



Smart Growth Committee Meeting
October 8, 2025 @ 6:30 PM
This meeting is recorded for public record.

Committee Members:

Nicole Scimone, Chair
Lisa Dorsey
Bernie Flynn

Smart Growth Committee of Borough Council:

Borough Manager: Sean Metrick

Smart Growth Committee Meeting:

1. Call to Order
2. Announcements
3. Comments
Comments, suggestions, petitions by residents, taxpayers and visitors in attendance regarding items that are not on the agenda. Please be advised there is a 5-minute time limit which is at the discretion of the Council President and/or Chair.
4. Reports
 - A. Director's report – (attachment)
5. Old Business
 - A. Discuss Amendments to Chapter 90A – Restaurants-Café
 - B. Motion to approve Smart Growth Committee minutes – September 10, 2025 (attachment)
6. New Business
 - A. Motion to approve Final Land Development 210-214 W. Washington St, Axel Properties (attachment)
Issue: Approval of new eight townhouse community in the NC-2 Zoning District
 - B. Discuss amending Chapter 112-314 Planned University Campus District-Brian Nagle (attachment)
Issue: Ordinance amendment as it relates to the College Arms student housing redevelopment
 - C. Discuss amending Chapter 112 – 309 TC Town Center (attachment)
Issue: Reducing build-to line in the TC District
 - D. Consider directing the Solicitor to attend Zoning Hearing Board (attachment)

1035-740 S. Matlack St-Zoning relief from required parking curbing in alley
1036-124 E. Chestnut St-Zoning relief from side yard setback
Issue: Review ZHB Appeals and determine solicitor attendance

- E. Motion to approve HARB applications (attachment)
2025-29: 225 E. Market St-Sign
2025-30: 220 W. Gay St-Revised Sign
2025-31: 16 S. Church St-Sign
Issue: Review HARB applications and approve Certificates of Appropriateness
 - F. Discuss amending Chapter 112 – 309.B Revise dimensional requirements in the TC Zoning District (attachment)
Issue: Reformatting existing dimensional information
 - G. Discuss amendment to Chapter 95-11B – Streets and Sidewalks (attachment)
Issue: Permit temporary uses on sidewalks such as planters, non-permanent trees, and temporary tables.
 - H. Discuss amendment to Chapter 112-702 - Sign Regulations
Issue: Permit substitution of materials with HARB recommendation.
 - I. Discuss Universal Residential Development Use Zoning Amendment (attachment)
Issue: Permission for Zoning Amendment to be sent to Chester County Planning Commission to add definitions for “Alley” and “Unified Residential Development”
7. Other Business
8. Adjournment

Visit www.west-chester.com for access to all attachments.

Agendas are posted to www.west-chester.com by noon 3 business days prior to the meeting.



Department of Building, Housing & Codes Enforcement

Regulations for the Protection of Public Health, Safety and Welfare

401 East Gay Street • West Chester, Pennsylvania 19380

610-696-1773 • housing@west-chester.com

Department of Building, Housing and Code Enforcement Report – August 2025

To: Smart Growth Committee of Borough Council

From: Aaron Flook, Director of Building, Housing and Code enforcement

October 14, 2025

Summary Highlights

- There are less than 350 outstanding rental licenses still needing some sort of information. This means approximately 90%-94% of all rental licenses have been successfully processed.
- 210 – 214 W. Washington Street, Axel Properties Development (8 townhouses) have now received ZHB relief regarding their Building Coverage dimensional requirement. This means the development will be able to proceed and finalize plans.

Planning and Zoning

- Zoning Hearing Board: The Board did not meet in August
 - **Zoning Hearing Board Appeals for September**
 - 436 N. Church Street - #1032 – Variances as part of a proposed minor subdivision. Was Continued from September ZHB meeting
 - 740 S. Matlack Street - #1035 – relief from requirement of having to separate a parking space with a curb.
 - 124 E. Chestnut Street – 1036 – looking for relief from rear and side yard dimensional requirements to place a 2-story garage in rear of house.
 - **Planning Commission**
 - Presentation from Michael Clemens on the 2026 Comprehensive plan- A Retrospective. This presentation was an in-depth review of projects from our 2016 Comprehensive Plan that have either begun or are completed. This report is useful in preparing for our upcoming Comprehensive Plan Discussions.
 - Preservation ordinance was reformatted and given to each member to review.
 - Motion to approve letter of recommendation for the amendment creating Unified Residential Development use in the TC district. Voted 5-0 in favor

Code Enforcement

- Code enforcement has been focusing on rental inspections and reinspections. Currently we are scheduling into December for rental inspection in the Borough.
- Inner Office training has been focusing on procedures on what to look for when stopping at a work site inside the Borough. Example: Permits in windows, approved plans on site.
- 136 E. Barnard Street – 1st Floor Apartment was determined to be Uninhabitable, due to water damage from the upstairs apartment. Water damage was ongoing, repairs done without a permit and in unsafe manner.

Code Enforcement Tickets Issued: Grass, Snow & Trash

Status	25-Feb	25-March	25-April	25-May	25-June	25-July	Aug -25	Sept.-25
Paid	43	44	74	68	11	62		57
Issued		27	0	9	8	97		34
Warning	3	8	18	38	9	11	34	10
Void	3	6	5	2	3	2	31	8
Dismissed	12	2	10	10	3	4	5	2
Abandoned		2	0	1			3	1
Court	11	1	16	12	0	8	1	1
Total	72	91	124	140	37	179	124	114

Rental Licensing

- **Notices of Violations have been sent to landlords who outstanding items preventing license renewals or to landlords who have not started or completed applications.**

Rentals	25-Jun	25-July	25-Aug	25-Sep
Annual Rental Inspection	165	208	233	173
Initial Rental Inspection (New Rental)	1	1	8	7

- One of the Code Officers was on vacation for one week.

Building Permits

- Continue to have a point of focus on education of the contractors regarding the need for permits. Inner office training on exemptions of the PA UCC/Or local ordinances has been ongoing.
- Building Department has been training Code Enforcement Officers on procedures when investigating a work site inside the Borough.
- The Department will be continuing to educate contractors and owners that if a permit is pulled, that permit must be mounted in a visible window on the front of the property or to a proper sign in yard. Also, PA UCC requires a copy of the approved plans to always be onsite. This has not always been enforced. The Department will give warnings the first time, but fines may be issued if the situation continues.

