



Borough Council Meeting Work Session
August 18, 2025 @ 6:30 PM
This meeting is recorded for public record.

| |
|-------------------|
| Jim Cherry, Chair |
| Quinton Birl |
| Allen Burke |
| Matther Clapp |
| Thomas Dougherty |
| Alex Katz |
| Stephen Mitten |

Borough Council Meeting:

- 1) Call to Order
- 2) Roll Call
- 3) Citizen Comments on Items not on the Agenda
- 4) Old Business
 - a. **Planning Commission open issues**
 - i. Review & discussion of Build-to line in the TC District
 - ii. Rec Space or fee in lieu, (97.A19.19)
 - iii. Preservation ordinance
 - iv. 700 S. High St, West Chester University
 - v. Any other issues
- 5) Other Business
- 6) New Business
 - a. **410 S. High Street** – *presentation by Pete Staz of Core Development regarding potential townhouse development*
 - i. Build-to-line
 - ii. Stacked parking
 - iii. Residential use on first floor
- 7) Reports
- 8) Adjournment

Visit www.west-chester.com for access to all attachments.

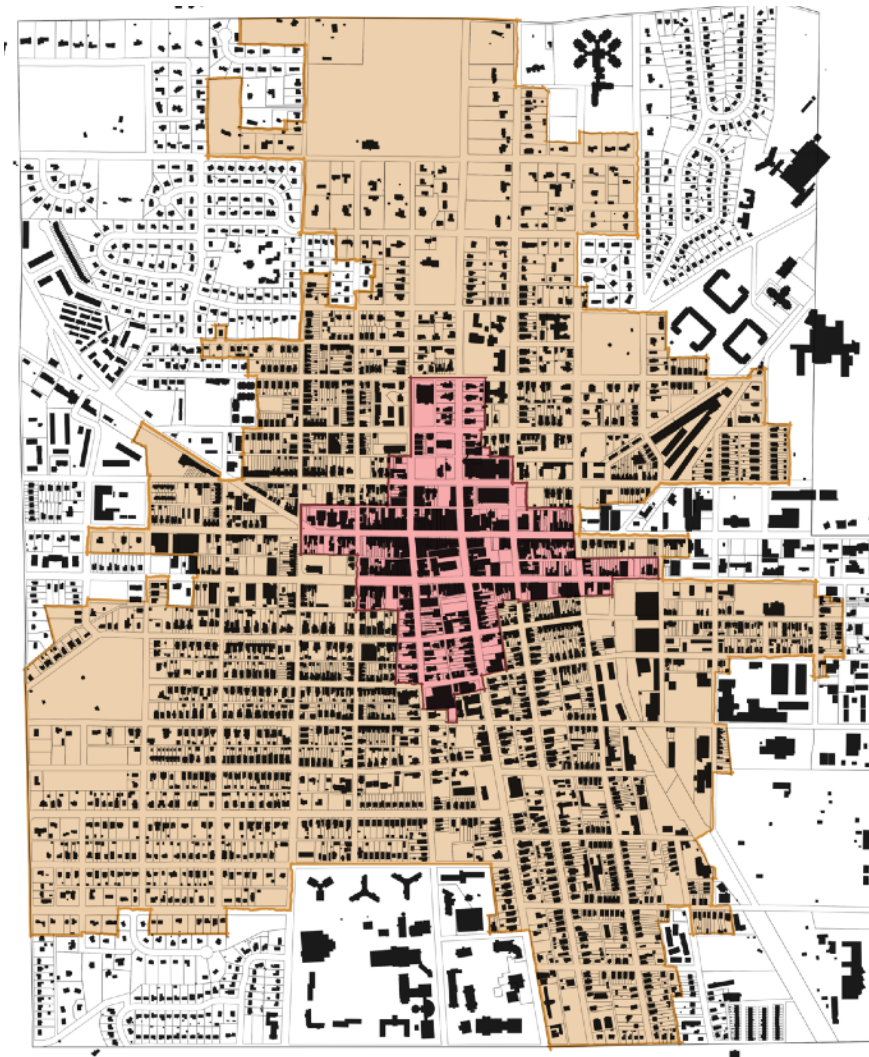
Agendas are posted to www.west-chester.com by noon 3 business days prior to the meeting.

Borough of West Chester (Draft) Preservation Overlay Ordinance

“The underlying premise of this plan is that new development and preservation are complementary elements of a planning strategy ...” Comp Plan 2016

Intent. The purpose of this Preservation Overlay Ordinance is to enable new development that is compatible with the traditional neighborhood character of the Borough. It seeks to re-legalize the construction of fine-grained, traditional buildings that contribute to the historic fabric and scale of the Borough—building forms which have been rendered nonconforming under more recent zoning ordinances.

Overlay District. The Preservation Overlay District shall align with the boundaries established by the 2005 National Register Historic District Boundary Increase.



General Standards.

- a. Lots with a width of 14', 16', 18', or 20' may be created, provided all structures conform to the Preservation Ordinance Design Standards.
 - I. Lots may take principal access from a public alley or newly created Mews right-of-way (ROW), provided all buildings meet the Preservation Design Standards.
 - II. When the principal street address is an existing street, one or more buildings on the lot shall be oriented to front the existing street, and additional building may utilize the alley or new Mews ROW as the primary access to the building.
 - III. Lots may front a new Mews right-of-way or inner-block courtyard within an existing block provided all buildings meet the Preservation Design Standards.
 - IV. Mews ROW shall be a maximum of 30' wide and a minimum of 18' wide and shall meet the following standards;
 - i. A stoop or transitional space of a minimum of 5' shall front all lots. This stoop shall be paved in brick, stone or gravel. It may include planters, tree wells and front steps. It should extend from the Cartway to the front face of the building.
 - ii. On street parking is optional. It must be accommodated as part of the cartway and not allowed to encroach upon the 5' minimum stoop area.

Architectural Design Standards

- a. Single Family Detached, Single Family Semidetached and Single Family Attached Dwelling Units maybe be built on these lots as long as they meet the following Design Standards;
 - (1) Solid load-bearing masonry walls constructed with a minimum of two wythes of brick, consistent with historic construction practices in the Borough.
 - (2) Openings in the exterior wall must use a structural brick arch, wood or stone lintels as used in the historic buildings of the Borough.
 - (3) Roof to pitch front/back so that front facade of building to include eave. Brick corbel or decorative eave at front facade as used in the historic buildings of the Borough.
 - (4) Half round gutters and downspouts
 - (5) If shutters are used, they must be half the width of the window opening (see detail from HARB Guidelines)
 - (6) Window openings on second and third floors should be aligned as customary in the historic buildings of the Borough.

Dimensional Requirements

| Standard | Requirement |
|-----------------------|---|
| Lot Width | 14' min; 20' max |
| Lot Area | No minimum |
| Front Yard (Build-to) | Match adjacent on existing streets; 0' in TC or Mews |
| Side Yard Setback | 0' (still subject to building code fire separation requirements for openings) |
| Rear Yard Setback | 5' |
| Height | Max 3 stories |
| Building Coverage | Max 90% (TC standards and consistent with historic Borough fabric) |
| Impervious Coverage | Max 95% (TC standards and consistent with historic Borough fabric) |

Parking.

- a. 1 new off-street parking space shall be provided for each new dwelling unit.
- b. Where a private ROW (traditional Mews) is created, any on-street parking spaces provided can count toward the parking spaces required by the dwelling units.

*“The purpose of a community’s Comprehensive Plan is to look to the future and design a roadmap in the form of policies, recommendations and strategies for future development, redevelopment and conservation...**While the plan itself is not a regulation, it should be used to inform future laws such as zoning, subdivision and land development regulations, and it should guide decisions regarding future development and redevelopment, capital improvements and related public expenditures.**” Comp Plan 2016*

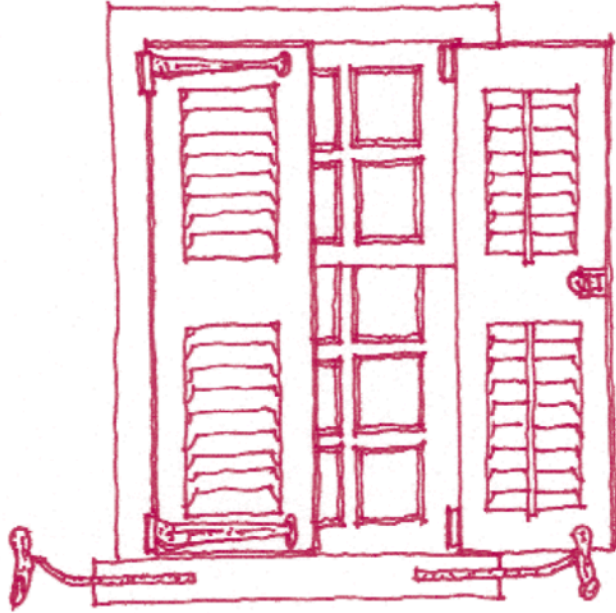


Figure 51. Wood blinds were traditionally used on the upper stories of buildings, where security was less of a concern. Historic shutters and blinds should be preserved. Traditional shutter hardware includes pintle hinges, a horizontal bolt, and hold-backs called shutter dogs.

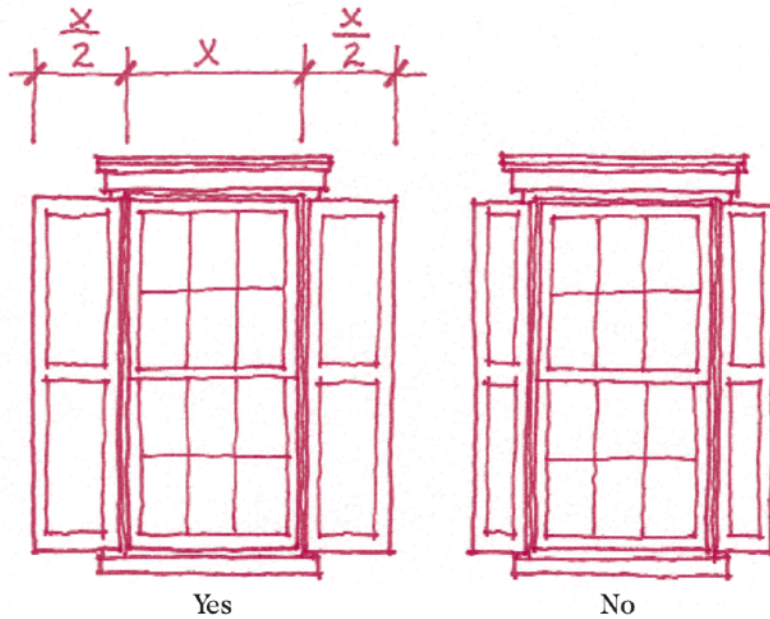


Figure 52. Replacement shutters and blinds should be painted wood, properly sized to the sash opening, and appear operable.



Illustration showing how openings on second and third floors should be aligned as customary in the historic buildings of the Borough.



Illustration showing a possible development under the Preservation Ordinance.

Recreational Facilities

97.A.19.

Design Standards



ADA Accessible Trail provided as Recreational Facility



Playground/Tot Lot provided as Active Recreational Facility



Basketball Court provided as Recreational Facility

Legislative Intent:

97.A.19.1. Recreational facilities are intended to be built and maintained in accordance with national and state Design Standards of: NRPA - National Recreation and Park Association; CPSC - Consumer Products Safety Commission; ADA-America with Disabilities Act; PA DCNR - PA Department of Conservation and Natural Resources; and Chester County.

97.A.19.2. Recreational facilities are intended for a development that involve TND- Traditional Neighborhood Development, Residential Cluster Development, and Mixed-Use Development.

Design Standards:

97.A.19.3. Recreational facilities shall be built and maintained in accordance with the Design Guidelines of NRPA, CPSC, ADA, PA DCNR, Chester County, and this Appendix A.

97.A.19.4. Recreational Facilities shall be built and maintained for persons of all ages and abilities.

97.A.19.5. Recreational facilities shall be planned and designed with groundcovers, landscaping, and **durable** surfaces.

97.A.19.6. Whenever recreational facilities are required, but are not proposed to be provided by a Developer, the Borough may accept a Fee-in-Lieu of dedication, in accordance with Chapter 97 Standards and requirements.

Recreational Facilities (continued)

97.A.19.

Design Standards



Courtyard Plaza as Public Space



Passive Recreational Public Space



Rooftop Courtyard Public Space

Source: Chestnut Square Bozzuto

Design Standards (continued):

97.A.19.17. In the TC District, whenever Recreational Facilities are unable to fit into a project, a Public Space solution shall be implemented in the form of a plaza or like-type feature.

97.A.19.18. In Districts outside of the TC District, well-designed passive recreation spaces shall be installed and maintained.

97.A.19.19. Whenever Recreational Facilities do not fit on the ground level of a property, a Rooftop Courtyard Solution shall be implemented as a Public Space.

