer Planting Strip
- 97.A.5.a. Buffer Planting Strip: Off-Street Parking
- 97.A.6. Common Open Space
- 97.A.7. Crosswalks
- 97.A.8. Curbs
- 97.A.9. Curb Cuts
- 97.A.10. Driveway
- 97.A.11. Fences
- 97.A.12. Green Infrastructure (Curb Bulb Outs, Rain Gardens, etc.)
- 97.A.12.a. Green Infrastructure: Off-Street Parking Lots
- 97.A.13. Landscape Excellence
- 97.A.14. Landscaping
- 97.A.15. Lots
- 97.A.16. Parking Lots: Off-Street
- 97.A.16.a. Parking Lots: Deck Parking
- 97.A.17. Parking: On-Street
- 97.A.18. Public Space
- 97.A.18.a. Public Space: Outdoor Restaurant-Cafe
- 97.A.19. Recreational Facilities
- 97.A.20. Sidewalks
- 97.A.21. Streets: Interconnected Network
- 97.A.21.a. Streets: Close
- 97.A.21.b. Streets: Complete Streets
- 97.A.22. Street Furniture
- 97.A.23. Street Lights
- 97.A.24. Street Trees
- 97.A.25. Street Walls
- 97.A.25.a. Street Walls: Pier-Fence-Hedge
- 97.A.26. Streetscape
- 97.A.27. Stormwater Management
- 97.A.28. Tree Protection
- 97.A.29. Unit Pavers
- 97.A.30. Utilities
- 97.A.31. Walls
- 97.A.32. Wayfinding Signage

Overview

97.A.i.

Design Standards



Legislative Intent:

97.A.i. The Design Standards in this Appendix A are intended to provide clarity regarding the materials, form, and composition of various land development features.

The Photographs and graphics in this Appendix A are also intended to convey the scale, context, and relationship of various features to buildings and outdoor spaces.

97.A.ii. In addition to the Design Standards in this Appendix A, the written Design Standards in Article IV of this Chapter 97 of the Code of Ordinances of West Chester Borough shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article IV, the strictest provisions shall apply.

97.A.iii. Whenever, the exact type of material, size composition, spacing, etc. is not possible, West Chester Borough Council may consider a request for modification if the modification provides equal or better results.

97.A.iv. The Design Standards in this Appendix A are also intended to inspire innovation and creativity for enhancing and improving the quality of the built environment in West Chester Borough.

97.A.v. When determining the degree to which an Applicant has complied with the Design Standards for various Land Development Plan submissions, it should be noted that the images that appear herein have been carefully selected, and are intended to be emulated.

Overview (continued)

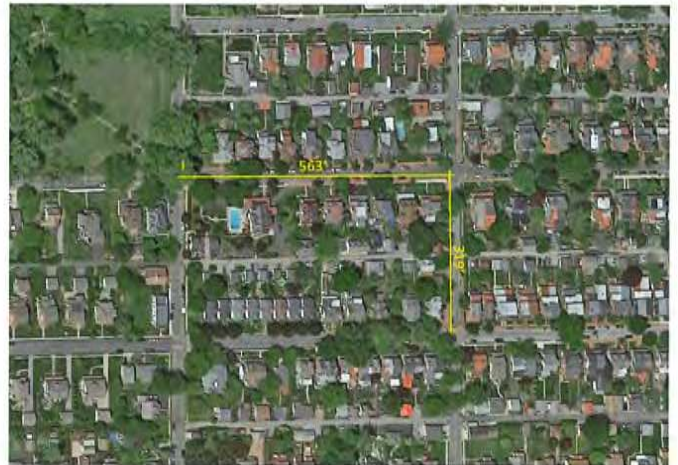
97.A.i.

Design Standards



Interconnected Street Network in Center of West Chester

97.A.vi. Streets are intended to be interconnected with one another and with alleys, and cul-de-sacs streets may only be approved if severe topographical, hydrological, or geological constraints prevent street connectivity.



Traditional Blocks in Residential Neighborhood

97.A.vii. New Blocks are intended to be consistent with existing Traditional Blocks, so as to continue the Traditional Neighborhood character of the Borough.



Traditional Streetscape

97.A.viii. The Streetscape is intended to be accentuated with Street Trees that provide a functional canopy (as described and depicted in Section 97.A.24.).



Buildings Forming Street Wall

97.A.ix. Buildings in the Downtown are intended to be placed at the Street Line (street right-of-way line) to form a Street Wall, as described in greater detail in Section 97.A.25.

ADA Accessibility

97.A.1.

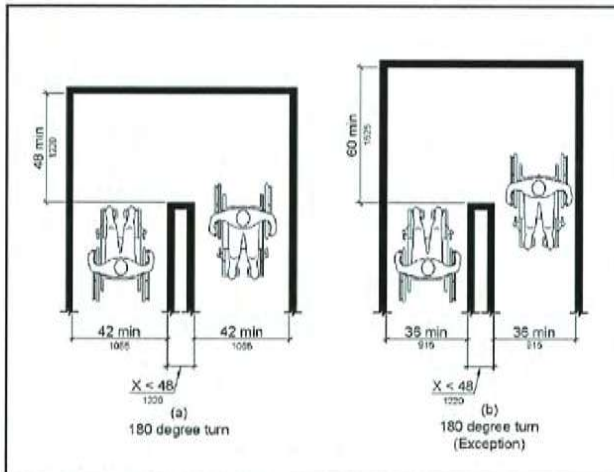
Design Standards



ADA Accessible ramps provided at all street intersections



ADA Accessible ramp at intersection with less than 5% grade



ADA Accessible Clear Width at Turn Standard
(Source: ADA Standards for Accessible Design)

Legislative Intent:

97.A.1.1. ADA Accessibility is intended to be achieved along all public streets (especially at intersections) and at all public parks.

Design Standards:

97.A.1.2. ADA Accessibility shall be achieved in accordance with Penn DOT Form 408 Specifications at all streets and intersections.

97.A.1.3. ADA Accessibility shall be achieved at all public parks, with ramps less than 5% in grade, and paving tolerances less than 1/4 inch.