	June/25	July/25	Aug/25	Sep25
<u>Code Enforcement</u>				
Enforcement Requests	53	53	488 *	200
Cases Opened	24	49	462 *	165
Cases Closed	50	28	41	135*
<ul style="list-style-type: none"> 135 closed cases is an 81.8% closure rate. This is almost a 25% (24.7%) increase in closure rate. 				
<u>Permits Issued</u>				
CERTIFICATE OF OCCUPANCY	0	0	1	1
COMMERCIAL ADDITION-ALTERATION-REPAIR	8	1	11	12
RESIDENTIAL ADDITION-ALTERATION-REPAIR	19	30	25	34
RESIDENTIAL DEMOLITION	1	1	4	
CAFE PERMIT CONTRACT	0	1	0	1
HOME OCCUPATION	0	1	0	
SIGN PERMIT	2	1	2	3
RESIDENTIAL NEW BUILDING	0	1	0	
<u>Permit Applications Received</u>				
CAFE PERMIT CONTRACT	1	1	0	1
CERTIFICATE OF APPROPRIATENESS- SIGNS	1	2	1	1
CERTIFICATE OF OCCUPANCY	1	1	1	
COMMERCIAL ADDITION-ALTERATION-REPAIR	10	19	16	11
LAND DEVELOPMENT APPLICATION	1	0	8	1
HEN PERMIT	1	0	0	0
RESIDENTIAL ADDITION-ALTERATION-REPAIR	0	1	29	32
RESIDENTIAL NEW BUILDING	0	1	0	
SIGN PERMIT	2	3	2	1
VARIANCE/SPECIAL EXCEPTION, ZONING APPEAL	1	1	2	1
ZONING SITE PLAN REVIEW	1	4	35	6
ZONING VERIFICATION LETTER	1	1	2	1
<u>Building Permit Inspections</u>	99	104		
<u>Code Enforcement</u>				
NUISANCE	0	0	3	1
PROPERTY MAINTENANCE	10	24	34	43
RIGHT OF WAY	0	0	0	0
ZONING VIOLATION	1	1	1	1
GRASS AND WEEDS	0	14	3	1

JUNK VEHICLES					1
NUISANCE					1
ILLEGAL RENTALS					3
GRASS/WEEDS					5
BUILDING CODE/STOPWORK					3

DRAFT MEETING MINUTES

SMART GROWTH COMMITTEE OF BOROUGH COUNCIL

Date: Wednesday, September 10, 2025 @ 6:30 PM

Committee Members: Nicole Scimone, Chair
Lisa Dorsey
Bernie Flynn

Staff: Aaron Flook, Director of Building, Housing & Code Enforcement
Sean Metrick, Borough Manager

- I. Call to order-7:32pm
- II. Announcements-None
- III. Comments, suggestions, petitions by residents in attendance regarding items not on the agenda.
(Please be advised that all public comments have a 5-minute time limit.)-None
- IV. Reports
 - A. Director's report – 2026 Budget Discussion (attachment) Director Flook provides statistical monthly report for construction permits, Zoning Hearing Board application, Zoning violations, rental inspections, and reviews Planning Commission activity. Mr. Flynn asks about the 10' setback of the Overlay District, how many stories can the building go up before the 10' setback starts? Mr. Flook informed Mr. Flynn, it starts with the first story, that once a building reaches 45', it gives the illusion of enclosing the space. Mr. Flynn gives Hotel Indigo's construction as an example of this. Ms. Scimone comments she is very pleased the Planning Commission is working with developers to create attainable housing and creative solutions to housing rather than these large "big box" developments that have been prevalent lately and great job with the rental inspection achievements. Director Flook goes on to provide the budget presentation for 2026. Prior to 2020, Department of Building, Housing and Code Enforcement employed three Code Enforcement Officers. With a little less than 5,900 rental inspections to perform every year, it is not possible to achieve this with the current staff. An additional Code Enforcement Officer would help achieve this goal. Also, adding a part-time Administrative Assistant to allow the full-time Administrative Assistant better concentration on the rental license process and portal assistance, easing some of the stresses the adjustment to portal system has caused. With that, adjustments to fees will be required. Rental license fee and now a Rental Inspection fee will be created to ease the cost to the Borough. Moving on, Zoning Hearing Board activity is very high. This requires third-party Zoning reviews. General Zoning reviews add cost to the Borough when in the past the Director performed these tasks. Director Flook requested to bring the zoning reviews back to the Director to eliminate the third-party zoning costs. Mr. Flynn cautions about raising the fee for rental licenses and adds a fee should be added for re-inspection fees for failed rental inspections. Director Flook explains the formula that was used to create the rental license fee, is projecting an increase in the rental license fee. The same formula was used to create the rental inspection fee. The total rental price will increase significantly, however, one of the fees was performed for free in the past. This increase is required for the Borough to make back the cost of the rental license program. This additional fee is approximately \$30 less than having the third-party inspection company performing the rental inspections. Continuing on, the Rental License has a fee, the Rental Inspection has a fee. This is for a one time inspection. The proposed Rental re-inspection fee will be in place at a lesser rate than the Rental Inspection fee for an additional inspection and no-shows. A Rental Inspection checklist will be provided to landlords, informing them of what will be inspected and, in theory, hopefully repaired, before the rental inspection is performed. All this is required in order to have every rental unit inspected once a year. Ms. Scimone likes the inspection checklist and comments that property owners have been asking for this in the past. Mr. Metrick informed the Committee that these fees are based on surrounding communities' rental programs.

Mr. Flook comments Phoenixville, Norristown, Borough of Downingtown and Media Borough rental fees have all been reviewed. In most municipalities rental licenses and rental inspections are anywhere between \$110-125 a year are charged, with the lowest being \$80 a year. The number of Code Enforcement officers was also reviewed in these municipalities in relative to the number of rental properties. Most municipalities have one Code Enforcement Officer to 1,500-2,000 rental properties.

V. Old Business

- A. Discuss Amendments to Chapter 90A – Restaurants-Café-Mr. Flook informs the Committee there nothing now to discuss. There will be a meeting to discuss the extracurricular activities that are happening and will report to Committee when prepared.
- B. Motion to approve Smart Growth Committee minutes – August 13, 2025 (attachment)-3:0 Motion to Approve.