Borough of West Chester
Summary Table of Area and Bulk Regulations¹

| Zoning District | Minimum ² | | | | | | | | | | | | | | Maximum ² | | | | |
|-----------------------------------|--------------------------------------|------------------------|--------------|------------|---------------------------------------|--|---|------------|----------------------|-----------------|------|---------------------------------------|----------------|---------------------------------------|----------------------|----------------------|-----------------------------|-----------------------|---------------------------|
| | Lot | | | | | | | | Yard | | | | | | Coverage | | Height | | |
| | Area per Dwelling Unit (square feet) | | | | Width at Building Line | | | | | | Side | | Aggregate Side | | | | | | |
| | Area (square feet) | Single-Family Detached | Multi-family | All Others | Single-Family and Two-Family Detached | Single-Family and Two-Family Semi-detached | Multi-family and Single-Family Attached | All Others | Width at Street Line | Front | Rear | Single-Family and Two-Family Detached | All Others | Single-Family and Two-Family Detached | All Others | Green Area (percent) | Imperious Surface (percent) | Building(s) (percent) | Building(s)/ Structure(s) |
| NC-1 Neighborhood Conservation | | | | | | | | | | | | | | | | | | | |
| Block Class A | 20,000 | | | | | | 110 | 50 | 40 | 35 | | 20 | | 45 | 55 | 30 | 15 | 35 | |
| Block Class B | 12,000 | | | | | | 80 | 50 | 35 | 30 | | 15 | | 35 | 50 | 35 | 20 | 35 | |
| Block Class C | 6,500 | | | | | | 65 | 50 | 30 | 25 | | 10 | | 25 | 35 | 50 | 30 | 35 | |
| NC-2 Neighborhood Conservation | | | | | | | | | | | | | | | | | | | |
| Block Class A | | 7,000 | | 4,000 | 60 | 30 | 25 | 20 | 25 | 25 | 10 | 15 | 25 | 35 | 35 | 50 | 30 | 35 | |
| Block Class B | | 5,000 | | 3,000 | 50 | 25 | 25 | 20 | 20 | 25 | 10 | 15 | 20 | 30 | 25 | 60 | 35 | 35 | |
| Block Class C | | 4,000 | | 2,000 | 40 | 20 | 20 | 20 | 15 | 20 | 5 | 10 | 15 | 25 | 15 | 70 | 45 | 35 | |
| NC-3 Neighborhood Conservation | | | | | | | | | | | | | | | | | | | |
| Block Class A | 35,000 (tract) | | 2,000 | | | | 200 | 150 | 30 | 30 | | 30 | | 60 | 25 | 70 | 50 | 35/55 | |
| TC Town Center | | | | | | | | | | | | | | | | | | | |
| Block Class A | 5,400 | | | | | | 25 | 20 | 0 | 20 | | 5 | | 10 | 10 | 90 | 85 | 45 | |
| Block Class B | 2,500 | | | | | | 20 | 20 | 0 | 5 | | 0 | | 0 | 5 | 95 | 90 | 45/80 | |
| CS Commercial Service | 7,500 (per use) | | | | | | 100 | 75 | 35 | 35/45 | | 20 | | 40 | 15 | 85 | 50 | 35 | |
| ID Industrial | 40,000 | | | | | | 125 | 100 | 30 ³ | 30 ³ | | 30 ³ | | 100 | 10 | 85 | 50 | 40 | |
| IS Institutional | 100,000 | | | | | | 200 | 150 | 75 | 75 | | 50 | | | 25 | 75 | 40 | 40/60 | |

NOTES:

¹ See text for complete details, especially pertaining to area and bulk regulations for uses by special exception and for conditional uses.

² All numerical values are recorded in feet unless otherwise noted.

³ [Amended 2-8-1989 by Ord. No. 5-1989]

West Chester University

Campus Master Plan Update West Chester Borough

July 29, 2025



GUIDE NEAR AND LONG-TERM
DEVELOPMENT

INTEGRATED APPROACH TO GROWTH

ESTABLISH CRITERIA FOR
EVALUATING POTENTIAL
PROJECTS

IDENTIFICATION OF POTENTIAL CAPITAL COSTS

PROVIDE A FRAMEWORK FOR
IMPLEMENTATION OF PROJECTS &
GOALS

PRIORITIZED NEEDS

CMP OVERVIEW

REQUIREMENTS

| BOROUGH OF WEST CHESTER / WEST GOSHEN TOWNSHIP** | |
|--|--|
| 1 | A University Enrollment Report & Projection Analysis |
| 2 | A University Housing Report & Analysis |
| 3 | A University Main Campus Transportation Study |
| 4 | A University Main Campus Parking Study |
| 5 | A Comprehensive Stormwater Management Strategy |
| 6 | A Master Site Plan |
| 7 | The University shall be responsible for all improvements required by the Township Subdivision and Land Development Ordinance and other applicable ordinances and regulations for each phase of the University Campus Plan.** |

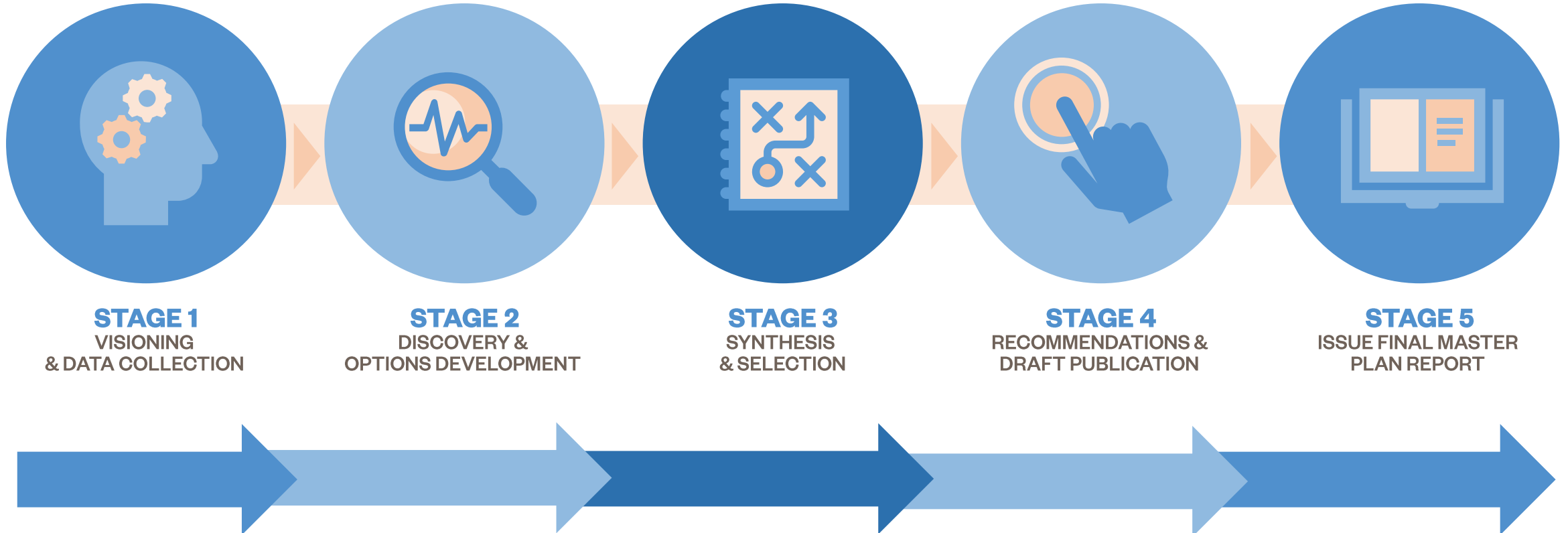
5-Year plan for Borough of West Chester & West Goshen Township

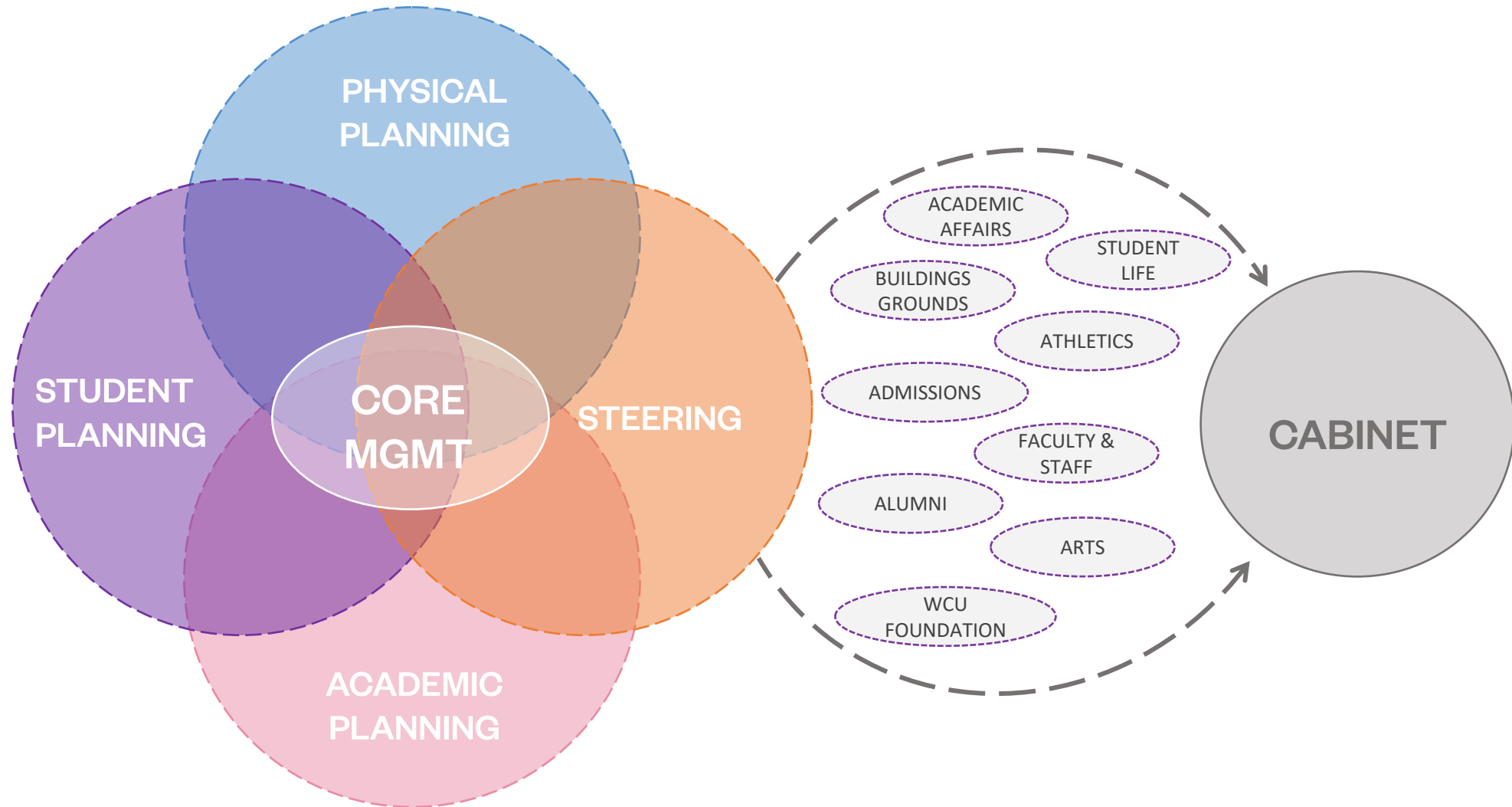
| PASSHE |
|---------------------------------|
| Physical Analysis of the Campus |
| Solution Development |
| Space Allocations |
| Site |
| Buildings |
| Infrastructure |