97.A.1.4. All structures shall be designed to comply with the most recent version of ADA Accessibility Guidelines for Buildings and Facilities, by ICC-ANSI A 117.1., whereby Ramps shall have a maximum slope of 8.33%, walking surfaces shall have a maximum slope of 5%, and cross-slopes shall have a maximum slope of 2%.

Alleys

97.A.2.

Design Standards



Well Landscaped Alley in Residential Neighborhood servicing buildings at the rear of the lot



Alley in Commercial Neighborhood with 18 foot minimum width



Alley in Residential Neighborhood with 16 foot width

Legislative Intent:

97.A.2.1. Existing Alleys are intended to be maintained, improved, and enhanced.

97.A.2.2. New Alleys are intended to be built and maintained, so that buildings are serviced to the rear of lots, and in order to maintain a high level of curb appeal where Buildings (not garages) front on streets.

97.A.2.3. New Alleys are intended to be landscaped.

Design Standards:

97.A.2.4. Existing Alleys shall be maintained and improved, in order to retain the interconnected network of streets and alleys.

97.A.2.5. New Alleys shall be built to connect to the street and alley network.

97.A.2.6. New Alleys shall be a minimum width of 16 feet in Residential Neighborhoods.

97.A.2.7. New Alleys shall be a minimum width of 18 feet in Commercial and Mixed-Use Neighborhoods.

97.A.2.8. All New Alleys shall be landscaped with Shade Trees, with a minimum caliper of 2 to 2 1/2 inches.

97.A.2.9. Shade Trees in Alleys shall be spaced 30 to 50 feet on-center, depending on the location of driveway aprons.

97.A.2.10. No new Alleys shall end in a cul-de-sac type condition, unless severe topographical, hydrological, or geological constraints prevent a connection to the street and alley network.

Alleys (continued)

97.A.2.

Design Standards



Well Designed Facade with Side Lights to Front Door, Fan Light above Front Door, and Pent Eave Roof above Garage Door



Well Designed Front Yard with Planters, and Brick Edging



Alleyscape

Design Standards (continued):

97.A.2.11. Whenever an Alley Serves as the Principal Street Address for a Building, the Building shall be detailed with features such as a Pent Eave Roof above Front Doors and/or Garage Doors, Eave Roof Pilasters, and other like-type architectural embellishments.

97.A.2.12. Whenever an Alley serves as the Principal Street Address for a Building, the Front Yard shall be embellished with Landscaping in the form of Planters, Planting Beds, River Jack Stones, and the like.

97.A.2.13. While Sidewalks, Curbs, and Street Trees are not required in Alleys, they may be installed and maintained where space permits.

Alleys (continued)

97.A.2.

Design Standards



Alley with River-Jack Stone Apron to prevent Erosion



Alley with Grass Edge Problem that could be converted to River-Jack Stone



Alley with Parking Edge that could have had a better Streetscape outcome by locating Parking in the Rear

Design Standards (continued):

97.A.2.14. Alleys that serve as the Principal Street Address for Buildings shall have stabilized edges formed by River Jacks, Brick or other non-erosive surfaces.

97.A.2.15. Alleys that serve as the Principal Street Address for Buildings shall have Front Yards in a Mud-Free Condition.

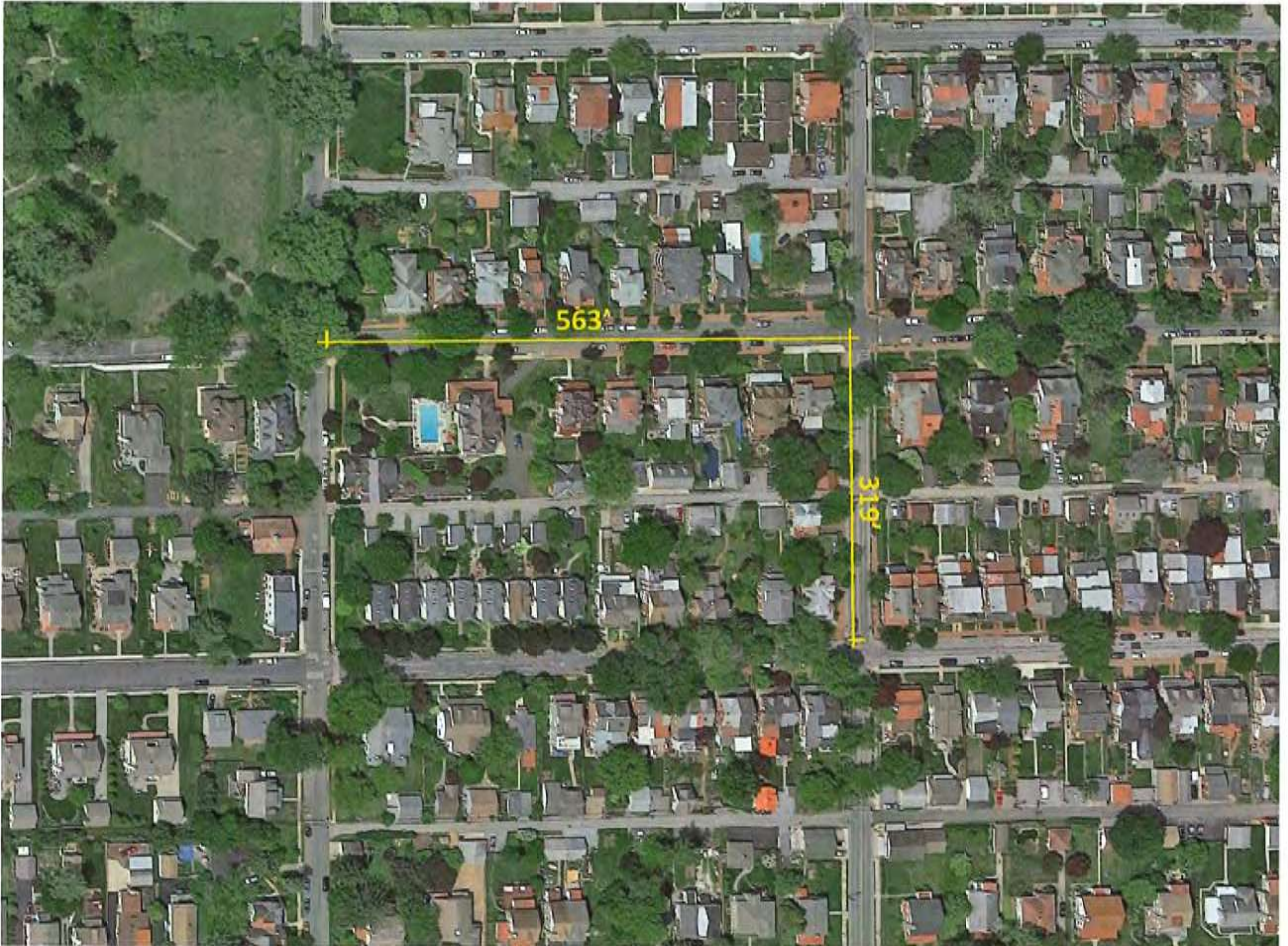
97.A.2.16. Alleys that serve as the Principal Street Address for Buildings shall not have parking in Front of Buildings.