VI. New Business

- A. Discuss zoning amendment to the build to line (attachment)-Jim Cherry, Chair-Planning Commission, informs the Committee of the proposed ordinance amendment. The Planning Commission has been discussing this amendment for over a year, working to strengthen the present ordinance. With the constraint of a build-to, the front part of the building is placed at the start of the property leading to a very flat street appearance. In Town Center it is desirable to have buildings to reinforce the street and also provide texture, to allow for entrances of buildings, improves quality for the pedestrians and space for street trees. Mr. Cherry goes on to give examples of existing properties that would have been affected by this amendment and how it would have changed the landscape in the Borough. This would be a reversion to the previous requirement, zero foot setback. This is only for Town Center Zoning District. The current ordinance is properties mirror what is across the street for build-to regulations. Leaving tiny slivers of land peppered throughout Town Center. The new ordinance would create more daylight street level and allow for space for doorways to not swing open into the sidewalk and provide space for more street trees/planters. This change also does away with the current “adjacent” property requirement, which is vague and confusion for developers. Ms. Scimone asks if there are any concerns about zero side yard setbacks. Mr. Cherry explains the building code requires firewalls, and most major cities adhere to this fire code requirement. Director Flook explained there are some firewalls that provide up to twelve hours of burn-through fire protection for neighboring properties. This will be determined by the use and proximity of the building, clarifying that the building will not be attached, but with a small gap between the buildings. The burn-through rate would affect both structures, preventing fire spread. Parapet walls will be required to slow the spread of fire as well.

Mr. Flynn asks how building maintenance is possible with building being so close. Mr. Flook stated that upper part of the building will not be open, so the building will not be exposed to the elements, expanding the lifespan of the building to its maximum. 3:0 Motion to move forward with amendment.

- B. Discuss amended 410 S. High St revised plan (attachment)
Issue: Update on Land Development process-Director Flook reviews the changes to this Land Development application. This plan is a townhouse community with a one-way street access in the Town Center Zoning District. This revised plan will go to the Planning Commission when ready then on to Committee, then Council. This plan is more in keeping with the surrounding neighborhood than the previous presented plan for this property. Ms. Scimone added she believed the TC district was created to incorporate this parcel when there was a fast-food restaurant. Mr. Flook added that these 42-46 townhomes will be on the more affordable range for new home construction in the Borough.

- C. Consider directing the Solicitor to attend Zoning Hearing Board (attachment)
 - 1. 1032- 436 N. Church St: Decrease allowable side yard and rear yard setback
 - 2. 1033-210-214 W. Washington St: Exceed allowable building coverage

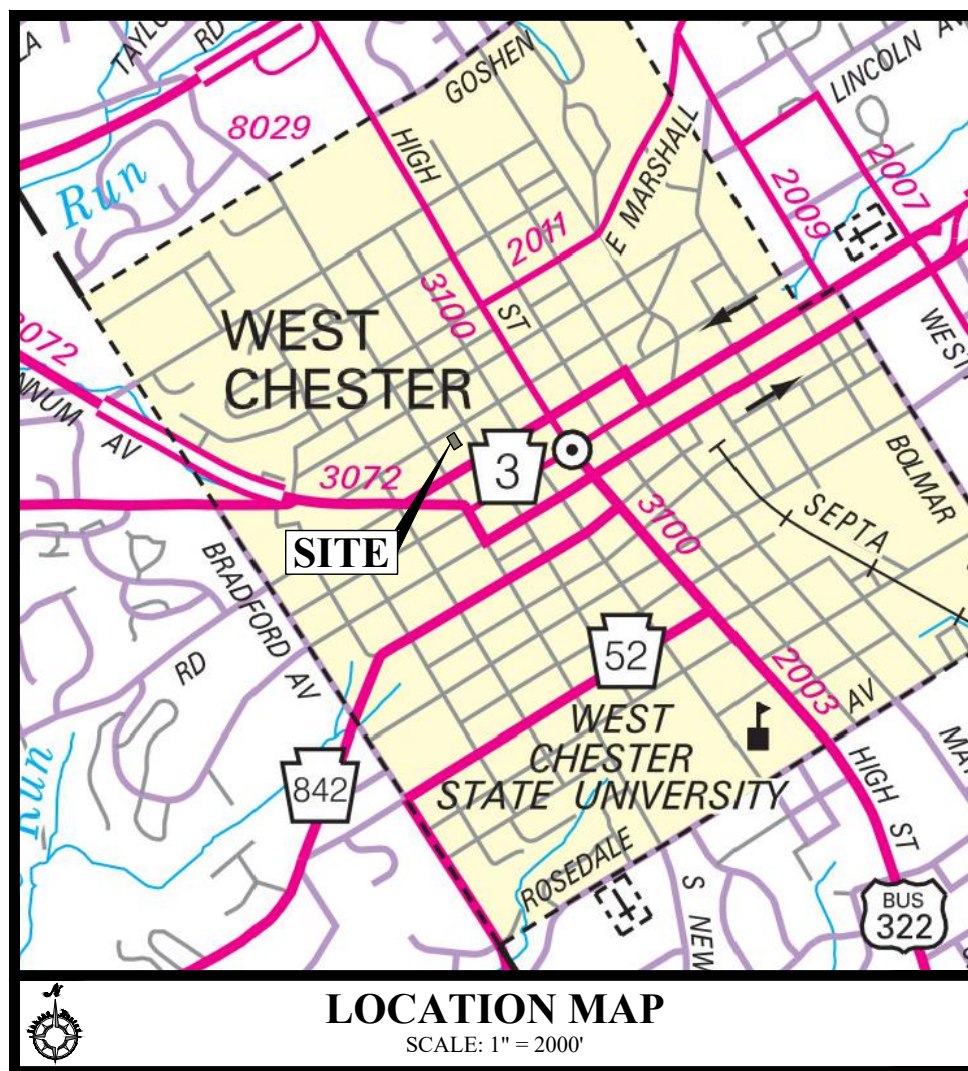
Director Flook informs the Committee that the Zoning Hearing Board application for 531 Marshall Drive has been withdrawn by the applicant. He goes on to recommend the Solicitor attend the Zoning Hearing to oppose 436 N. Church St. application, and recommends the Solicitor not attend to oppose the application for 210-214 W. Washington St. Ms. Lisa Kearns, W. Biddle St., asks what criteria is used to determine which properties follow the rules and which one don't. Director Flook responded by what is the highest use of the property. Also, how can an existing non-conformity be brought closer into conformity. Only the Zoning Hearing Board can determine the best use of the property, but when the Borough feels it's not, the Solicitor can be sent to oppose. Ms. Scimone confirms with other Committee members; all agree with these directions.