0-5 Short Term 5-10 Mid Term 10-20 Long Term

CMP OVERVIEW

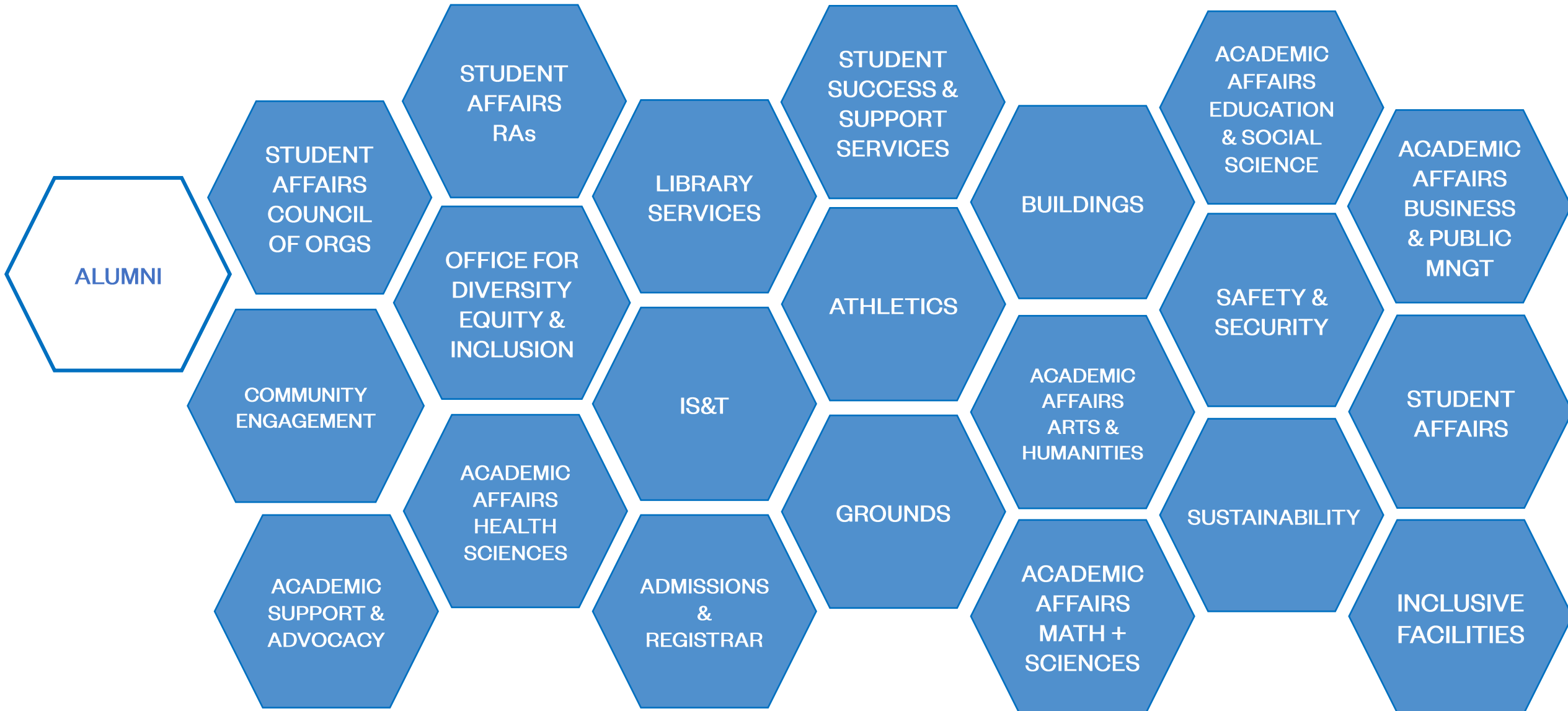
PROCESS





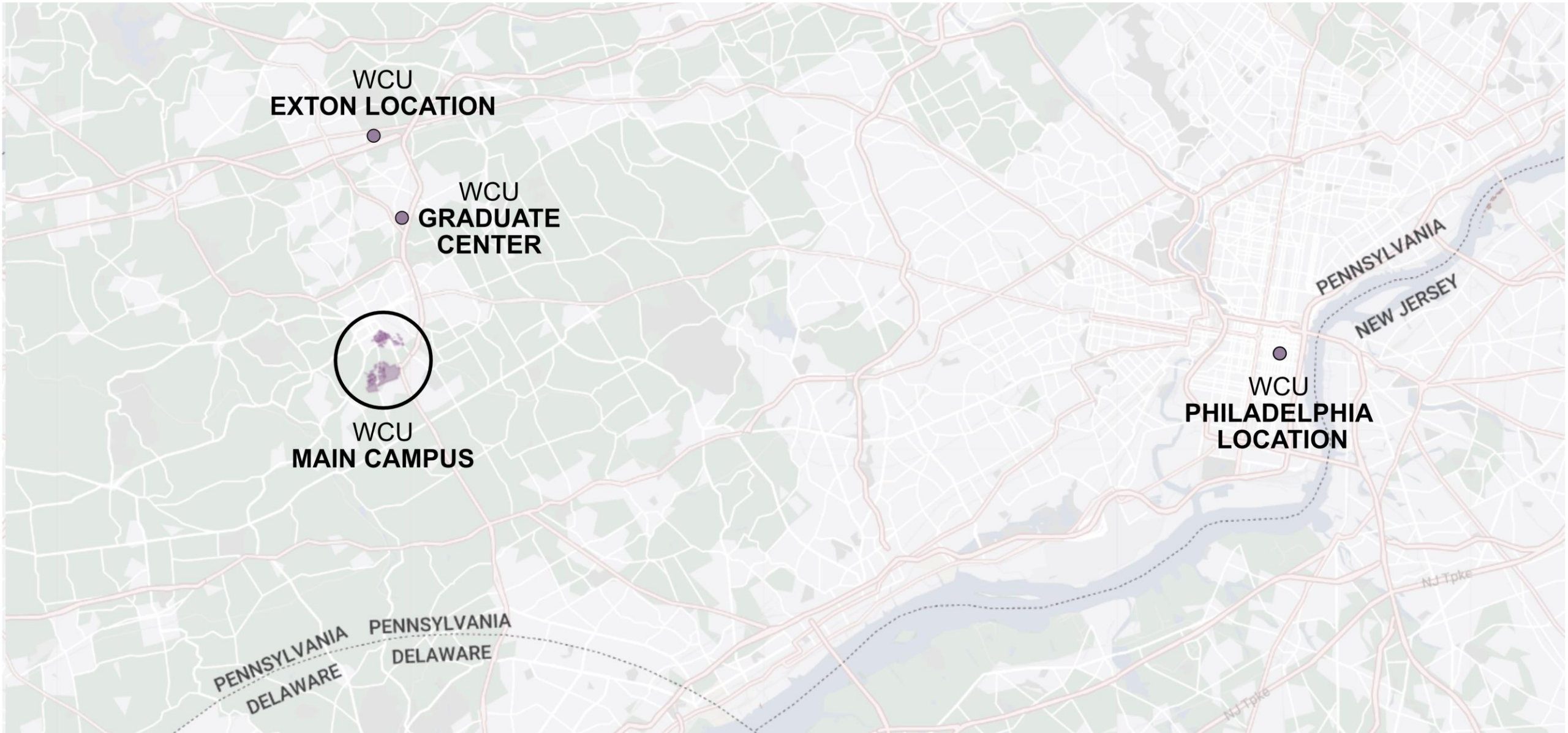
CMP OVERVIEW

STAKEHOLDER GROUPS





CMP CONTEXT



CMP CONTEXT

- CMP team evaluated information from variety of previously developed studies and reports
- Update & Consolidate Prior Planning Efforts
- Validate & Prioritize Capital Project Opportunities previously identified

BACKGROUND CONSIDERATIONS



A blue-tinted photograph of a university campus. In the foreground, there is a large, leafy tree on the left and a path leading towards a large, multi-story building in the background. The building has many windows and a central entrance. The overall scene is peaceful and academic.

ISSUES FOR CONSIDERATION

DEFERRED MAINTENANCE

BUILDING ASSESSMENT

| BUILDING CONDITION ASSESSMENT FORM | | | | | |
|-------------------------------------|---|------------------|---|---|---|
| Building Name | | Killinger Hall | | | |
| Year Constructed | | 1959 | | | |
| Gross Square Footage | | 69,382 | | | |
| Construction Type | | I-B | | | |
| Stories above grade | | 3 | | | |
| BUILDING COMPONENT | TYPE | CONDITION RATING | | | COMMENTS |
| 1.0 Exterior Conditions | | | | | |
| 1.1 Foundation/Structure | Concrete | X | | | |
| 1.2 Walls | Masonry | X | | | |
| 1.3 Roof | Built-up low slope | | | | |
| 1.4 Windows | Aluminum | X | | | |
| 1.5 Doors | Fiberglass / HM | X | | | |
| 1.6 Other | | | | | |
| 2.0 Interior Conditions | | | | | |
| 2.1 Partitions | CMU | | | | |
| 2.2 Ceiling | ACT | | | | |
| 2.3 Flooring | VCT / CPT | X | X | | |
| 2.4 Interior Doors | WD / HM | X | | | |
| 3.0 Accessibility | | | | | |
| 3.1 Building suitable | | X | | | Elevator connecting all levels |
| 3.2 Accessible route | | X | | | Ramps provided |
| 4.0 Mechanical | | | | | |
| 4.1 Cooling Source | Window AC units serve dorm rooms. IT closets are served by a mix of older and newer split systems. | | | X | Older split systems serving IT closets have exceeded expected service life and spaces are noticeably warm. |
| 4.2 Heating Source | (2) Aerco Benchmark 1500 gas fired hot water boilers. | X | | | |
| 4.3 Air Distribution Equipment | Roof mounted exhaust fans and ventilators serve building general areas. Wall mounted propeller exhaust fans serve mechanical and laundry rooms. | | X | | |
| 4.4 Hydronic Distribution - CHW | (2) 3 HP base mounted end suction pumps. | | | | Pumps have exceeded expected service life. Corrosion is visible on pump housing, flanges, and header. Pumps are mounted directly on concrete pad without any vibration isolation. Flexible connectors show signs of wear and misalignment. Piping insulation is missing or damaged in multiple locations. Isolation valves are noted to be sticking and not sealing properly. |
| 4.5 Hydronic Distribution - HW | | | | | Maintenance staff noted to be having trouble maintaining pneumatic equipment. |
| 4.6 Controls | Mix of electronic and pneumatic controls. | | | X | |
| 4.7 Other | | | | X | |
| 5.0 Plumbing Systems | | | | | |
| 5.1 Hot water generation | Gas-fired water heater with separate storage tank. | | X | | Both manufactured in 1993. None installed. |
| 5.2 Domestic Water Booster Pump(s) | | | X | | |
| 5.3 Domestic Water Recirc Pump(s) | | | X | | |
| 5.4 Sump Pump(s) | | | X | | |
| 5.5 Sewage Ejector(s) | | | X | | |
| 5.6 Domestic Water Distribution | | | X | | |
| 5.7 Sanitary System | | | X | | |
| 5.8 Storm System (Primary) | Roof drains | | X | | |
| 5.9 Storm System (Secondary) | Scuppers | | X | | |
| 5.1 Gas Distribution | | X | | | To gas set, boilers, and water heater. |
| 5.11 Hot Water - Grad Apt | Electric water heater | X | | | Manufactured in 2020. |
| 5.12 Drinking Fountains | Double bowl with bottle fillers | | | X | DFs in wings removed, repacked with DFs in core. Sections of pipe is missing insulation. |
| 5.13 Piping Insulation | | | | X | |
| 6.0 Electrical | | | | | |
| 6.1 Service Equipment | 15kV Primary Switch Xtrm Section - 500kVA 13.2kV/208/120V 1000A Std. I-Line & (2) 400A enclosed Siemens breakers | X | X | | No arc flash labels Federal Pacific panels should be replaced. Dorm circuits lack arc-fault protection or tamper resistant devices. |
| 6.2 Normal Distribution System | Siemens/GE/PPE panelboards | X | X | | Replace gen set/ATS with larger unit and remove Wayne bldg EM feed. Separate life safety and other systems. |
| 6.3 Emergency Distribution System | 30kV Kohler Nat. Gas gen set | | X | | Replace fixtures with LED type fixtures. Upgrade lighting controls to meet current energy code requirements. |
| 6.4 Exterior Lighting | | | X | | Replace fixtures with LED type fixtures. Upgrade lighting controls to meet current energy code requirements. |
| 6.5 Interior Lighting | Fluorescent & incandescent lighting | | X | | |
| 6.6 Emergency Lighting | Fixtures on generator | X | X | | |
| 6.7 Lighting Protection System | | | | | |
| 7.0 Fire Alarm | | | | | |
| 7.1 Devices | Siemens | X | | | |
| 7.2 Equipment | Siemens | X | | | |
| 8.0 Fire Protection Systems | | | | | |
| 8.1 Wet Pipe System | 4-inch service. | X | | | |
| 8.2 Dry Pipe System | In stairs | X | | | |
| 8.3 Stand Pipes | None installed | | | | Only three stories, not required |
| 8.4 Fire Pump | | | | | |
| 8.5 Other | | | | | |
| 8.6 Other | | | | | |
| 9.0 Security | | | | | |
| 9.1 Access control | card reader, door hardware, mechanical keypads | X | | | |
| 9.2 Security Cameras | CCTV security system | X | | | |
| 9.3 Intrusion Detection | N/A | | | | Ceiling speakers appear to be older style and it was unclear if they are still in use and could not verify functionality or intelligibility. |
| 9.4 Mass Notification System | Paging speakers located in ceiling of lounges | | | X | |
| 9.5 Blue light systems | Emergency call boxes | X | | | |
| 10.0 Telecommunications | | | | | |
| 10.1 Incoming service | CATV Service | X | | | |
| 10.2 Campus backbone infrastructure | Cabling infrastructure, WAPs | X | | | SM/MM Fiber. Se/6/6A Copper (Other Older Cat 3) Labeling appears on some, but not all cables consistently |
| 10.3 Data Center | Cable Labeling | | X | | |
| 10.4 MDF | N/A | | | X | Room environmental conditions and HVAC are insufficient. Space is cluttered with storage of furniture and other items not specific to the space. |
| 10.5 IDF's | Cable management | | | X | Limited overhead cable management in the space. IDF Room cooling is inconsistent. |
| 11.0 Audio Visual (AV) | | | | | |
| 11.1 Conference rooms | N/A | | | | |
| 11.2 Class Rooms | N/A | | | | |
| 11.3 Auditorium | N/A | | | | |
| 11.4 Media centers | Group media area in common lounge | | | X | Some lounges have been converted to student dorm units and restrict direct access to IDF Rooms on upper floors. |
| 11.5 Outdoor forums | N/A | | | | |
| 12.0 Other Technology | | | | | |
| 12.1 Other Technology | N/A | | | | |
| 12.2 Other Technology | N/A | | | | |

SYSTEMS

- Exterior
- Interior
- Accessibility
- HVAC
- Plumbing
- Electrical
- Fire Alarm
- Fire Protection
- Security
- Telecom
- Audio-visual

103 - KILLINGER HALL



BUILDING CONDITION ASSESSMENT

Year Constructed: 1959
Gross Square Footage: 69,382
Construction Type: I-B
Stories above grade: 3
Fully Sprinklered: Y

1.0 Exterior Building Condition

Killinger Hall is a three-story building with brick veneer and stone accents at the main entrance and stair towers. There are also cast stone elements at the stair towers and cornice. There is a one-story element on the north side of the building with brick and stone veneer. The masonry is overall in good condition but shows signs of staining at window sills and the base of the building. Mild staining on the cast stone elements was also observed.

The south façade has area wells on either side of the main entrance that provide light to the basement level windows. The wells were clean of debris and appear to be well maintained.

The building has a light colored, built-up, low slope roof. Condition to be determined.

Fenestration: Operable aluminum framed windows with insulated glazing. The openings incorporate a fixed panel with an air-conditioning window unit. Exterior doors are fiberglass with glass vision panels. Both elements appeared to be in good condition.

2.0 Interior conditions

Interior finishes: Interior partitions are primarily painted concrete masonry units, with ceramic wall and floor tile in the restrooms.

Ceilings finishes are primarily suspended acoustical ceilings tile are utilized throughout the building in the corridor and public spaces. The ceiling finish in the sleeping rooms is an applied texture.

Flooring on the entry lobby is vinyl plank in the lobby and carpet tile in the corridors. Upper levels have vinyl composition tile at the elevator lobbies and carpet in the corridors and sleeping rooms. The vinyl flooring appeared to be in good condition. The carpet exhibits signs of wear and need of cleaning.

Interior doors are wood throughout with metal doors on stair towers; all have painted hollow metal frames.