97.A.2.17. When an Alley serves as the Principal Street Address for a lot, new buildings shall be oriented to front the Alley. However, if an existing street on an existing block serves as the Principal Street Address, at least one or more buildings on the lot shall be oriented to front on the existing street, and additional buildings may utilize an Alley for the primary access to the building. (Also see §97.A.3.13. relative to building orientation.)

Blocks

97.A.4.

Design Standards



Traditional Block with Typical Dimensions in the range of 345 to 585 ft in length and 300 to 445 ft in depth

Legislative Intent:

97.A.4.1. Blocks are intended to be maintained to continue the traditional street and alley network of the Borough.

97.A.4.2. Primarily rectangular Blocks are intended to be built and maintained as a continuation of existing Blocks in the Borough.

Design Standards:

97.A.4.3. Blocks shall be built and maintained, and shall be formed by the street and alley network.

97.A.4.4. New Blocks shall be in the range of 345 feet to 585 feet in length, and 300 feet to 445 feet in depth, depending on the size of Blocks adjoining a new land development site, and depending on the location of existing streets and alleys.

Crosswalks

97.A.7.

Design Standards



Crosswalk located at downtown street intersection



Crosswalk in driveway throat continuing the Sidewalk system



Crosswalk Striping connecting opposing accessible sidewalk ramps

Legislative Intent:

97.A.7.1. Crosswalks are intended to continue the sidewalk system in the Borough.

97.A.7.2. Crosswalks in driveway throats are also intended to continue the sidewalk system in the Borough.

Design Standards:

97.A.7.3. Crosswalks shall be at least six feet (6'-0") in width when they cross streets.

97.A.7.4. Crosswalks located in driveway throats shall be at least five feet (5'-0") in width.

97.A.7.5. Crosswalks shall be at least four feet six inches (4'-6") in width when they cross Alleys.

97.A.7.6. Crosswalks shall be unit pavers, such as E.P. Henry Mediterranean interlocking brick pavers, or approved equal, at the intersections of Gay Street with Walnut, High, and Church Streets.

97.A.7.7. Crosswalks shall be located at all downtown street intersections, connecting opposing accessible sidewalk ramps.

97.A.7.8. Heat-applied Crosswalk Striping shall be provided. Such Crosswalk shall be six (6) to ten (10) feet wide and shall be immediately re-striped whenever removal of bituminous paving and subsequent street patching occurs, and when striping becomes worn from regular use.

97.A.7.9. As a viable alternative to striped Crosswalks, textured paving consisting of brick (2 3/4 inches, model '#36 Red Sunset' manufactured by Whitacre-Greer or approved equal) shall be installed on a reinforced concrete base to address pedestrian safety and vehicular traffic calming. Such Crosswalks shall be edged with flush concrete curb to create a visual and functional transition between brick pavers and adjoining bituminous paving. Brick Crosswalk pavers shall be set at a 90 degree herringbone paving pattern, and the overall Crosswalk width shall be ten (10) feet.

97.A.7.10. Crosswalks shall not be constructed of colored and stamped bituminous paving due to visual inconsistency of such materials with the Borough's built environment, and due to increased maintenance inherent to such paving practices.

Curbs

97.A.8.

Design Standards



Granite Curb as Street Edge



Concrete Curb as Street Edge



Concrete pavers and Belgian Block curbing used to enhance parking court

Legislative Intent:

97.A.8.1. Curbs are intended to provide the edge to street pavements, to direct stormwater to inlets, and to help direct the flow of vehicular traffic.

Design Standards:

97.A.8.2. Curbs shall be built and maintained as the finish edge to streets.

97.A.8.3. New Curbs shall match adjoining existing curbs in terms of the type, either concrete, granite, and/or Belgian Block/cobblestone.

97.A.8.4. Whenever there is a curb cut along a street, flush curb shall be installed and maintained. The flush curb shall be graded to seamlessly fit into the street grade and any driveway ramp.

97.A.8.5. Also refer to Chapter 95 Streets and Sidewalks, and subsection 95-12. pertaining to curbs.

Curb Cuts

97.A.9.

Design Standards



Curb Cut less than 30 feet in width



Curb Cut allowing continuous Pedestrian access



Curb Cut located along the rear of the lot/building

Legislative Intent:

97.A.9.1. Curb Cuts are intended to be limited in width, to help control vehicular access.

97.A.9.2. Existing wide Curb Cuts are intended to be “necked-down” to minimize pedestrian conflicts, and to provide space for additional Streetscape amenities.

Design Standards:

97.A.9.3. Curb Cuts shall be minimized to enable uninterrupted pedestrian movement along sidewalks.

97.A.9.4. Existing cross streets or streets along the rear of the lot shall be utilized to access parking to the maximum extent possible.

97.A.9.5. Any new Curb Cut shall not be more than 30 feet in width for two-way traffic, and not more than 18 feet in width for one-way traffic.

Driveway

97.A.10.

Design Standards



Brick utilized for Driveway material continuing brick sidewalk network



Driveways accessed from Alley, minimizing curb cuts along the Lot Frontage

Legislative Intent:

97.A.10.1. Driveways are intended to be accessed from Alleys in order to minimize curb cuts, and to retain an attractive curb appeal along Streetscapes and in Neighborhoods.

97.A.10.2. When Driveways cannot be accessed from Alleys, they should not create a visual interruption to the sidewalk network

Design Standards:

97.A.10.3. Driveways shall be accessed from Alleys to the maximum extent possible.