- D. Motion to approve HARB applications (attachment) -3:0 Motion to approve
Issue: Consider a Motion to approve the August HARB Certificate of Appropriateness
 - 1. 2025-27: 18 S. Church St-Replace porch roof
 - 2. 2025-28: 20 N. Matlack St-Replace mural
- E. Discuss amending Chapter 112 – 602 Zoning referencing curbs and streets (attachment)-Mr. Flook discusses the changes to the ordinance, giving the Zoning Officer the ability to waive the curb requirement when deemed necessary. It will also remove “alley” from the “streets” definitions. Dana DiDominco, Borough Executive Assistant, asks if a public meeting should be scheduled and advertised for the public. Ms. Scimone confirmed.
- F. Motion to appoint Zoning Officer.- 3:0 Motion to approve. Ms. Scimone and Mr. Flynn praised Mr. Flook on his performance thus far as Director of Building, Housing and Code Enforcement.
- G. Other business-Mr. Flynn asked Mr. Flook to give a presentation regarding the increase to those putting items in the right of way in front of businesses. Mr. Flynn reminds Committee that brick and mortar stores may have sidewalk sales four times a year per ordinance. Mr. Flynn has received complaints of businesses around the Borough placing random items on the sidewalks. Director Flood informed the Committee there is an ordinance that provides for a minimum three feet opening in the middle of the sidewalk. 95.11 (b) ordinance states that the sidewalk cannot be used for anything but a sidewalk. It goes on to clarify that additional activity on sidewalks require Borough Council approval. Café Permits are required to place seating on the sidewalks. He recommends public education on this matter rather than punishment moving forward. The department will follow up with the at fault businesses and reminded all to submit all complaints through the Report a Concern (not Police) Portal on the landing page of the Borough website. This gives the department the opportunity to track and improve service.

Mr. Flook introduces Jimmer Breen, Chair, Public Art Commission working with Mayor Baptiste to discuss the details of a proposed mural. This mural would be on the east facing wall of the American Legion Building at 305 E. Gay St. with some possibility of expansion. This mural would be in celebration of the 250th United States semiquincentennial. This timeline is required for a Call for Art and having artist submit their ideas. Ms. Scimone asks if there will be money requested for this project. Direct Flook determined, not at this time as this is still very preliminary. Mr. Breen added that across the street at 254 E. Gay St has a corresponding east-facing elevation that may continue the mural, having the design across the street, acting as a gateway into the Borough. 3:0 agree to Call of Art.

VII. Adjournment-8:44pm

visit www.west-chester.com for access to all attachments. Agendas are posted to www.west-chester.com by noon 3 business days prior to the meeting.



LOCATION MAP
SCALE: 1" = 2000'

- GENERAL NOTES:**
- TOTAL TRACT AREA = 0.383 ACRES (16,883 S.F.)
 - TAX PARCEL NUMBERS: UPls: 1-8-147, 1-8-147.1, AND 1-8-148.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - BOUNDARY INFORMATION SHOWN PER FIELD SURVEY PERFORMED IN JUNE 2024 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE 2024 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL = 2 FOOT.
 - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 18, 2024.
 - THE PROPERTY IS LOCATED WITHIN THE NC-2 - NEIGHBORHOOD CONSERVATION ZONING DISTRICT FOR SINGLE-FAMILY ATTACHED DWELLINGS.
 - THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTY PER THE NATIONAL WETLANDS INVENTORY.
 - THERE IS NO 100-YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0210G, EFFECTIVE SEPTEMBER 29, 2017.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE. THE ENTIRE SITE FALLS WITHIN THE SOIL CLASSIFICATION OF URB - URBAN LAND.
 - SITE GEOLOGY IS CHARACTERIZED AS Fgp: FELSIC GNEISS.
 - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
 - THE SITE IS LOCATED IN THE TAYLOR RUN WATERSHED WHICH IS TRIBUTARY TO THE BRANDYWINE CREEK WATERSHED. THE CHAPTER 59 DESIGNATION FOR TAYLOR RUN: TROUT STOCKING (TSF), MIGRATORY FISHES (MF).
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
 - A HOMEOWNER'S ASSOCIATION WILL BE CREATED FOR THE PURPOSES OF MAINTAINING ALL COMMON ELEMENTS INCLUDING, BUT NOT LIMITED TO DRIVEWAYS, STORMWATER MANAGEMENT FACILITIES, SIDEWALKS, LANDSCAPING AND ANY OTHER RELATED ELEMENTS.
 - THE SITE DEVELOPER SHALL BE RESPONSIBLE TO COORDINATE WITH A PROFESSIONAL LAND SURVEYOR TO SET ALL PROPOSED BOUNDARY MONUMENTATION AT THE COMPLETION OF CONSTRUCTION.
 - THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO ENSURE THAT NO DAMAGE OCCURS TO EXISTING CURBING OR ROADWAYS. ANY DAMAGE WILL REQUIRE IMMEDIATE REPAIR TO THE BOROUGH'S SATISFACTION. ADDITIONALLY, WEST CHESTER BOROUGH MUST ACCEPT MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING ROADS. ANY MUD, DIRT OR DEBRIS OFFSITE / ON THE ROADS SHALL BE IMMEDIATELY CLEANED/REMOVED.
 - THERE ARE NO STREETS, RIGHTS-OF-WAY, OR ANY PUBLIC USE INTENDED FOR DEDICATION BY THIS PLAN.
 - ALL UTILITY LINES INCLUDING BUT NOT LIMITED TO ELECTRIC, GAS, STREETLIGHT SUPPLY, AND TELEPHONE SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, MUNICIPAL AUTHORITY OR OTHER PUBLIC UTILITY CONCERNED.
 - STORMWATER MANAGEMENT SHOWN PER PROJECT NARRATIVE AND POST CONSTRUCTION MANAGEMENT CALCULATIONS FOR MAZ CONSTRUCTION, 210-214 WEST WASHINGTON STREET, WEST CHESTER BOROUGH, CHESTER COUNTY, DATED SEPTEMBER 30, 2024, LAST REVISED APRIL 2, 2025.
 - IN ACCORDANCE WITH SECTION 97-38.1.E. THE APPLICANT IS PROPOSING TO PROVIDE A FEE IN LIEU OF ACREAGE TO BE SET ASIDE FOR RECREATION AND OPEN SPACE.
 - AFTER ALL PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED THE FULL WIDTH OF WASHINGTON STREET AND PATTON ALLEY SHALL BE MILLED AND OVERLAID FOR THE EXTENT OF THE FRONTAGE OF THE PROPERTY.
 - ACCESS TO THE ALLEYS, ADJACENT RESIDENTIAL DRIVEWAYS AND THE WASHINGTON STREET SIDEWALK SHALL BE AVAILABLE AT ALL TIMES AND NOT UTILIZED FOR CONSTRUCTION PURPOSES. IF CONSTRUCTION REQUIRES TEMPORARY CLOSURE OF AN ALLEY OR SIDEWALK, SIGNAGE AND DETOURS SHALL BE POSTED PER WEST CHESTER BOROUGH REQUIREMENTS.
 - EACH NEW DWELLING SHALL BE CONSTRUCTED TO PROVIDE A DEDICATED BRANCH CIRCUIT AND OVER CURRENT PROTECTION TO ACCOMMODATE A FUTURE LEVEL 2 EVCS INSTALLATION, WITH A WIRED RECEPTACLE AND RACEWAY TERMINATION WITHIN CLOSE PROXIMITY TO VEHICLE PARKING.
 - THE ONE-CAR GARAGE IN EACH DWELLING SHALL MAINTAIN A 9-FOOT BY 18-FOOT OPEN PARKING SPACE AREA.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGED SECTIONS OF EXISTING SEWER MAIN THAT IS ENCOUNTERED/CAUSED DURING LATERAL CONNECTIONS.
 - PRE AND POST LATERAL CONNECTION TV INSPECTION OF THE EXISTING PATTON ALLEY SEWER MAIN SHALL BE COMPLETED BY THE DEVELOPER.