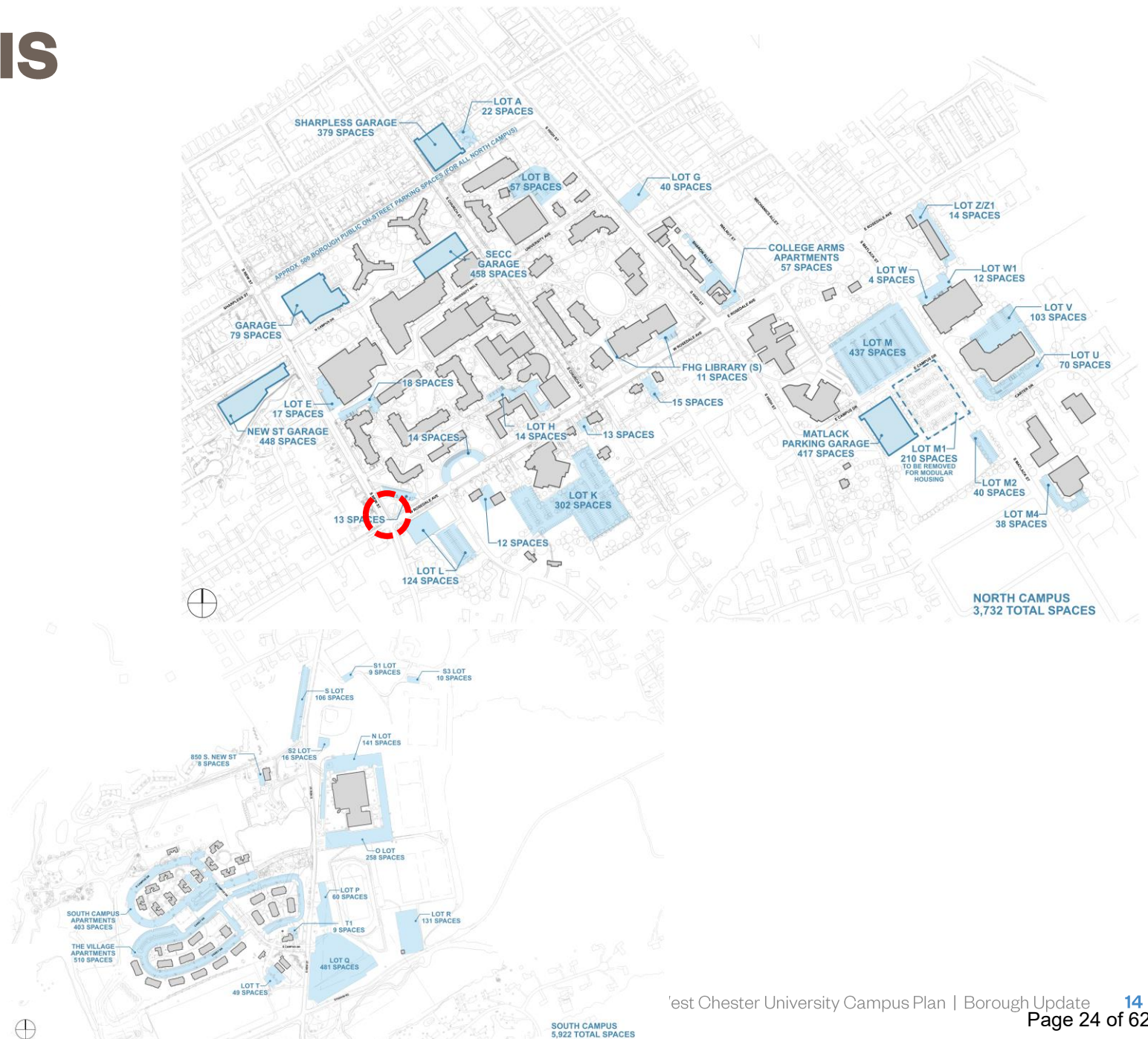
3.0 Accessibility

The building is equipped with an elevator that connects all levels and has an accessible ramp at the southern entrance. All other entrances are not accessible.

TRAFFIC ANALYSIS

Study Findings Traffic

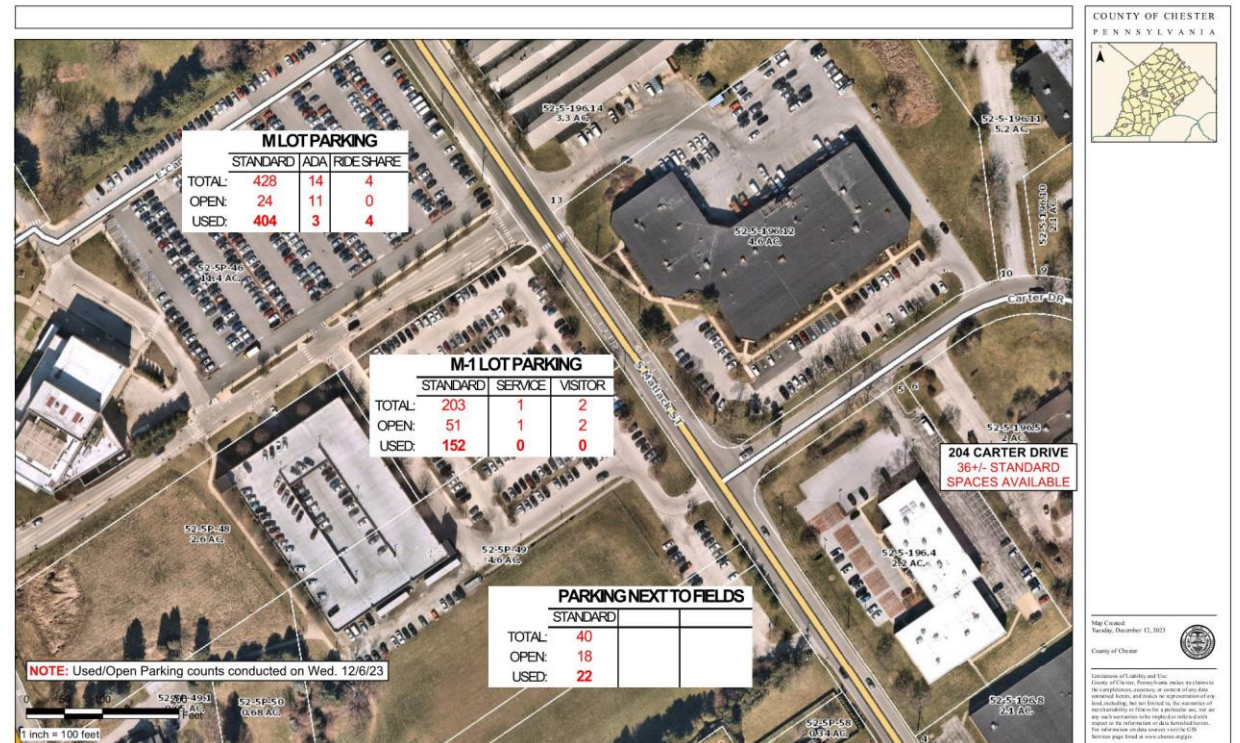
- All intersections will operate in an acceptable category of LOS C or better
- All movements will operate at an acceptable LOS D or better



PARKING ANALYSIS

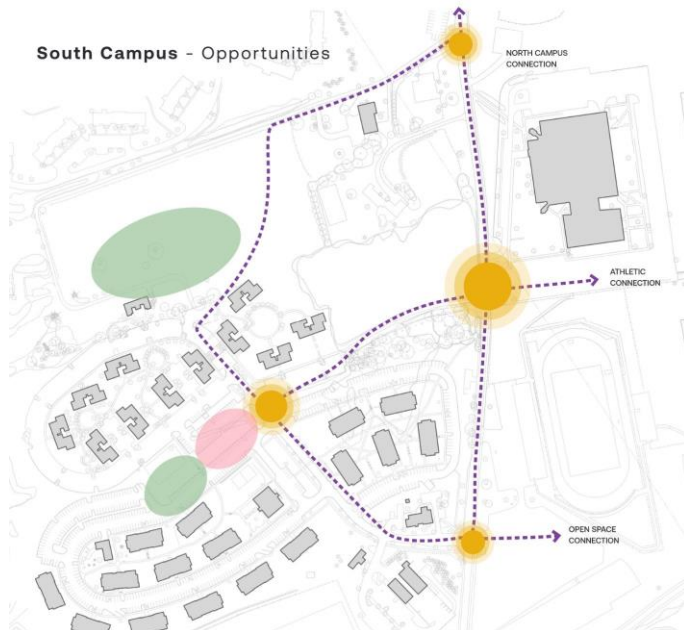
Study Findings Overview

- Mid-day occupancy higher than late afternoon
 - ~80% North Campus ~50% South Campus
- Occupancy of specific lots vary significantly with some being at capacity and others being less than 50% occupied.



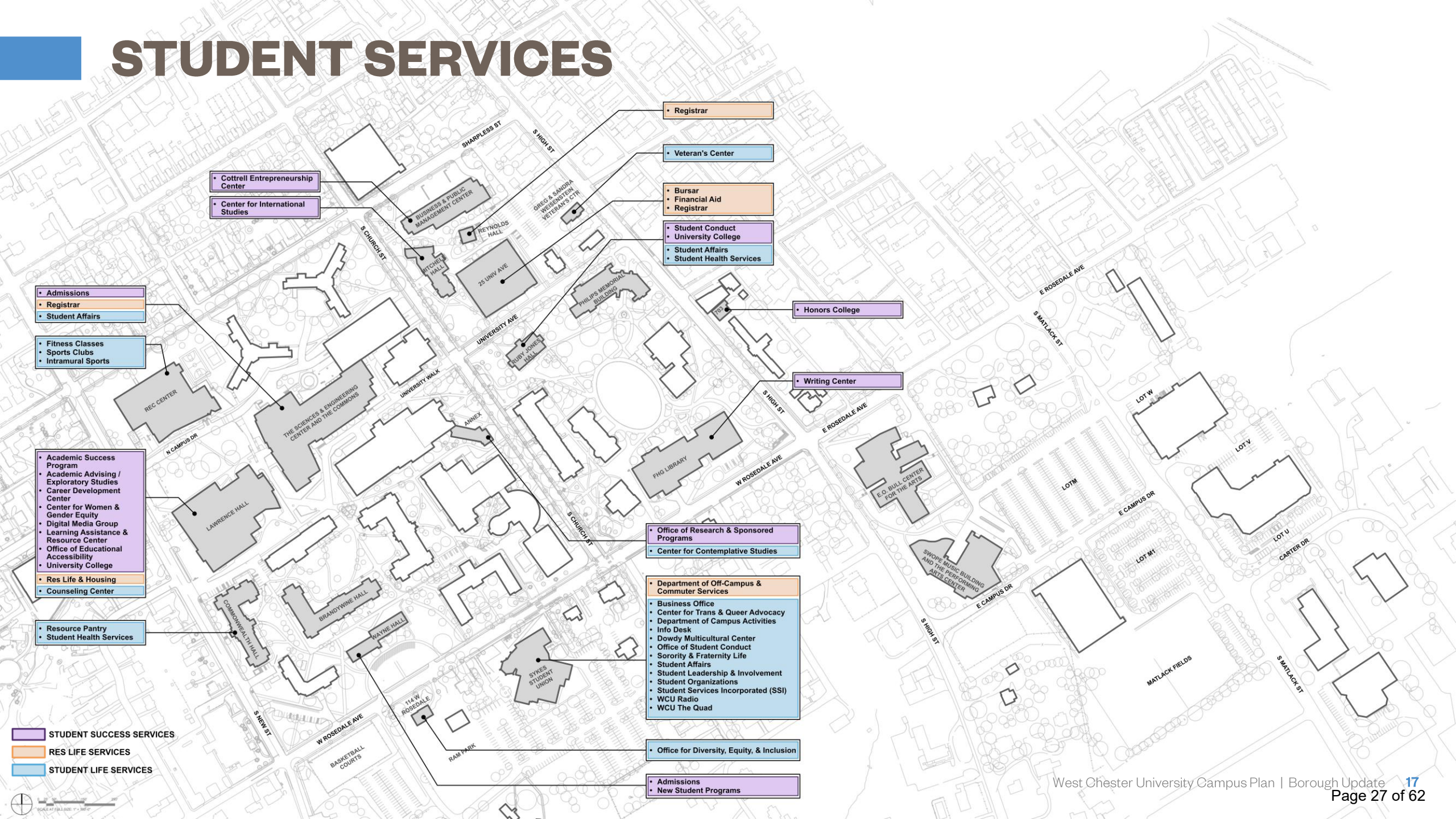
SITE & LANDSCAPE

- Gateways
- Academic Spaces
- Social Centers
- Transitional Corridors



- LEGEND**
- GATEWAYS
 - CORRIDORS / PATHS
 - OPEN SPACE
- Lawrence Open Space & Bus Pavilion
 - Tyson/Goshen Landscape
 - Church Street Corridor
 - University Ave Corridor
 - University Gateway
 - Ceremonial Gateway
 - Regional/Civic Gateway
 - Student Success Center
 - President's Walk Extension - Arts
 - Meadows at Poetry Center

STUDENT SERVICES



- Cottrell Entrepreneurship Center
- Center for International Studies

- Admissions
- Registrar
- Student Affairs

- Fitness Classes
- Sports Clubs
- Intramural Sports

- Academic Success Program
- Academic Advising / Exploratory Studies
- Career Development Center
- Center for Women & Gender Equity
- Digital Media Group
- Learning Assistance & Resource Center
- Office of Educational Accessibility
- University College
- Res Life & Housing
- Counseling Center

- Resource Pantry
- Student Health Services

- Registrar

- Veteran's Center

- Bursar
- Financial Aid
- Registrar

- Student Conduct
- University College
- Student Affairs
- Student Health Services

- Honors College

- Writing Center

- Office of Research & Sponsored Programs
- Center for Contemplative Studies

- Department of Off-Campus & Commuter Services
- Business Office
- Center for Trans & Queer Advocacy
- Department of Campus Activities
- Info Desk
- Dowdy Multicultural Center
- Office of Student Conduct
- Sorority & Fraternity Life
- Student Affairs
- Student Leadership & Involvement
- Student Organizations
- Student Services Incorporated (SSI)
- WCU Radio
- WCU The Quad