97.A.10.4. If new Driveways are built and create new curb cuts in Residential Districts, each Driveway curb cut shall be offset by a minimum of 30 feet along the curb line.

97.A.10.5. If new Driveways are built, and create new curb cuts, driveway aprons with asphalt shall not interrupt an existing concrete or brick sidewalk network.

97.A.10.6. Driveways shall have pervious pavement to the maximum extent possible.

Green Infrastructure: Off-Street Parking Lots

97.A.12.a.

Design Standards



Parking Lot Stone Edge to slow down runoff and allow infiltration



Curb Openings allow rain water to enter bioswale for infiltration

Legislative Intent:

97.A.12.a.1. Green and Sustainable Parking is intended to:

- [a] be integrated into the surrounding built and natural environment;
- [b] manage water as a resource by promoting an infiltration and natural retention system and drainage pattern;
- [c] protect local water quality through effective filtration and biological systems;
- [d] minimize the heat island effect through effective shading and alternative pavement material;
- [e] conserve energy usage and encourage the placement of sustainable energy infrastructure;
- [f] provide safe walkways;
- [g] use land more efficiently;
- [h] protect existing vegetation and sensitive areas; and
- [i] minimize construction footprint and unnecessary compaction.

Design Standards:

97.A.12.a.2. Off-Street Parking areas shall incorporate bioretention, permeable pavement, vegetated swales, curb openings, stone edges, and/or solar powered lighting/solar power parking lot canopies to the maximum extent possible.

97.A.12.a.3. Off-Street Parking areas shall minimize removal of native vegetation and trees, and re-vegetate disturbed areas.

Parking Lots: Off-Street

97.A.16.

Design Standards



Street Wall utilized to screen Off-Street Parking located at a corner location



Off-Street Parking Screened with a landscape buffer



Street Wall utilized to screen Off-Street Parking

Legislative Intent:

97.A.16.1. Off-street parking lots are intended to be located to the rear of buildings.

97.A.16.1. Existing parking lots that are located in front of buildings are intended to be screened with landscaping and/or walls.

97.A.16.2. Buildings are intended to “screen” the parking located behind the structure.

Design Standards:

97.A.16.3. New parking shall be located to the rear or side of new buildings, and shall be accessed by alleys and driveways.

97.A.16.4. If an existing building is proposed to be expanded or redeveloped, and has a deep setback with an existing parking lot along the lot frontage, the frontage shall be landscaped with a Street Wall consisting of a Pier-Fence-Hedge combination in accordance with Section 97.A.25.2.

97.A.16.5. New off-street parking lots in front or side (exterior) yards in the TC, CS, IS, or MU Districts which can not be located in the rear yard due to site constraints, shall be screened by a brick wall 48” in height, a pier-fence-hedge-street tree combination, or a low hedge, to screen visibility of the parking lot, and to continue the Street Wall. See §97.A.25. relative to street walls and pier-fence-hedge-street tree combination screening, and §97.A.5a. relative to buffer screening. (Also see Figure 1 on page 97.A.16.1.)

97.A.16.6. Off-street parking lots in side (interior) or rear yards shall be screened from adjacent properties with a fence/wall, berm, landscape buffers. (Also see Figure 1 on page 97.A.16.1.)

97.A.16.7. Parking in non-residential districts shall be located and screened in accordance with the standards set forth in §97-30., and as depicted in Figure 1 on page 97.A.16.2.

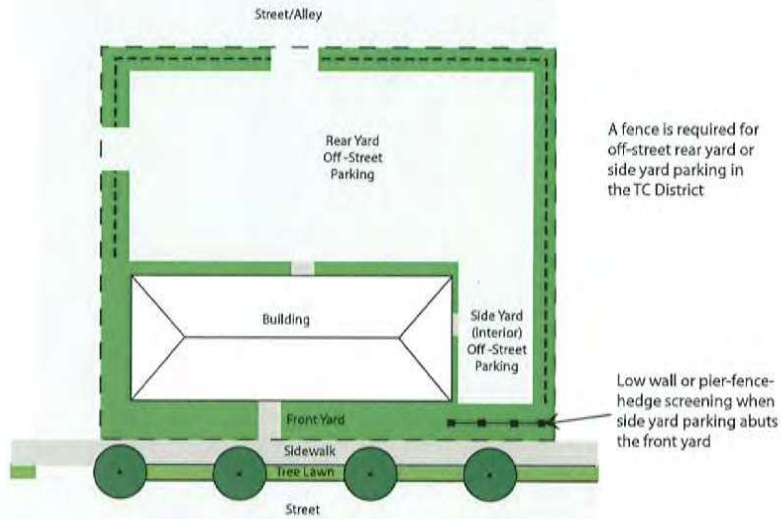
Parking Lots: Off-Street (continued)

97.A.16.

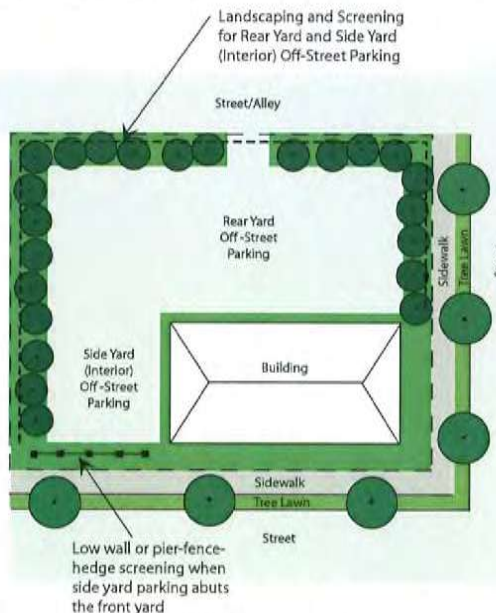
Design Standards

Figure 1
Example Parking Locations by District

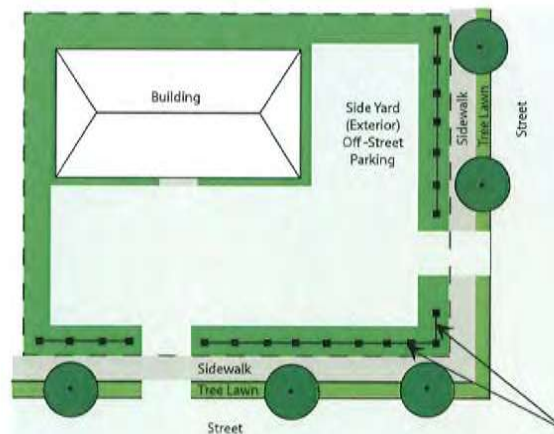
Town Center (TC) District



Commerical Service (CS), Institutional (IS), & Mixed-Use (MS) District



Rear and Side Yard (Interior) Lot
Off-Street Parking



Front and Side Yard (Exterior) Lot
Off-Street Parking to screen Existing Park-
ing Lots, or special condition parking lots