WAIVER REQUESTS:

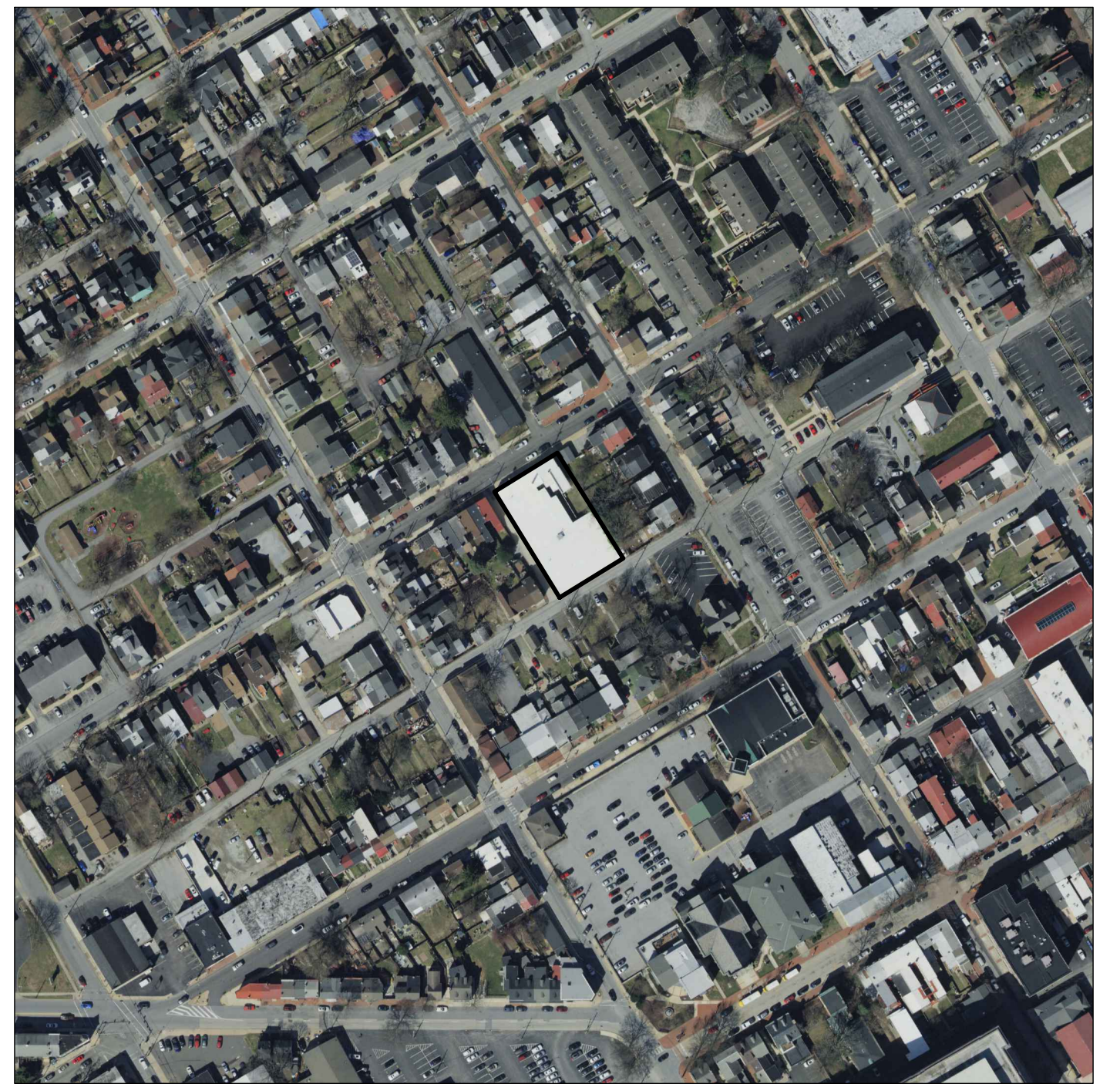
- THE FOLLOWING WAIVERS ARE REQUESTED FROM THE WEST CHESTER BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- 897-27(F)- THE APPLICANT REQUESTS A WAIVER FROM THE REFERENCED SECTION OF THE ORDINANCE THAT REQUIRES 75-FOOT CLEAR-SIGHT TRIANGLES BE PROVIDED AT THE ALL STREET INTERSECTIONS. THE 15-FOOT CLEAR-SIGHT TRIANGLE AT THE BIRDEYE ALLEY INTERSECTION WITH WASHINGTON STREET AND PATTON ALLEY IS BLOCKED BY EXISTING BUILDINGS ON ADJOINING PROPERTIES AND THE PROPOSED NEW DWELLINGS ON OUR SITE.
 - 897-27(F)- THE APPLICANT REQUESTS A WAIVER FROM THE REFERENCED SECTION OF THE ORDINANCE THAT REQUIRES STREET INTERSECTIONS OF A STREET WITH A 25 MPH POSTED SPEED HAVE A MINIMUM SIGHT DISTANCE OF 175- FEET, MEASURED FROM A POINT 15- FEET FROM THE INTERSECTED PAVEMENT EDGE. THE SIGHTLINE FOR THE BIRDEYE ALLEY INTERSECTION WITH WASHINGTON STREET, MEASURED 15- FEET BACK IS BLOCKED BY AN EXISTING BUILDING. THE SIGHTLINE FOR THE BIRDEYE ALLEY INTERSECTION WITH PATTON ALLEY IS BLOCKED BY AN EXISTING BUILDING TO THE WEST AND THE PROPOSED BUILDINGS TO THE EAST. AN EXHIBIT SHOWN IN THE TRAFFIC STUDY SHOWS THAT THE REQUIRED SIGHT DISTANCE (175') IS ACHIEVABLE MEASURED 12.2 FEET BACK AT THE WASHINGTON INTERSECTION AND 10.5 FEET BACK AT THE PATTON INTERSECTION.