- Office for Diversity, Equity, & Inclusion

- Admissions
- New Student Programs

STUDENT SUCCESS SERVICES

RES LIFE SERVICES

STUDENT LIFE SERVICES



ACADEMIC UTILIZATION

Study Findings

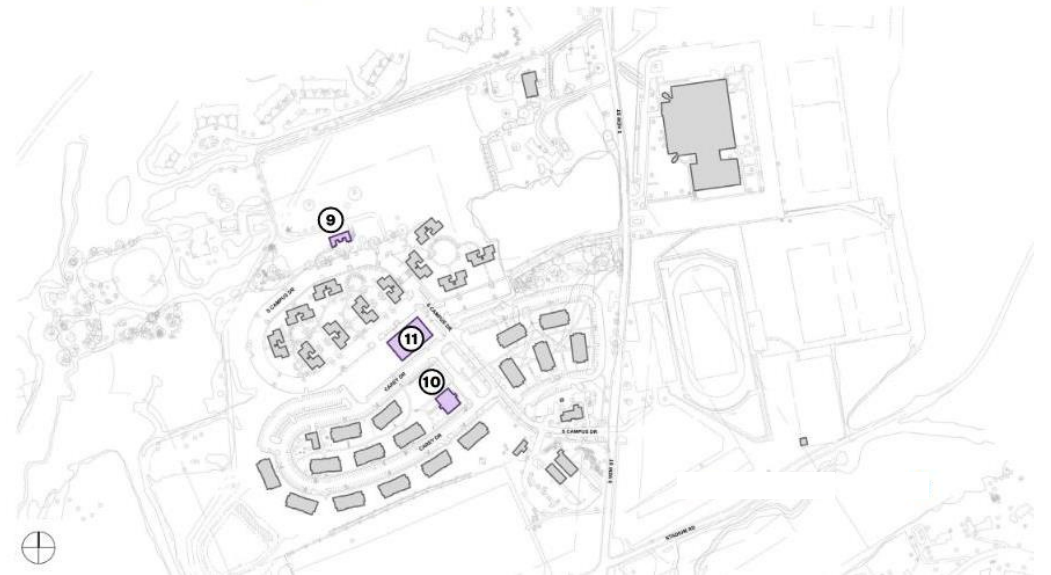
- Current classroom supply is generally sufficient
- Opportunity to optimize by creating more classrooms to accommodate 20-39 students
- Increase in ASF/student will provide opportunity for more active learning modality rooms
- Potential to increase utilization in labs with 6 or fewer hours within same discipline may offer opportunity for consolidation and space repurposing
- Recommend further investigation of research space needs
- Existing office space is sufficient. May be opportunity for consolidation and repurposing



DINING ASSESSMENT

Study Findings + Recommendations

- Expand Commons Dining Hours and Offerings
- Update Meal Plans
- Just Walk Out (Amazon concept)
- Consider café concept at future Lawrence (Panera example)
- Expand +23,000 sf at Sykes with additional beds on campus
- New 15,000 sf Dining concept at South Campus



STUDENT HOUSING

CAMPUS SITE CONSIDERATIONS



Tyson & Goshen

Lawrence

Killinger

Wayne

Schmidt

College Arms

M1 (temp)

Glen Echo

South Campus
Apartments



STUDENT HOUSING

STUDY OUTCOMES



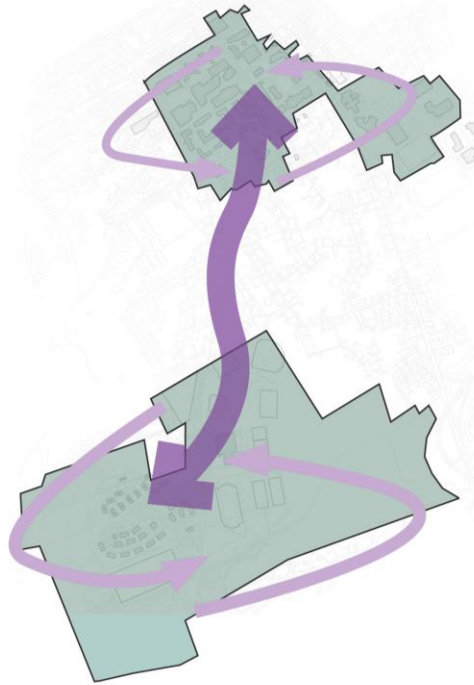
- Recommended opportunities for swing space locations
- Established program benchmark criteria
- Identified buildings for major renovation and/or addition
- Identified sites and strategies for new construction
- Provided implementation scenarios

A blue-tinted photograph of a university campus. In the foreground, there is a large, leafy tree on the left and another large tree on the right. In the middle ground, two people are sitting on a bench. In the background, there is a large, multi-story building with many windows. The overall scene is a peaceful campus setting.

OPPORTUNITIES

CAMPUS PLAN OBJECTIVES

REFRAME CAMPUS **CONNECTIVITY**



Cohesive pathways and linkages that support social and physical connectivity

ENHANCE LIVING AND LEARNING **EXPERIENCE**



Places that support health, wellness and sustainability

STRENGTHEN CAMPUS **IDENTITY**



A welcoming campus that supports community values and a sense of belonging

OVERARCHING THEMES

- **Existing Facilities are Affecting Outcomes**
- **Sense of Community to be Bolstered**
 - More / Better Event spaces desired
 - Places for Peer-to-Peer Engagement
- **Student Housing to be Prioritized**
 - Phasing / Implementation Strategies are Essential
- **Dining & Campus Amenity Considerations**
 - More Access and Options
- **Student Services to Become more Student Facing**
 - Locations to be considered
 - Socialization/Communication
- **Communication to be Improved**
 - Socialization
 - Signage & Wayfinding
- **Campus Sustainability**
 - Student Health and Wellness
 - Future Forward Facilities and Initiatives
- **Exton, Graduate Center, and Philadelphia Locations to have sense of WCU Identity**

CONNECTIVITY



EXPERIENCE



IDENTITY



PROJECT DISCOVERY

+100

Potential Projects
Initiatives or Studies

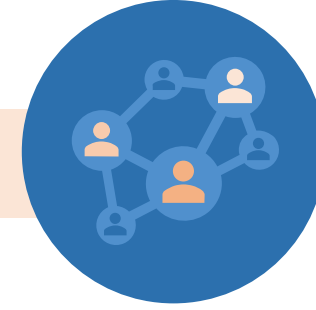
- New Construction
- Major Additions
- Major Renovations
- Minor Renovations
- Deferred Maintenance



ACADEMIC



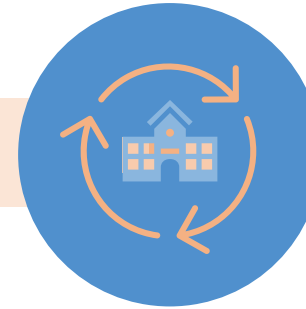
ACADEMIC
SUPPORT



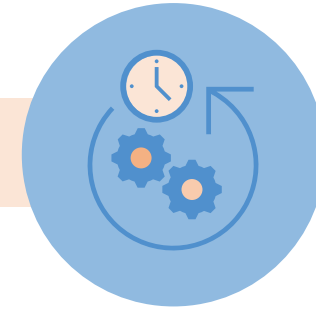
STUDENT
SERVICES



CAMPUS
SUPPORT



CAMPUS
IMPROVEMENTS



DEFERRED
MAINTENANCE

CMP PROJECT OPPORTUNITIES

HOUSING

- Lawrence – Demo & Build New Housing
- College Arms Apartments Renovation
- South Campus Apartments Expansion
- Tyson Hall Renovation w/ Addition
- Goshen Hall Renovation w/ Addition
- Killinger – Demo & Build New Housing
- Schmidt – Full Reno w/ Entry Addition

ACADEMIC

- Science Center Complex Renovation
- Old Library Renovation
- FHG Library Renovation
- Sturzbecker Renovation
- EO Bull Center for the Arts Expansion

STUDENT SERVICES

- Improve or Build New South Campus Commons
- Expand Sykes for Student Services, Dining, Welcome Center, & Parking

CAMPUS IMPROVEMENTS

- S Church St & University Ave Improvements
- Rosedale Ave Improvements
- Future Open Space
- Land Acquisition to Complete “Superblock”
- S New St and W Rosedale Ave Recreation Addition
- Improved Gateway at S New St Across from Sturzbecker and Athletics Fields
- Improvements at Farrell Stadium
- Athletic Field Amenities
- President’s Walk Extension
- Planning Study for Tanglewood property

CAMPUS SUPPORT

- 210 & 220 East Rosedale
- Maintenance Garage
- 201 Carter Utilization
- 204 Carter vacant
- Alumni & Foundation Center
- 887 Matlack – relocate public safety

CAMPUS IMPROVEMENT PROGRAMS - SUSTAINABILITY

- Existing Geothermal Deferred Maintenance
- New St multimodal Campus Connector
- Gordon Preserve Connections
- Bike-share program



CMP PROJECTS TIMELINE



CMP Project Implementation Timeline

*The following campus support projects which are not included in the above timeline can be implemented at any time

- 210 & 220 East Rosedale
- Maintenance Garage
- 201 Carter Utilization
- 204 Carter vacant
- Alumni & Foundation Center
- 887 Matlack - relocate public safety

SOUTH CAMPUS APARTMENTS – RENO & EXPAND

Housing

HOUSING METRICS

- 11 Buildings Wood Framed Construction
- 7 Buildings 3 ½ Story , 98 Units, 343+140 beds
- 4 Buildings 3 story , 48 Units, 156 + 80 beds
- 719 Beds Total (220 New Apartment Style Beds)

KEY ATTRIBUTES

- Complete Renovation of all Building Systems and Finishes
- Addition of full story (3rd Floor) to each building to add 4 units – 20 beds – per building
- To be phased over 6 years



SOUTH CAMPUS COMMONS BUILDING

Student Services

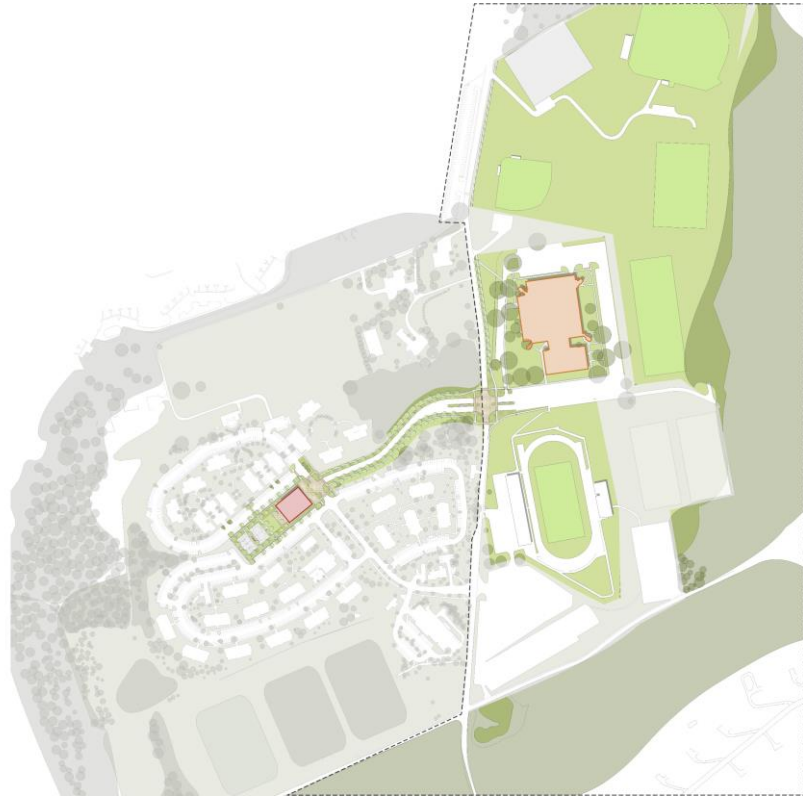
PROGRAM OPPORTUNITIES

- Dining
- Community / Event Space
- Student Support
- Indoor Recreation
- Outdoor Recreation