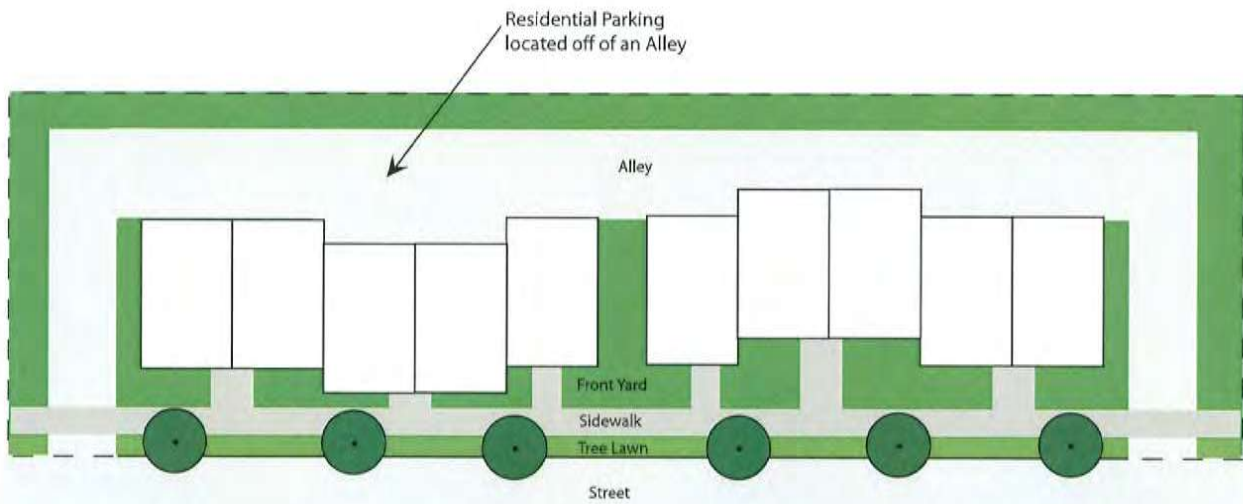
Parking Lots: Off-Street (continued)

97.A.16.

Design Standards

Figure 1
Example Parking Locations by District

Residential Districts



10 or more Dwelling units: Parking Located in the Rear

Legislative Intent:

97.A.16.8. Off-street parking located in the rear yard is intended to promote a pedestrian-scaled Streetscape environment.

97.A.16.9. Off-street parking is intended to be located in the rear in residential districts for single-family dwellings where front parking is not already the predominant parking pattern on the block

Design Standards:

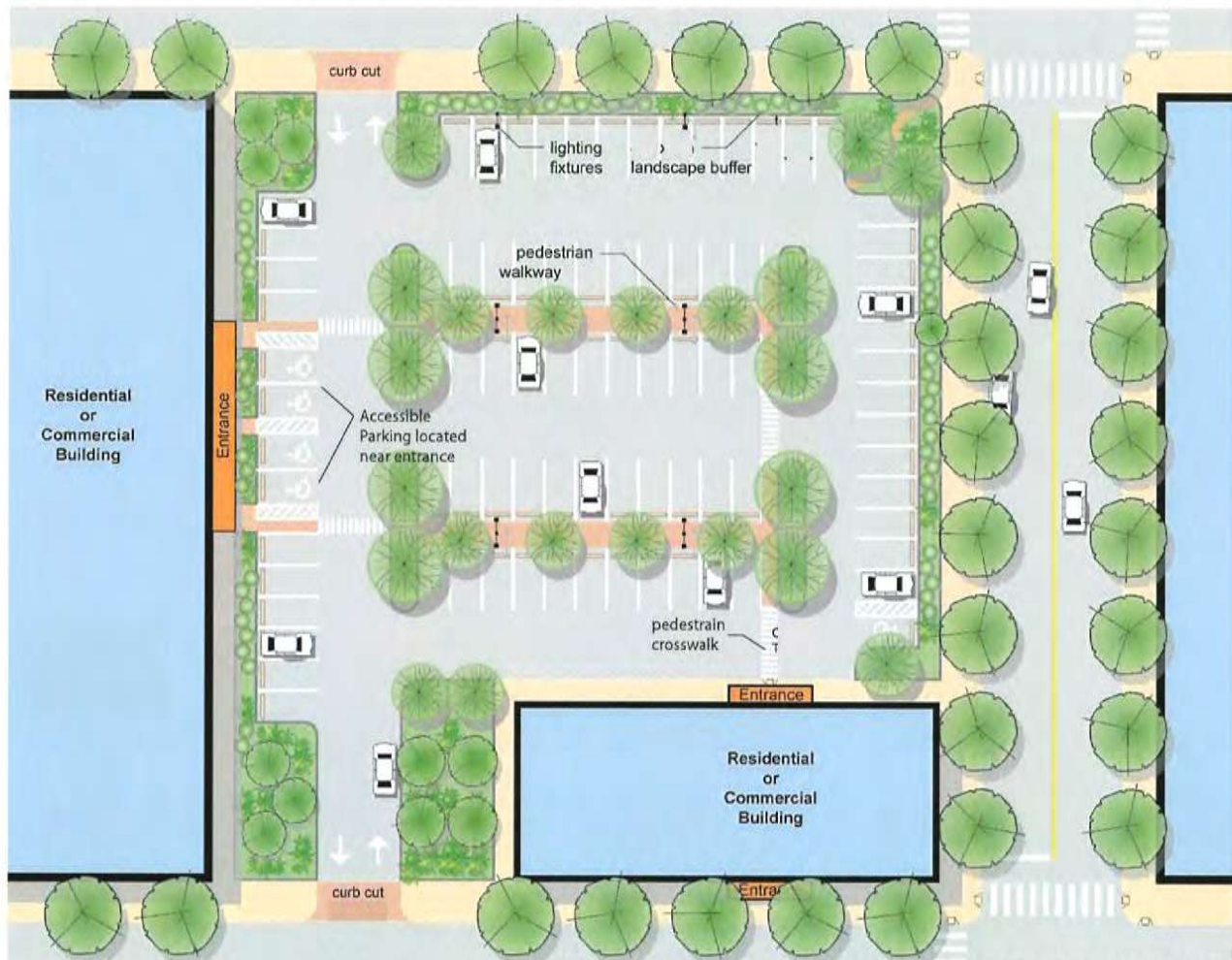
97.A.16.10. Off-street parking areas in residential districts with 10 or more dwellings, and off-street parking lots in residential districts shall be located off of alleys and/or in the rear yard to the maximum extent possible in order to promote a pedestrian-scaled Streetscape environment. (See Figure 1 above for an example of Residential Parking located in the rear.)