FINAL LAND DEVELOPMENT PLAN FOR AXLE SQUARE, LLC

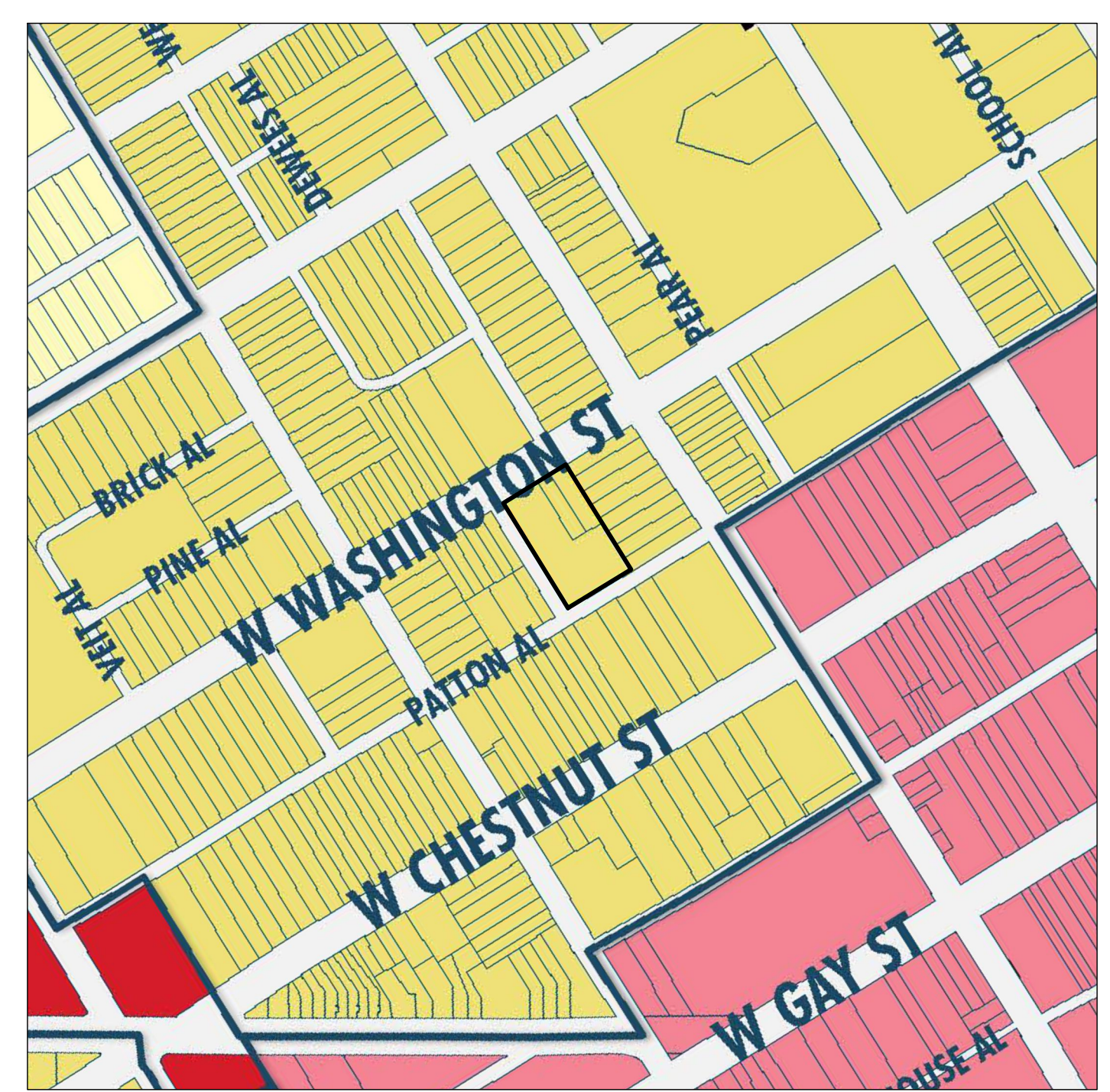
210-214 WEST WASHINGTON STREET, WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA



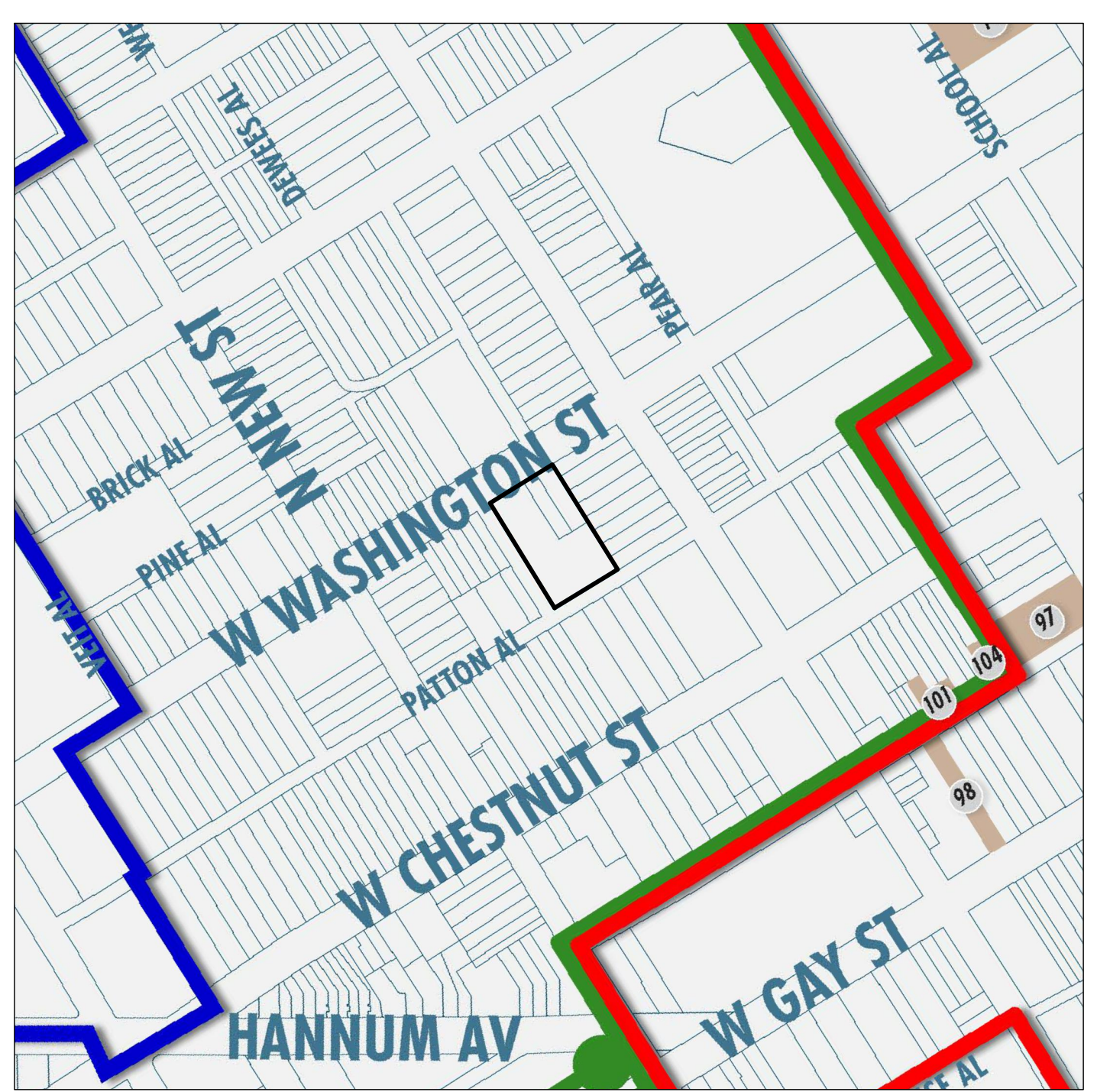
USGS MAP
SCALE 1:200



AERIAL MAP
SCALE 1:200



ZONING MAP
SCALE 1:200



HISTORIC RESOURCE PROTECTION MAP
SCALE 1:200

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TITLE PLAN
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	LAYOUT PLAN
5	IMPROVEMENTS CONSTRUCTION PLAN
6	PCSM PLAN
7	PCSM DETAILS
8	CONSERVATION & EROSION & SEDIMENT CONTROL PLAN
9	EROSION & SEDIMENT CONTROL DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE & LIGHTING DETAILS
12	CONSTRUCTION DETAILS
13	VEHICLE TURNING PLAN
14	TRUCK TURNING PLAN

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF SUBDIVISION AND LAND DEVELOPMENT PLANS

ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THAT THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN. MY COMMISSION EXPIRES: _____

(NOTARY PUBLIC OR OTHER OFFICER)

REVIEWED BY THE PLANNING COMMISSION OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.

SECRETARY

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CCPC FILE # _____

BOROUGH ENGINEER

APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.

BOROUGH ENGINEER

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CHESTER, AT WEST CHESTER, PA, IN PLAN BOOK _____, PAGE NO. _____ ON THE _____ DAY OF _____, 20____.

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CHESTER, AT WEST CHESTER, PA, IN PLAN BOOK _____, PAGE NO. _____ ON THE _____ DAY OF _____, 20____.

ENGINEER'S CERTIFICATION:

I, SCOTT J. ZWIZANSKI, ON THIS DATE _____, HEREBY CERTIFY THAT THE PLANS ARE IN CONFORMITY WITH ZONING, BUILDING, SUBDIVISION AND OTHER APPLICABLE BOROUGH CHAPTERS AND REGULATIONS. IN ANY INSTANCE WHERE SUCH PLANS DO NOT CONFORM, EVIDENCE SHALL BE PRESENTED THAT AN EXCEPTION OR MODIFICATION HAS BEEN GRANTED OR AUTHORIZED.

Scott J. Zwizanski
SCOTT J. ZWIZANSKI, P.E.

APPLICANT'S CERTIFICATION:

I, _____, ON THIS DATE _____, HEREBY CERTIFY THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITATION, AND OTHER APPLICABLE BOROUGH CHAPTERS AND REGULATIONS. IF PROPOSED ZONING CHANGES ARE SHOWN, THEN THE SUGGESTED LOCATIONS OF BUILDINGS IN CONNECTION THEREWITH ARE IDENTIFIED HEREON.