STURZBECKER RENOVATION

Academic



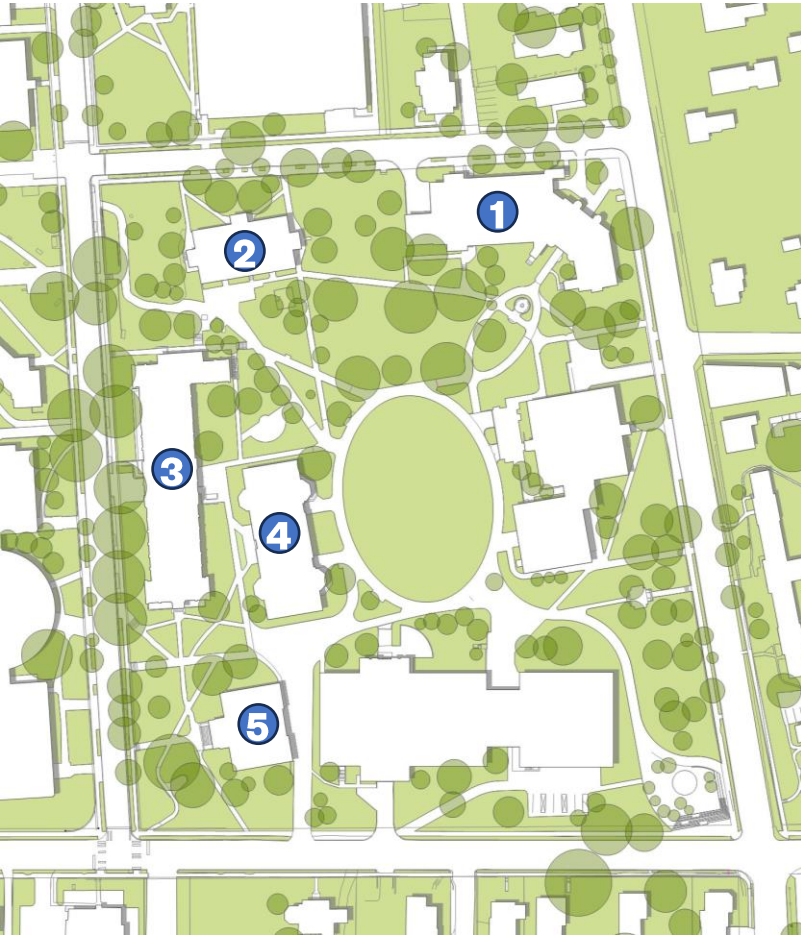
WCU NORTH CAMPUS

West Chester Borough



DEFERRED MAINTENANCE

HISTORIC RESOURCES



1. Philips Memorial



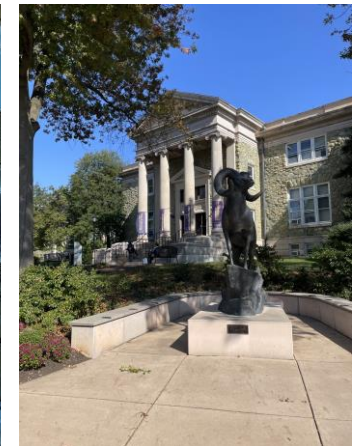
2. Ruby Jones Hall



3. Anderson Hall

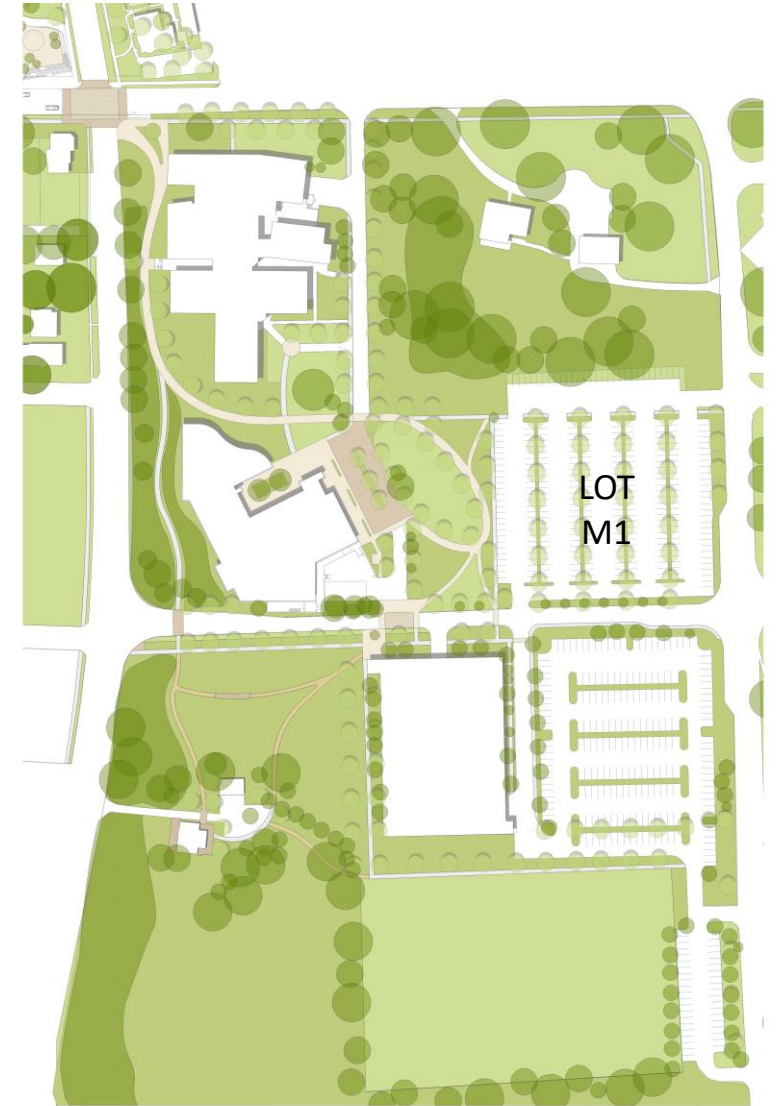


4. Recitation Hall

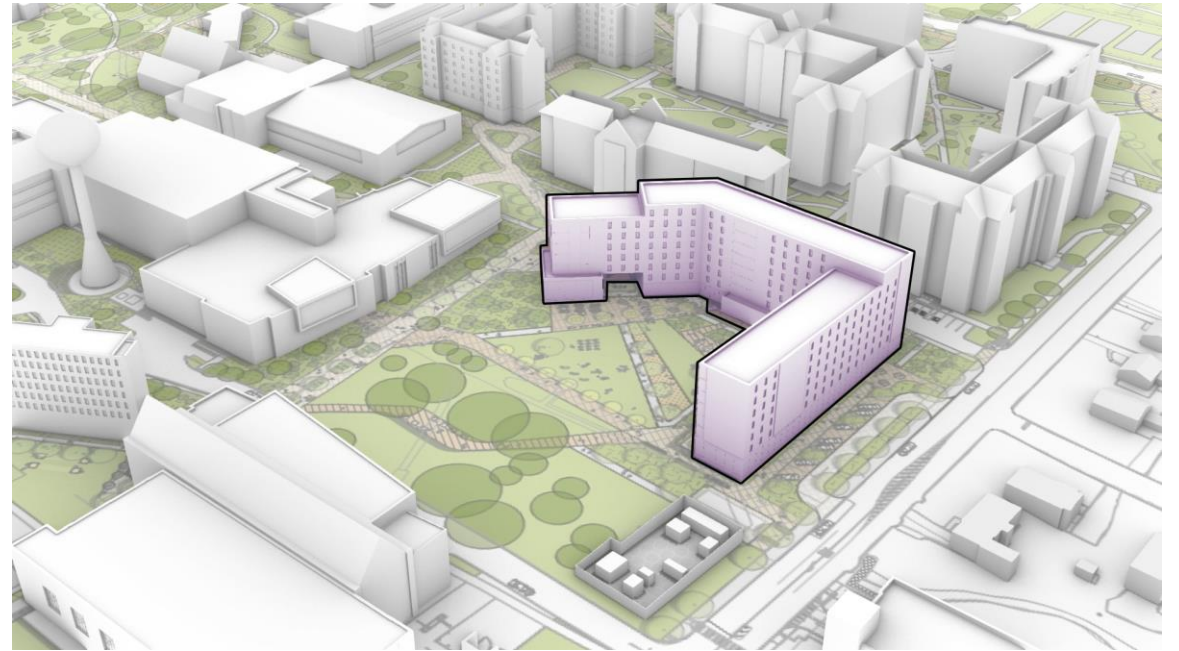
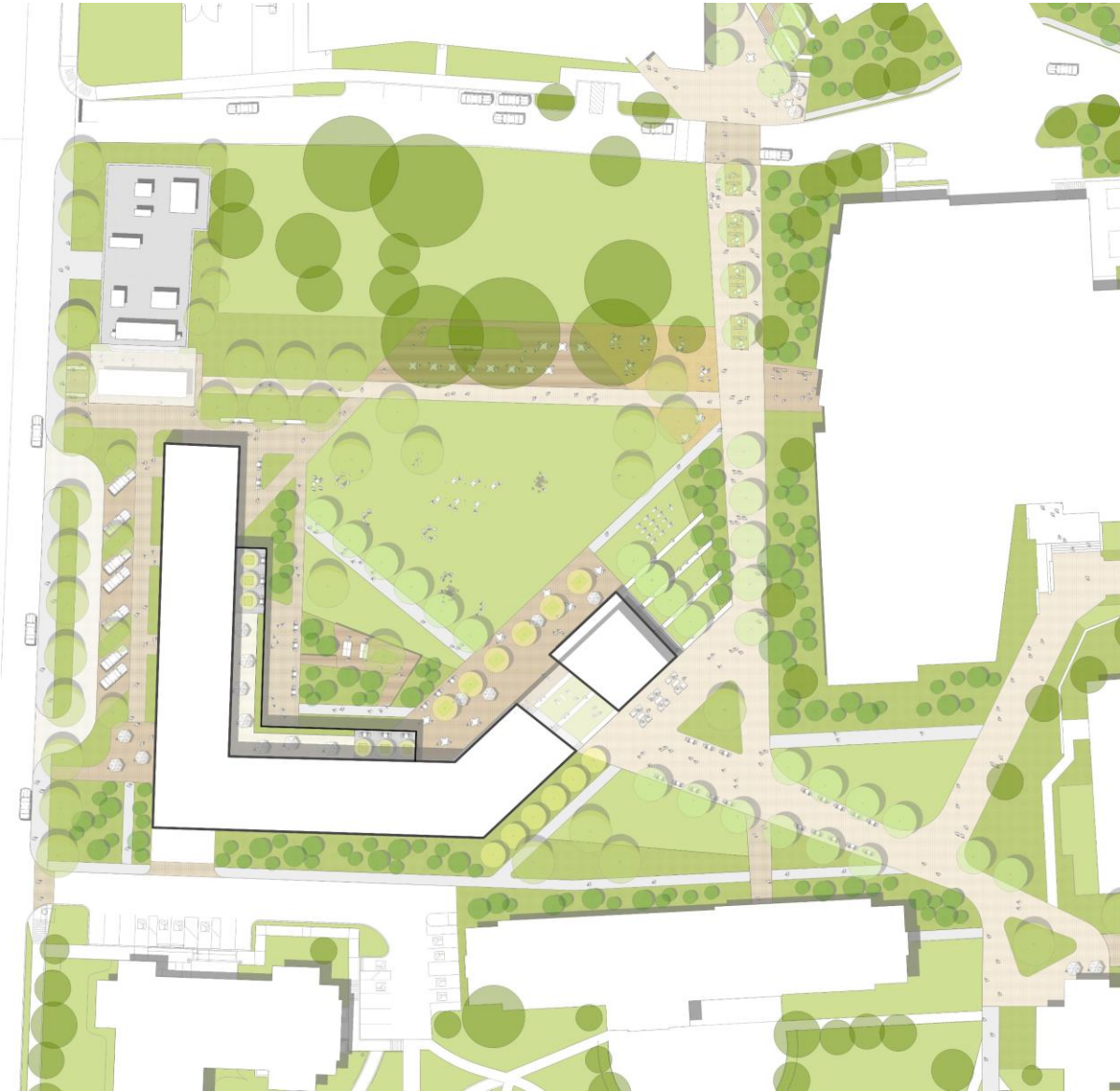


5. Old Library

TEMPORARY HOUSING



NEW LAWRENCE HALL



KEY SITE ATTRIBUTES

- Relocated bus stop
- Improved programmable outdoor space
- Direct campus connections

HOUSING METRICS

- 6-8 Stories
- 700-780 Bed Capacity
- Student Amenity
- Live-Learn Community
- Res Life Support
- Building Support
- Dining Amenity