Parking Lots: Off-Street (continued)

97.A.16.

Design Standards

Figure 2
Off-Street Parking Lot Layout



Source Image: City of Philadelphia: Design Guidelines for Off-Street Parking February 2010

Legislative Intent:

97.A.16.11. Off-street parking lots are intended to provide safe and orderly access at all times from a street, alley, or other approved accessway.

97.A.16.12. Curb cuts accessing off-street parking areas are intended to be limited in width and number order to ensure streetscape continuity.

Design Standards:

97.A.16.13. Off-street parking lots shall provide continuous vehicular circulation, safe pedestrian movement, and be ADA accessible. (See Figure 2 above for off-street parking lot design example.)

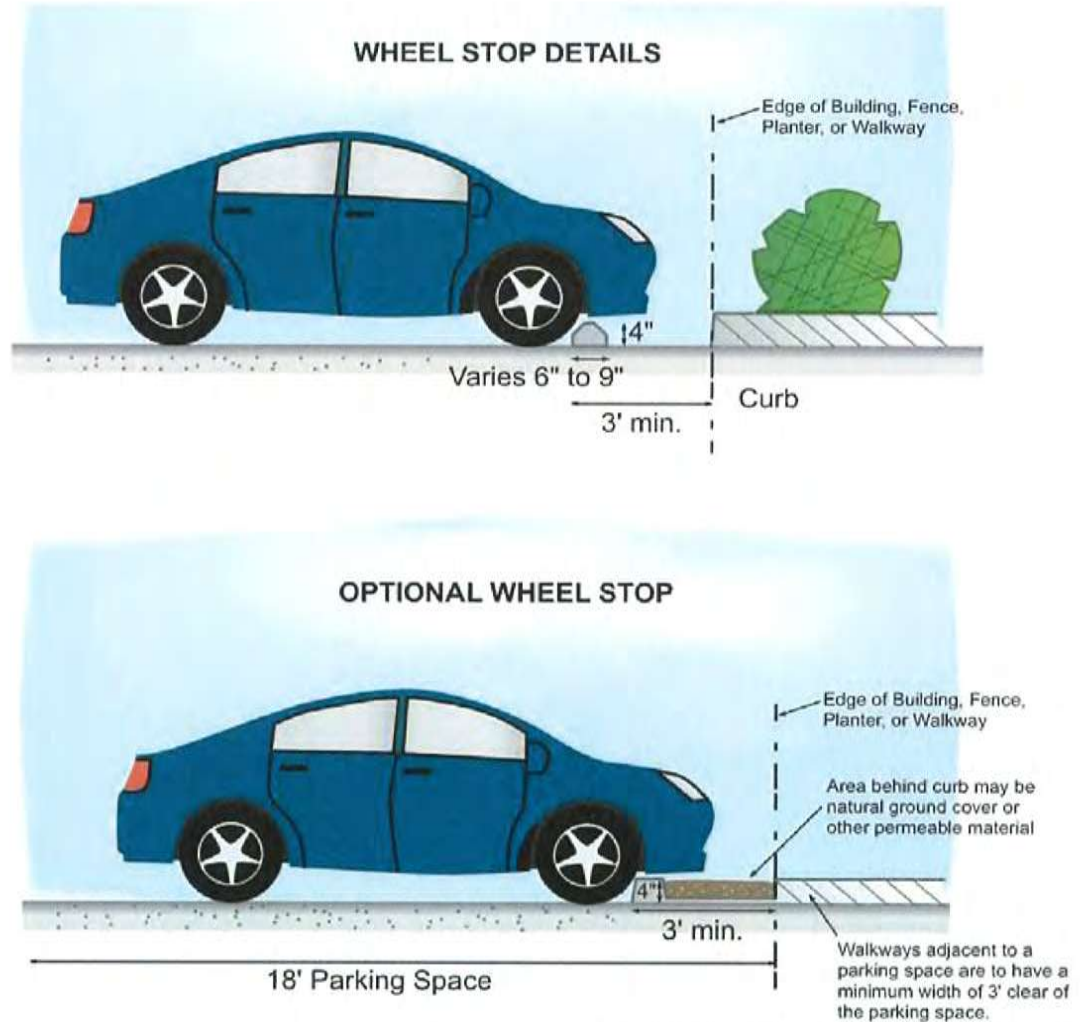
97.A.16.14. Off-street parking lots layouts and dimensions shall be designed in accordance with §97-30.C.

Parking Lots: Off-Street (continued)

97.A.16.

Design Standards

**Figure 3
Example Wheel Stop Dimensions**



Source: County of San Diego Parking Design Manual 2013

Legislative Intent:

97.A.16.15. Wheel stops are intended to prevent vehicle encroachment upon pathways, landscaping/planter beds, fences, walls, buildings, and other structures.

Design Standards:

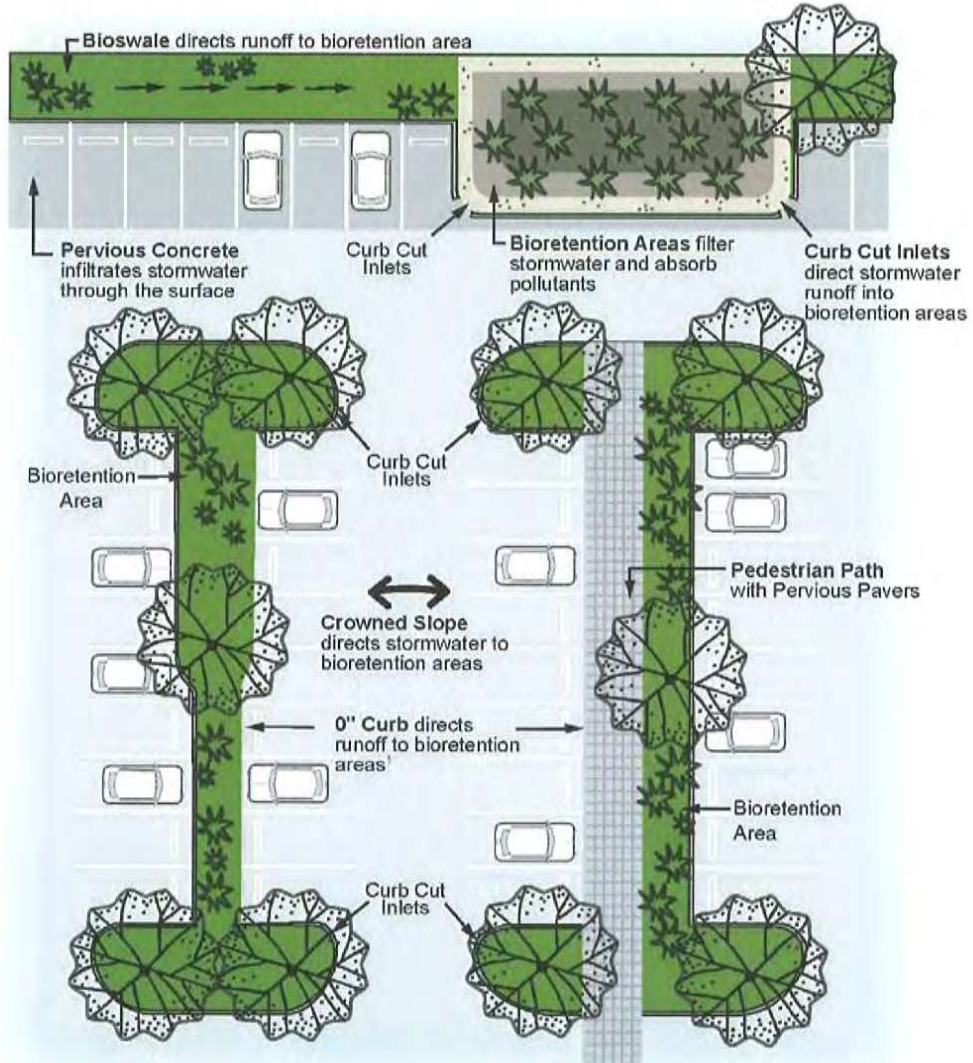
97.A.16.16. Wheel stops shall comply with the provisions set forth in §97-30, and Figure 3 above which illustrates typical wheel stop dimensions.

Parking Lots: Off-Street (continued)

97.A.16.

Design Standards

Figure 4
Low Impact Development Techniques in Off-Street Parking Lots



Notes:

¹ Where 0" Curb is not feasible, such as for retrofit projects, grate inlets may be provided to direct stormwater under pedestrian walkway.

Reference: Central California Coast Low Impact Development Technical Assistance Memo

Source: County of San Diego Parking Design Manual 2013

Legislative Intent:

97.A.16.17. Off-street parking lots are intended to minimize pollutants leaving the site, and to mitigate potential hydromodification impacts to receiving waters.

Design Standards:

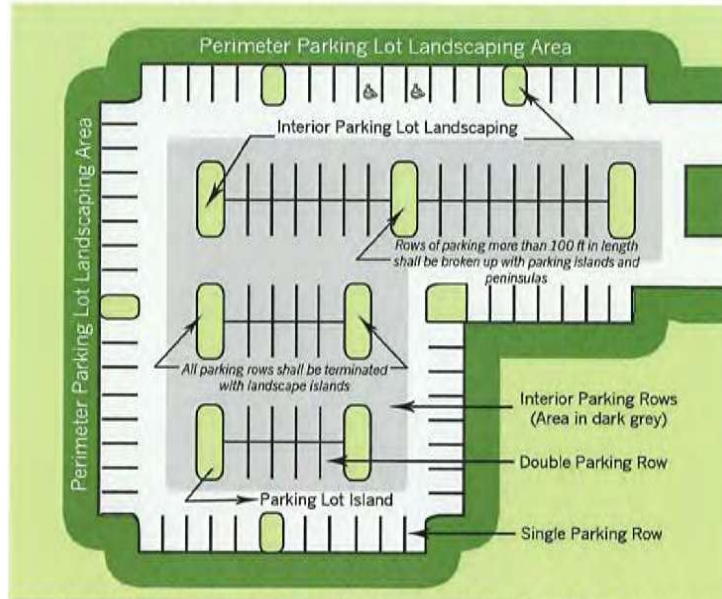
97.A.16.18. Off-street parking lots shall incorporate a Low-impact Development (LID) approach to managing stormwater runoff, through techniques such as bioretention, permeable pavement, vegetated swales, and the like. See Figure 4. above and §97.A.12.a. relative to Green Infrastructure and Sustainable Parking.

Parking Lots: Off-Street (continued)

97.A.16.

Design Standards

Figure 5
Off-Street Parking Lot Landscape Planting Layout Example



Source Image: Unified Development Ordinance: Noblesville, IN; Amended 1-30-18



Off-Street Parking landscaped with Shade Trees, Shrubs, Groundcover, and Seasonal Color.



Off-Street Parking landscaped with the incorporation of LID practices

Legislative Intent:

97.A.16.19. Off-street parking lots landscaping is intended to reduce wind and air turbulence, heat and noise and the glare of automobile lights, to reduce the level of carbon dioxide, to provide shade, to ameliorate stormwater drainage problems, and to provide for an attractive and enhanced setting.