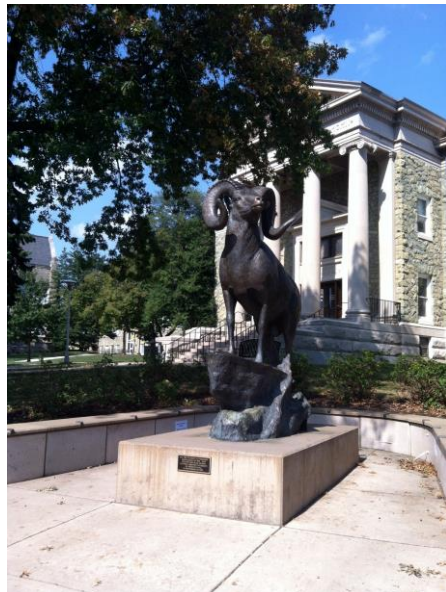
SCIENCE CENTER COMPLEX RENOVATION

Academic



OLD LIBRARY RENOVATION

Academic



* Graphics from 2017 Landscape Master Plan

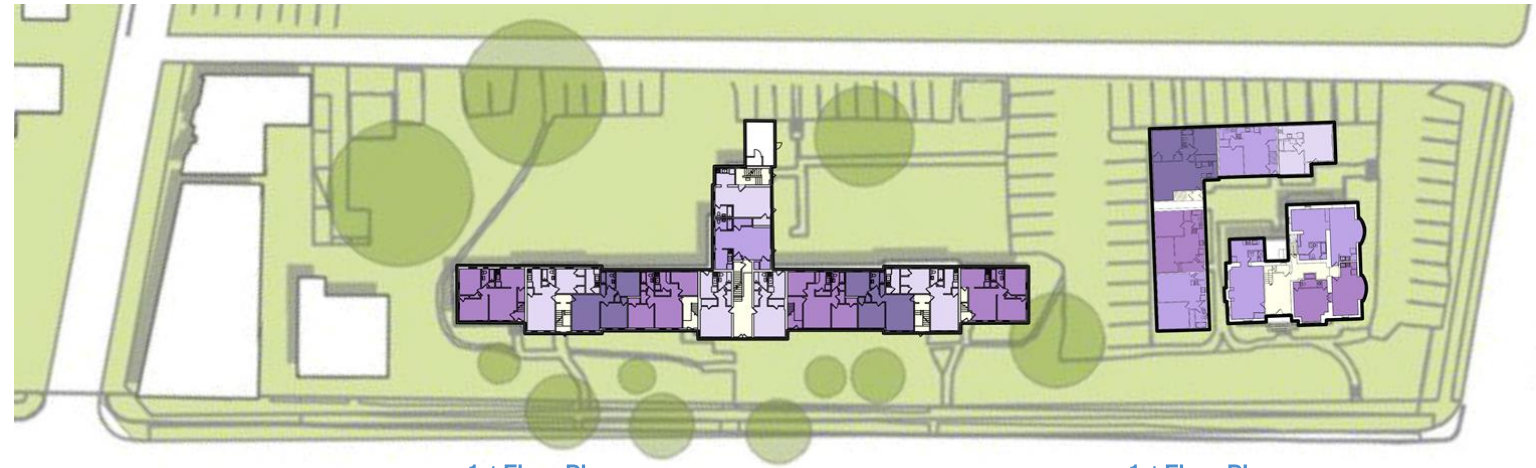
FHG LIBRARY RENOVATION

Academic



COLLEGE ARMS APARTMENTS RENOVATION

Housing



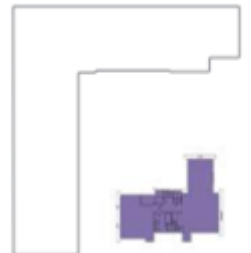
1st Floor Plan
North Building

1st Floor Plan
East & South Building



2nd Floor Plan
North Building

2nd Floor Plan
East & South Building



3rd Floor Plan
North Building

Attic Floor Plan
South Building

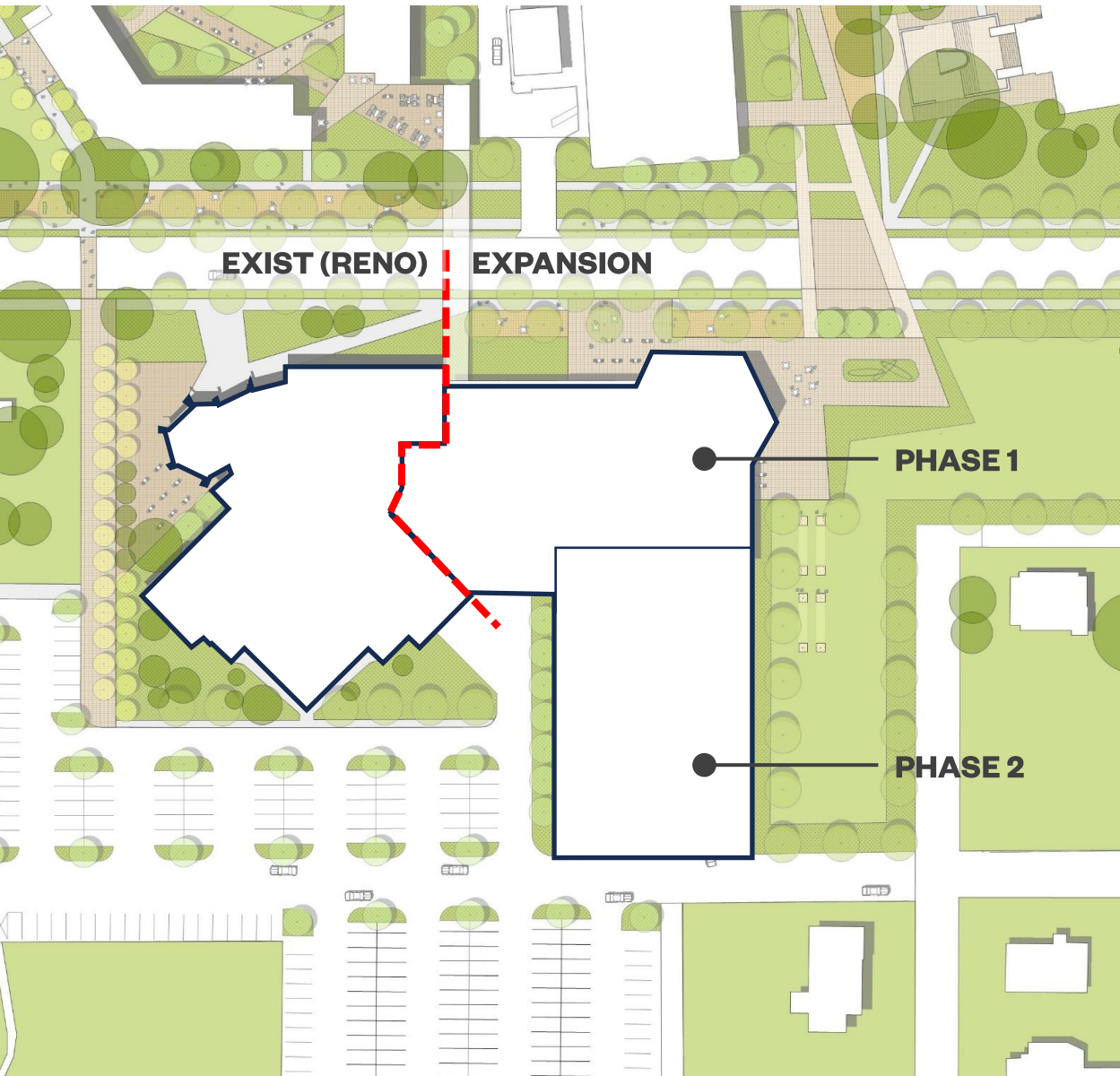


ROSEDALE AVE IMPROVEMENTS

Campus Wide Improvements



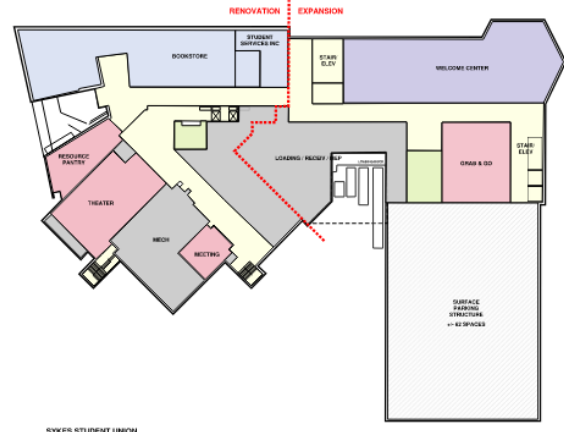
SYKES STUDENT UNION EXPANSION



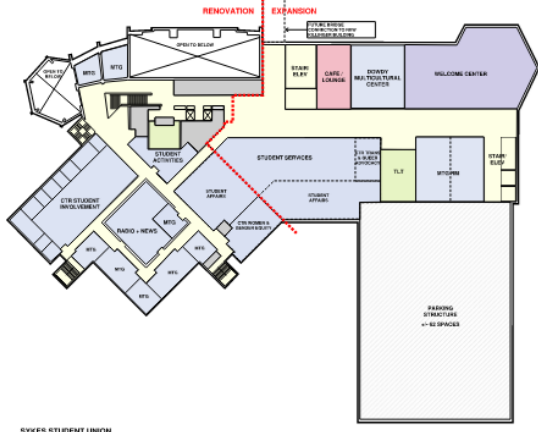
SYKES STUDENT UNION
FIRST FLOOR PLAN
SCALE 1/32" = 1'-0"



SYKES STUDENT UNION
THIRD FLOOR PLAN
SCALE 1/32" = 1'-0"



SYKES STUDENT UNION
BASEMENT FLOOR PLAN
SCALE 1/32" = 1'-0"



SYKES STUDENT UNION
SECOND FLOOR PLAN
SCALE 1/32" = 1'-0"

Student Services

CMP OPPORTUNITIES

5-Year

CAPITAL PROJECTS

- Temporary Housing
- South Campus Apartments Expansion
- South Campus Commons
- Sturzebecker Renovation
- New Lawrence Hall
- Science Center Complex Renovation
- Old Library Renovation
- FHG Library Renovation
- College Arms Apartments Renovation
- Geothermal Systems Improvements
- Rosedale Avenue Gateway and Improvements
- Sykes Student Union Expansion



QUESTIONS & DISCUSSION

ZONING

112 Attachment 2

Borough of West Chester

Appendix B Zoning Summary Table

WEST CHESTER ZONING DISTRICTS SUMMARY TABLE

April 9, 2021

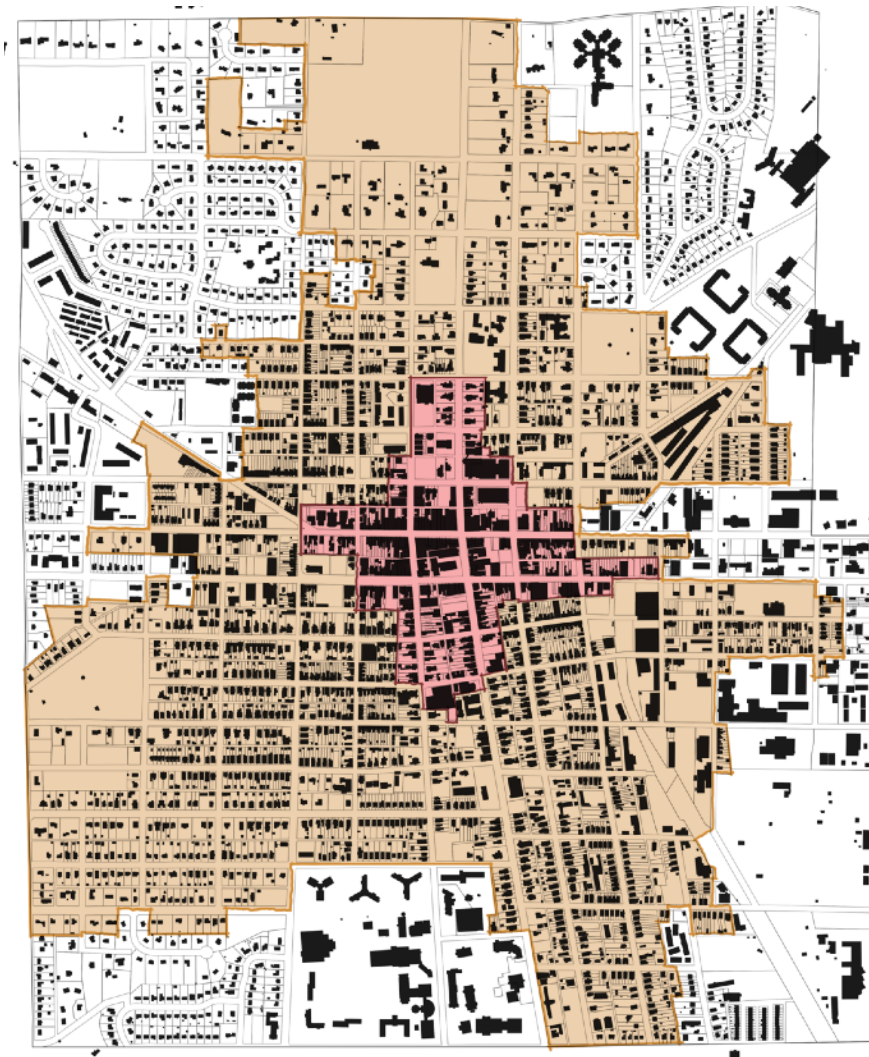
| REQUIREMENT | ZONING DISTRICT | | | | | |
|--------------------------|---|-------------------|---|-------------------------------|---|--|
| | NC-1 | | NC-2 | | NC-3 | |
| Lot Area | Median value of lots on Block Face | | Median value of lots on Block Face | | 2,500 square feet | |
| Lot Width, minimum | 60 feet | | - Detached - Semi-Detached - Attached | 40 feet 30 feet 20 feet | - Detached - Semi-Detached - Attached - Apartment building | |
| Build-to line/front yard | match existing adjacent setbacks | | match existing adjacent setbacks | | match existing adjacent setbacks | |
| Side yard, minimum | 15 feet minimum | | existing adjacent, 10 feet minimum | | existing adjacent, 10 feet minimum - Apartment building | |
| - Accessory Structures | 5 feet | | 5 feet | | - Accessory Structures 5 feet | |
| Rear yard, minimum | 35 feet | | 20 feet | | 20 feet | |
| - Accessory Structures | 5 feet | | 5 feet | | 5 feet | |
| Height, maximum | 35 feet | | 35 feet | | 35 feet, apartment 55 feet | |
| Impervious coverage: | - Lots over 20,000 sq.ft. - Lots 12,000 to 20,000 sq.ft. - Lots under 6,500 sq.ft. | 30% 35% 50% | - Lots over 5,000 sq.ft. - Lots 5,000 to 4,000 sq.ft. - Lots less than 4,000 sq.ft. | 50% 70% 80% | 70% | |
| Building coverage: | - Lots over 20,000 sq.ft. - Lots 12,000 to 20,000 sq.ft. - Lots less than 12,000 sq.ft. | 15% 20% 30% | - Lots over 5,000 sq.ft. - Lots 5,000 to 4,000 sq.ft. - Lots less than 4,000 sq.ft. | 35% 45% 45% | 50% | |
| | MU | | TC | | CS | |
| Lot Area | 2,500 square feet | | 2,500 square feet | | 7,500 square feet | |
| Lot Width, minimum | 20 feet | | 20 feet | | 75 feet | |
| Build-to line/front yard | 10 feet from curb | | match existing adjacent setbacks | | 10 feet from curb | |
| Side yard, minimum | 10 feet | | existing adjacent, 5 feet minimum | | existing adjacent, 5 feet minimum | |
| Rear yard, minimum | | | 5 feet | | 10 feet | |
| Height, maximum | 45 feet, 60 feet Conditional Use | | 45 feet | | 35 feet | |
| Impervious coverage: | 95% | | 95% | | 85% | |
| Building coverage: | 90% | | 92% | | 60% | |
| | ID | | IS | | | |
| Lot Area | 40,000 square feet | | 100,000 square feet | | | |
| Lot Width, minimum | 100 feet | | 150 feet | | | |
| Build-to line/front yard | 20 feet from curb | | 75 feet | | | |
| Side yard, minimum | 20 feet 30 feet, adjacent to residential | | 50 feet 30 feet, parking | | | |
| Rear yard, minimum | 10 feet | | 75 feet | | | |
| Height, maximum | 60 feet | | 40 feet | | | |
| Impervious coverage: | 85% | | 75% | | | |
| Building coverage: | 50% | | 40% | | | |

Borough of West Chester (Draft) Preservation Overlay Ordinance

“The underlying premise of this plan is that new development and preservation are complementary elements of a planning strategy ...” Comp Plan 2016

Intent. The purpose of this Preservation Overlay Ordinance is to enable new development that is compatible with the traditional neighborhood character of the Borough. It seeks to re-legalize the construction of fine-grained, traditional buildings that contribute to the historic fabric and scale of the Borough—building forms which have been rendered nonconforming under more recent zoning ordinances.

Overlay District. The Preservation Overlay District shall align with the boundaries established by the 2005 National Register Historic District Boundary Increase.



General Standards.

- a. Lots with a width of 14', 16', 18', or 20' may be created, provided all structures conform to the Preservation Ordinance Design Standards.
 - I. Lots may take principal access from a public alley or newly created Mews right-of-way (ROW), provided all buildings meet the Preservation Design Standards.
 - II. When the principal street address is an existing street, one or more buildings on the lot shall be oriented to front the existing street, and additional building may utilize the alley or new Mews ROW as the primary access to the building.
 - III. Lots may front a new Mews right-of-way or inner-block courtyard within an existing block provided all buildings meet the Preservation Design Standards.
 - IV. Mews ROW shall be a maximum of 30' wide and a minimum of 18' wide and shall meet the following standards;
 - i. A stoop or transitional space of a minimum of 5' shall front all lots. This stoop shall be paved in brick, stone or gravel. It may include planters, tree wells and front steps. It should extend from the Cartway to the front face of the building.
 - ii. On street parking is optional. It must be accommodated as part of the cartway and not allowed to encroach upon the 5' minimum stoop area.