Design Standards:

97.A.16.20. The planting islands shall be reasonably dispersed and grouped throughout the parking area, and in accordance with §97-35.D.(4). (Also see Figure 5. above.)

97.A.16.21. Shrubs, groundcovers, and other plant material shall be used to complement the shade trees.

97.A.16.22. Off-street parking planting islands shall incorporate LID principles to the maximum extent possible. (See §97.A.16.15, §97.A.16.16, and §97.A.12.a. relative to Green Infrastructure and Sustainable Parking.)

Streets: Interconnected Network

97.A.21.

Design Standards



Interconnected Street Network forming Blocks in the center of West Chester

Legislative Intent:

97.A.21.1. Streets are intended to form an interconnected network.

97.A.21.2. Streets are intended to form Blocks.

97.A.21.3. Streets are intended to be linked to Alleys.

Design Standards:

97.A.21.4. Existing Streets shall be maintained and improved.

97.A.21.5. New Streets shall be extensions of existing Streets, and shall be consistent with the Official Map.

97.A.21.6. Streets and Alleys shall be interconnected.

97.A.21.7. Streets shall be sized in accordance with the Street Sections that follow on pages 97.A.21.a. through 97.A.21.o. (to be provided in December).

97.A.21.8. Refer to the following page for Close type Streets.

Streets: Close

97.A.21.a.

Design Standards



Close at Wyndcrest, Sandy Spring, MD, with On-Street



Close at Lake Forest, IL, with On-Street Angled Parking



Close at Louella Court, Wayne, PA, surrounded by buildings on 3 sides



Close at Lake Forest, IL with center Green Space

Legislative Intent:

97.A.21.9. The Close is intended as a feature that provides green space in the center.

97.A.21.10. The Close is intended to serve as an alternative to a conventional cul-de-sac, and to provide the opportunity for a Pedestrian Gathering Area in the center.

97.A.21.11. The Close is intended to be enclosed with buildings on three (3) sides.

Design Standards:

97.A.21.12. The Close shall be designed for one lane of counter-clockwise vehicular travel, with on-street parking on the building sides of the vehicular travel lane.

97.A.21.13. On-Street parking may be angled or parallel with the curb (see §97.A.17).

97.A.21.14. Green space of at least 4,500 square feet shall be created in the center of the Close.

97.A.21.15. The average width (short dimension) of the green space shall not be less than 25% of its average length (longer dimension).

97.A.21.16. The Close shall be wrapped with buildings on three sides, and the buildings shall be a minimum of two (2) stories or twenty (20) feet in height.

97.A.21.17. The Close shall be used in lieu of a cul-de-sac.

Streets: Complete Streets

97.A.21.b.

Design Standards



Landscaping utilized to balance hardscape features



Layered Landscaping in proportion to the Streetscape



Shade Trees accentuating and enhancing the Streetscape

Legislative Intent:

97.A.21.18. The Complete Street examples shown on this page, and the following 3 pages are intended as examples of innovative street design. These examples are intended primarily to inspire a more sustainable approach to Street design in the Borough.

Design Standards:

97.A.21.19. Subject to Approvals from PennDot and the Borough, with recommendations from the Borough Engineer and the Borough Traffic Engineer, Applicants shall create more sustainable street design to accommodate vehicular and pedestrian circulation, while addressing Green Infrastructure.

97.A.21.20. Applicants shall reference Section 97.A.12., Green Infrastructure, for techniques such as Bioswales, Bioretention, Tree Trenches, and increased Landscaping.

97.A.21.21. Complete Streets shall incorporate elements such as: Sidewalks, Bicycle lanes, Bus Lanes, Public Transportation stops, Crosswalks, Median Islands, Accessible Pedestrian Signals, Curb Extensions, modified vehicle travel Lanes, and Streetscape and Landscape enhancements.

Streets: Complete Streets (continued)

97.A.21.b.

Major 2-Way or 2 Lane Through Street, with On-Street Parking on both sides

WEST CHESTNUT STREET (LOOKING WEST FROM NORTH HIGH STREET)



EXISTING CONDITIONS



COMPLETE STREET POTENTIAL

INNOVATIONS:

- 1 STREET TREES
- 2 STREET LIGHTS
- 3 CROSSWALK
- 4 BIORETENTION PLANTER/TREE TRENCH
- 5 BIKE SHARROW

Streets: Complete Streets (continued)

97.A.21.b.

Major 2-Way or 2 Lane Through Street, with On-Street Parking on both sides

WEST MARKET STREET (LOOKING EAST FROM DARLINGTON STREET)



EXISTING CONDITIONS



COMPLETE STREET POTENTIAL

INNOVATIONS:

- 1 STREET TREES
- 2 WIDENED SIDEWALK IN-LIEU OF EXISTING TRAFFIC LANE
- 3 BIORETENTION PLANTER/TREE TRENCH
- 4 RUNNEL DIRECTING STORMWATER
- 5 CURB BULB-OUT WITH BIORETENTION PLANTER

Streets: Complete Streets (continued)

97.A.21.b.

Major 2-Way or 2 Lane Through Street, with On-Street Parking on one side

EAST MARKET STREET (LOOKING EAST, NEAR ADAMS STREET)



EXISTING CONDITIONS



COMPLETE STREET POTENTIAL

INNOVATIONS:

- 1 STREET TREES
- 2 STREET LIGHTS
- 3 WIDEN SIDEWALKS
- 4 MIDBLOCK BIORETENTION CURB EXTENSION
- 5 BIKE LANE
- 6 ON-STREET PARKING WITH PERMEABLE PAVING
- 7 BIORETENTION PLANTER/TREE TRENCH

RATES OF COMPENSATION

Any services performed on a cost reimbursable basis under this Agreement shall be billed according to hourly service rates current at the time the services are performed.

The following represents 2025 hourly service rates (rates shall increase by 5% per annum beyond 2025):

- Partner 225.00/hour
- Director 210.00/hour
- Senior Project Manager 190.00/hour
- Architect / Designer II 180.00/hour
- Architect / Designer I 158.00/hour
- Junior Designer 105.00/hour
- Administrative 95.00/hour
- Historic Restoration Specialist 225.00/hour