Architectural Design Standards

- a. Single Family Detached, Single Family Semidetached and Single Family Attached Dwelling Units maybe be built on these lots as long as they meet the following Design Standards;
 - (1) Solid load-bearing masonry walls constructed with a minimum of two wythes of brick, consistent with historic construction practices in the Borough.
 - (2) Openings in the exterior wall must use a structural brick arch, wood or stone lintels as used in the historic buildings of the Borough.
 - (3) Roof to pitch front/back so that front facade of building to include eave. Brick corbel or decorative eave at front facade as used in the historic buildings of the Borough.
 - (4) Half round gutters and downspouts
 - (5) If shutters are used, they must be half the width of the window opening (see detail from HARB Guidelines)
 - (6) Window openings on second and third floors should be aligned as customary in the historic buildings of the Borough.

Dimensional Requirements

| Standard | Requirement |
|-----------------------|---|
| Lot Width | 14' min; 20' max |
| Lot Area | No minimum |
| Front Yard (Build-to) | Match adjacent on existing streets; 0' in TC or Mews |
| Side Yard Setback | 0' (still subject to building code fire separation requirements for openings) |
| Rear Yard Setback | 5' |
| Height | Max 3 stories |
| Building Coverage | Max 90% (TC standards and consistent with historic Borough fabric) |
| Impervious Coverage | Max 95% (TC standards and consistent with historic Borough fabric) |

Parking.

- a. 1 new off-street parking space shall be provided for each new dwelling unit.
- b. Where a private ROW (traditional Mews) is created, any on-street parking spaces provided can count toward the parking spaces required by the dwelling units.

*“The purpose of a community’s Comprehensive Plan is to look to the future and design a roadmap in the form of policies, recommendations and strategies for future development, redevelopment and conservation...**While the plan itself is not a regulation, it should be used to inform future laws such as zoning, subdivision and land development regulations, and it should guide decisions regarding future development and redevelopment, capital improvements and related public expenditures.**” Comp Plan 2016*

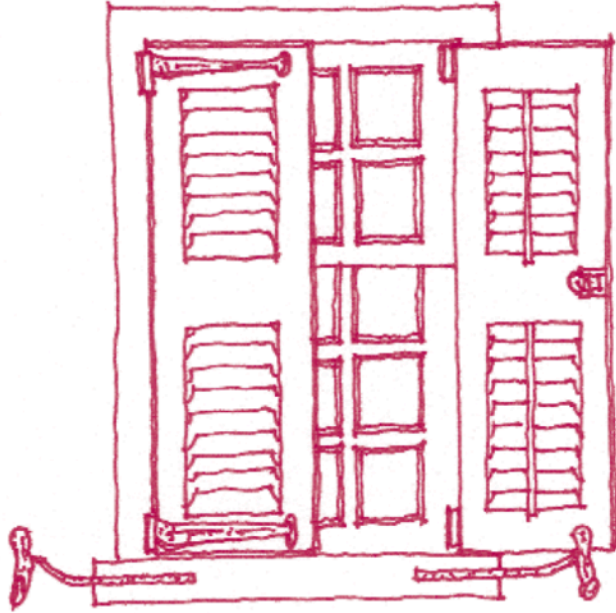


Figure 51. Wood blinds were traditionally used on the upper stories of buildings, where security was less of a concern. Historic shutters and blinds should be preserved. Traditional shutter hardware includes pintle hinges, a horizontal bolt, and hold-backs called shutter dogs.

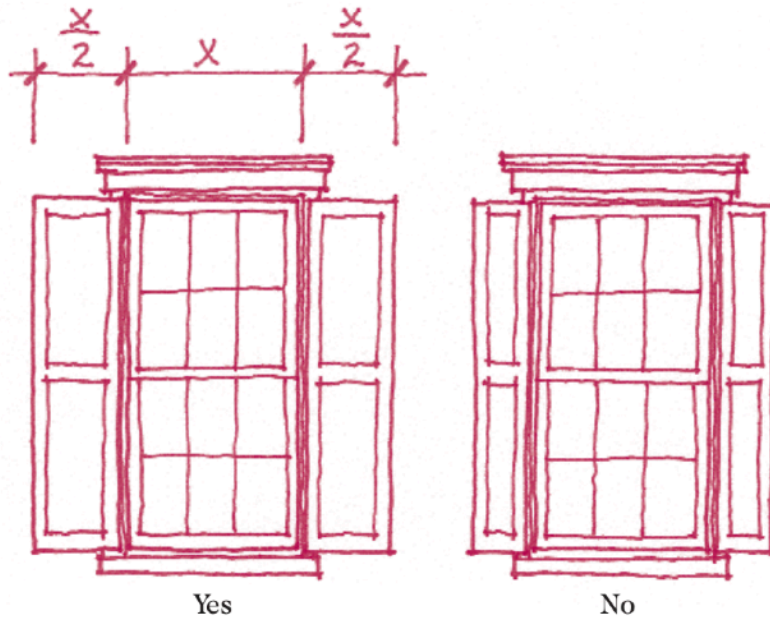


Figure 52. Replacement shutters and blinds should be painted wood, properly sized to the sash opening, and appear operable.



Illustration showing how openings on second and third floors should be aligned as customary in the historic buildings of the Borough.



Illustration showing a possible development under the Preservation Ordinance.

ZONING

112 Attachment 2

Borough of West Chester

Appendix B Zoning Summary Table

WEST CHESTER ZONING DISTRICTS SUMMARY TABLE

April 9, 2021

| REQUIREMENT | ZONING DISTRICT | | | | | |
|--------------------------|---|------------------------------------|---|---|---|--|
| | NC-1 | | NC-2 | | NC-3 | |
| Lot Area | Median value of lots on Block Face | | Median value of lots on Block Face | | 2,500 square feet | |
| Lot Width, minimum | 60 feet | | - Detached 40 feet - Semi-Detached 30 feet - Attached 20 feet | - Detached 40 feet - Semi-Detached 30 feet - Attached 20 feet - Apartment building 80 feet | | |
| Build-to line/front yard | match existing adjacent setbacks | | match existing adjacent setbacks | | match existing adjacent setbacks | |
| Side yard, minimum | 15 feet minimum | | existing adjacent, 10 feet minimum | | existing adjacent, 10 feet minimum - Apartment building 20 feet - Accessory Structures 5 feet | |
| - Accessory Structures | 5 feet | | 5 feet | | 5 feet | |
| Rear yard, minimum | 35 feet | | 20 feet | | 20 feet | |
| - Accessory Structures | 5 feet | | 5 feet | | 5 feet | |
| Height, maximum | 35 feet | | 35 feet | | 35 feet, apartment 55 feet | |
| Impervious coverage: | - Lots over 20,000 sq.ft. 30% | - Lots 12,000 to 20,000 sq.ft. 35% | - Lots over 5,000 sq.ft. 50% | - Lots 5,000 to 4,000 sq.ft. 70% | 70% | |
| | - Lots under 6,500 sq.ft. 50% | | - Lots less than 4,000 sq.ft. 80% | | | |
| Building coverage: | - Lots over 20,000 sq.ft. 15% | - Lots 12,000 to 20,000 sq.ft. 20% | - Lots over 5,000 sq.ft. 35% | - Lots 5,000 to 4,000 sq.ft. 45% | 50% | |
| | - Lots less than 12,000 sq.ft. 30% | | - Lots less than 4,000 sq.ft. 45% | | | |
| | MU | | TC | | CS | |
| Lot Area | 2,500 square feet | | 2,500 square feet | | 7,500 square feet | |
| Lot Width, minimum | 20 feet | | 20 feet | | 75 feet | |
| Build-to line/front yard | 10 feet from curb | | match existing adjacent setbacks | | 10 feet from curb | |
| Side yard, minimum | 10 feet | | existing adjacent, 5 feet minimum | | existing adjacent, 5 feet minimum | |
| Rear yard, minimum | | | 5 feet | | 10 feet | |
| Height, maximum | 45 feet, 60 feet Conditional Use | | 45 feet | | 35 feet | |
| Impervious coverage: | 95% | | 95% | | 85% | |
| Building coverage: | 90% | | 92% | | 60% | |
| | ID | | IS | | | |
| Lot Area | 40,000 square feet | | 100,000 square feet | | | |
| Lot Width, minimum | 100 feet | | 150 feet | | | |
| Build-to line/front yard | 20 feet from curb | | 75 feet | | | |
| Side yard, minimum | 20 feet 30 feet, adjacent to residential | | 50 feet 30 feet, parking | | | |
| Rear yard, minimum | 10 feet | | 75 feet | | | |
| Height, maximum | 60 feet | | 40 feet | | | |
| Impervious coverage: | 85% | | 75% | | | |
| Building coverage: | 50% | | 40% | | | |

Borough of West Chester
Summary Table of Area and Bulk Regulations¹

| Zoning District | Minimum ² | | | | | | | | | | | | | | Maximum ² | | | | |
|-----------------------------------|--------------------------------------|------------------------|--------------|------------|---------------------------------------|--|---|------------|----------------------|-----------------|------|---------------------------------------|----------------|---------------------------------------|----------------------|----------------------|-----------------------------|-----------------------|---------------------------|
| | Lot | | | | | | | | Yard | | | | | | Coverage | | Height | | |
| | Area per Dwelling Unit (square feet) | | | | Width at Building Line | | | | | | Side | | Aggregate Side | | | | | | |
| | Area (square feet) | Single-Family Detached | Multi-family | All Others | Single-Family and Two-Family Detached | Single-Family and Two-Family Semi-detached | Multi-family and Single-Family Attached | All Others | Width at Street Line | Front | Rear | Single-Family and Two-Family Detached | All Others | Single-Family and Two-Family Detached | All Others | Green Area (percent) | Imperious Surface (percent) | Building(s) (percent) | Building(s)/ Structure(s) |
| NC-1 Neighborhood Conservation | | | | | | | | | | | | | | | | | | | |
| Block Class A | 20,000 | | | | | | 110 | 50 | 40 | 35 | | 20 | | 45 | 55 | 30 | 15 | 35 | |
| Block Class B | 12,000 | | | | | | 80 | 50 | 35 | 30 | | 15 | | 35 | 50 | 35 | 20 | 35 | |
| Block Class C | 6,500 | | | | | | 65 | 50 | 30 | 25 | | 10 | | 25 | 35 | 50 | 30 | 35 | |
| NC-2 Neighborhood Conservation | | | | | | | | | | | | | | | | | | | |
| Block Class A | | 7,000 | | 4,000 | 60 | 30 | 25 | 20 | 25 | 25 | 10 | 15 | 25 | 35 | 35 | 50 | 30 | 35 | |
| Block Class B | | 5,000 | | 3,000 | 50 | 25 | 25 | 20 | 20 | 25 | 10 | 15 | 20 | 30 | 25 | 60 | 35 | 35 | |
| Block Class C | | 4,000 | | 2,000 | 40 | 20 | 20 | 20 | 15 | 20 | 5 | 10 | 15 | 25 | 15 | 70 | 45 | 35 | |
| NC-3 Neighborhood Conservation | | | | | | | | | | | | | | | | | | | |
| Block Class A | 35,000 (tract) | | 2,000 | | | | 200 | 150 | 30 | 30 | | 30 | | 60 | 25 | 70 | 50 | 35/55 | |
| TC Town Center | | | | | | | | | | | | | | | | | | | |
| Block Class A | 5,400 | | | | | | 25 | 20 | 0 | 20 | | 5 | | 10 | 10 | 90 | 85 | 45 | |
| Block Class B | 2,500 | | | | | | 20 | 20 | 0 | 5 | | 0 | | 0 | 5 | 95 | 90 | 45/80 | |
| CS Commercial Service | 7,500 (per use) | | | | | | 100 | 75 | 35 | 35/45 | | 20 | | 40 | 15 | 85 | 50 | 35 | |
| ID Industrial | 40,000 | | | | | | 125 | 100 | 30 ³ | 30 ³ | | 30 ³ | | 100 | 10 | 85 | 50 | 40 | |
| IS Institutional | 100,000 | | | | | | 200 | 150 | 75 | 75 | | 50 | | | 25 | 75 | 40 | 40/60 | |

NOTES:

¹ See text for complete details, especially pertaining to area and bulk regulations for uses by special exception and for conditional uses.

² All numerical values are recorded in feet unless otherwise noted.

³ [Amended 2-8-1989 by Ord. No. 5-1989]



LANDSCAPE ARCHITECTS
PLANNERS | DESIGNERS

SEAL



LICENSE # LA003025

TEAM

LANDSCAPE ARCHITECT
STUART AND ASSOCIATES, LLC.
860 FIRST AVENUE, SUITE 9B
KING OF PRUSSIA, PA 19406
TEL. 610.337.2100

OWNER
CORE DEVELOPMENT
283 2ND STREET PIKE, SUITE 110
SOUTHAMPTON, PA 18966
TEL. 888.609.1171

CIVIL
ARIA ENGINEERING
1309 JAMESTOWN DRIVE
WEST BRADFORD TWP, PA
TEL. 610.873.2690

PROJECT NAME

410 S HIGH ST II

410 S. HIGH STREET
WEST CHESTER, PA 19382
BOROUGH OF WEST CHESTER
CHESTER COUNTY, PA

REVISIONS

| NO. | DATE | NOTES |
|-----|------|-------|
| | | |
| | | |
| | | |

DRAWN BY TAS

CHECKED BY PJS

SCALE 1" = 20'-0"

DATE 08.08.2025

PLOTTED DATE 08.08.2025

DRAWING NAME

ILLUSTRATIVE PLAN

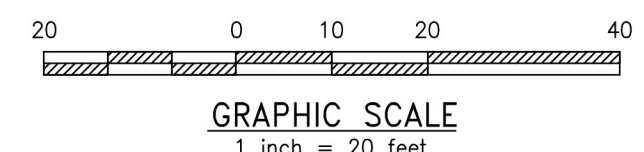
DRAWING NUMBER
SHEET NUMBER

IL1.00
1 OF 1
Page 62 of 62

ILLUSTRATIVE PLAN NOTES

1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN IS TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND IS NOT MEANT FOR CONSTRUCTION.
3. THIS IS AN ARTIST'S INTERPRETATION OF TEXTURES AND MATERIALS.
4. PLANS CREATED FROM DRAWINGS FROM ARIA ENGINEERING, DATED 08/06/25.

**CO
RE**
DEVELOPMENT
living refined



PRELIMINARY LAND DEVELOPMENT