APPLICANT

ZONING DATA NC-2 NEIGHBORHOOD CONSERVATION DISTRICT SINGLE-FAMILY ATTACHED

DESCRIPTION	REQUIRED	EXISTING			PROPOSED
		UPE: 1-8-147.1	UPE: 1-8-147	UPE: 1-8-148	
MINIMUM LOT AREA PER DWELLING UNIT	MEDIAN VALUE OF LOTS ON THE BLOCK FACE	12,359 S.F.	2,262 S.F.	2,262 S.F.	16,883 S.F. (0.39 AC.)
LOT WIDTH, MINIMUM (ATTACHED)		20 FEET	50 FEET	25 FEET	100 FEET
BUILD-TO LINE/FRONT YARD	MATCH EXISTING ADJACENT SETBACKS	0 FEET	0 FEET	0 FEET	0.5 FEET (WASHINGTON) 10.3 FEET (PATTON)
SIDE YARD, MINIMUM	EXISTING ADJACENT, 10 FEET MINIMUM	0 FEET	0 FEET	0 FEET	10 FEET
REAR YARD, MINIMUM		20 FEET	0 FEET	40 FEET	40 FEET
MAX. IMPERVIOUS COVERAGE	50% (LOTS OVER 5,000 S.F.) 80% (LOTS UNDER 4,000 S.F.)	98.3% (12,147 S.F.) *	84.2% (1,904 S.F.) *	40.0% (905 S.F.)	48.7% (8,218 S.F.)
MAX. BUILDING COVERAGE	35% (LOTS OVER 5,000 S.F.) 45% (LOTS UNDER 4,000 S.F.)	97.3% (12,028 S.F.) *	71.9% (1,627 S.F.) *	30.2% (684 S.F.)	45.5% (7,680 S.F.)
MAXIMUM BUILDING HEIGHT		35 FEET	< 35 FEET	< 35 FEET	34.17 FEET

* EXISTING NON-CONFORMITY.

TOTAL EXISTING IMPERVIOUS COVERAGE OF THE THREE EXISTING PARCELS COMBINED IS 88.6% (14,956 S.F.). THE TOTAL PROPOSED IMPERVIOUS COVERAGE OF THE CONSOLIDATED LOT IS 44.7% (7,548 S.F.). THIS IS A TOTAL REDUCTION OF 43.9% (7,408 S.F.).

OWNER / APPLICANT:
AXLE SQUARE, LLC
833 LINCOLN AVE. #1
WEST CHESTER, PA 19380
ATTN: MICHAEL ZAPPITELLI

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UP1: 1-8-147 | UPI: 1-8-147.1 | UPL: 1-8-148

Pennsylvania One Call System
PA. act 172 of 1986 requires three working days notice
Serial Number:
20241660254

PENNSYLVANIA ACT 187 REQUIREMENTS:
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West Chester, PA 19382 Fax: (484) 947-2946
www.InLandDesign.net Info@InLandDesign.net

PROFESSIONAL ENGINEER
SCOTT J. ZWIZANSKI
ENGINEER
PE091752

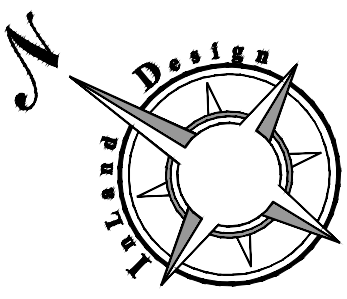
No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

FINAL LAND DEVELOPMENT PLAN

Date: 9/30/2024
Scale: AS NOTED
Drawn by: DWN
Checked by: SJZ
Project No. 12308

COVER SHEET FOR AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET 1 OF 14

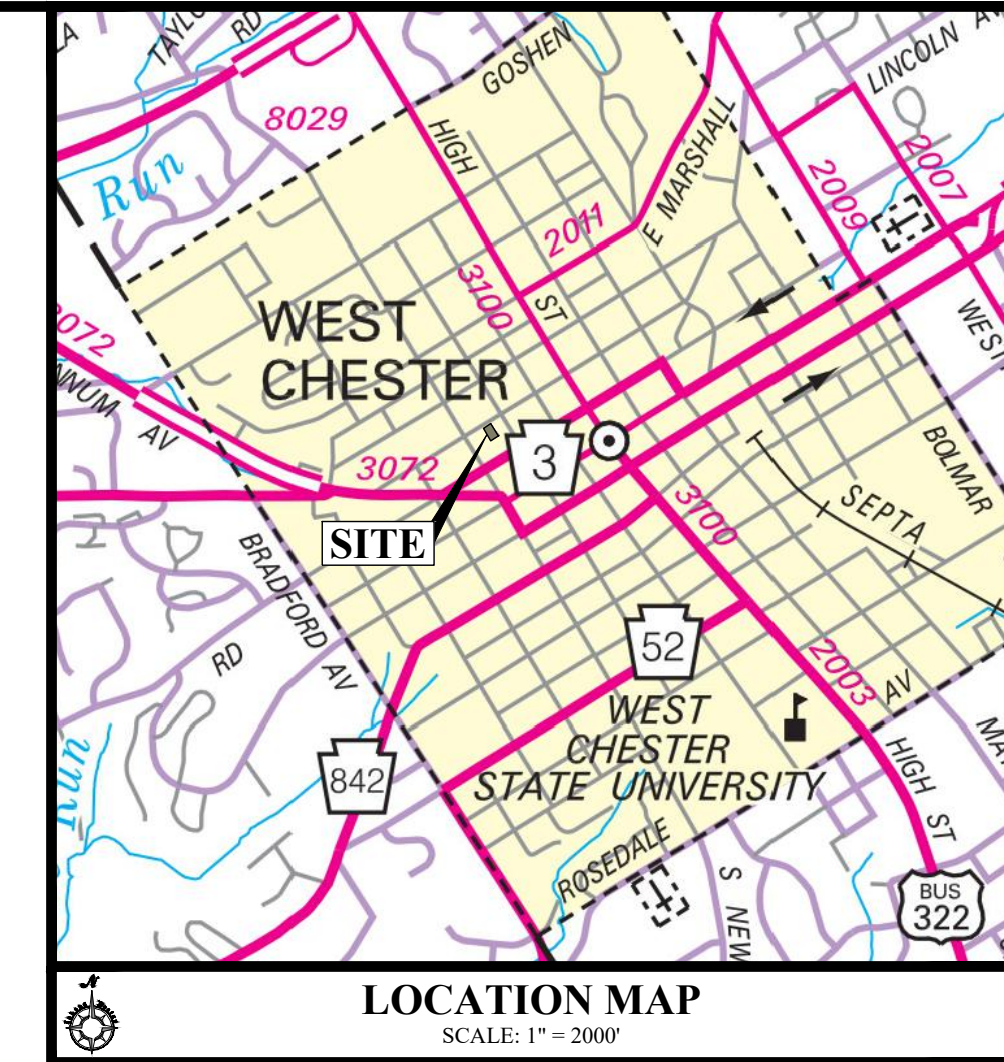
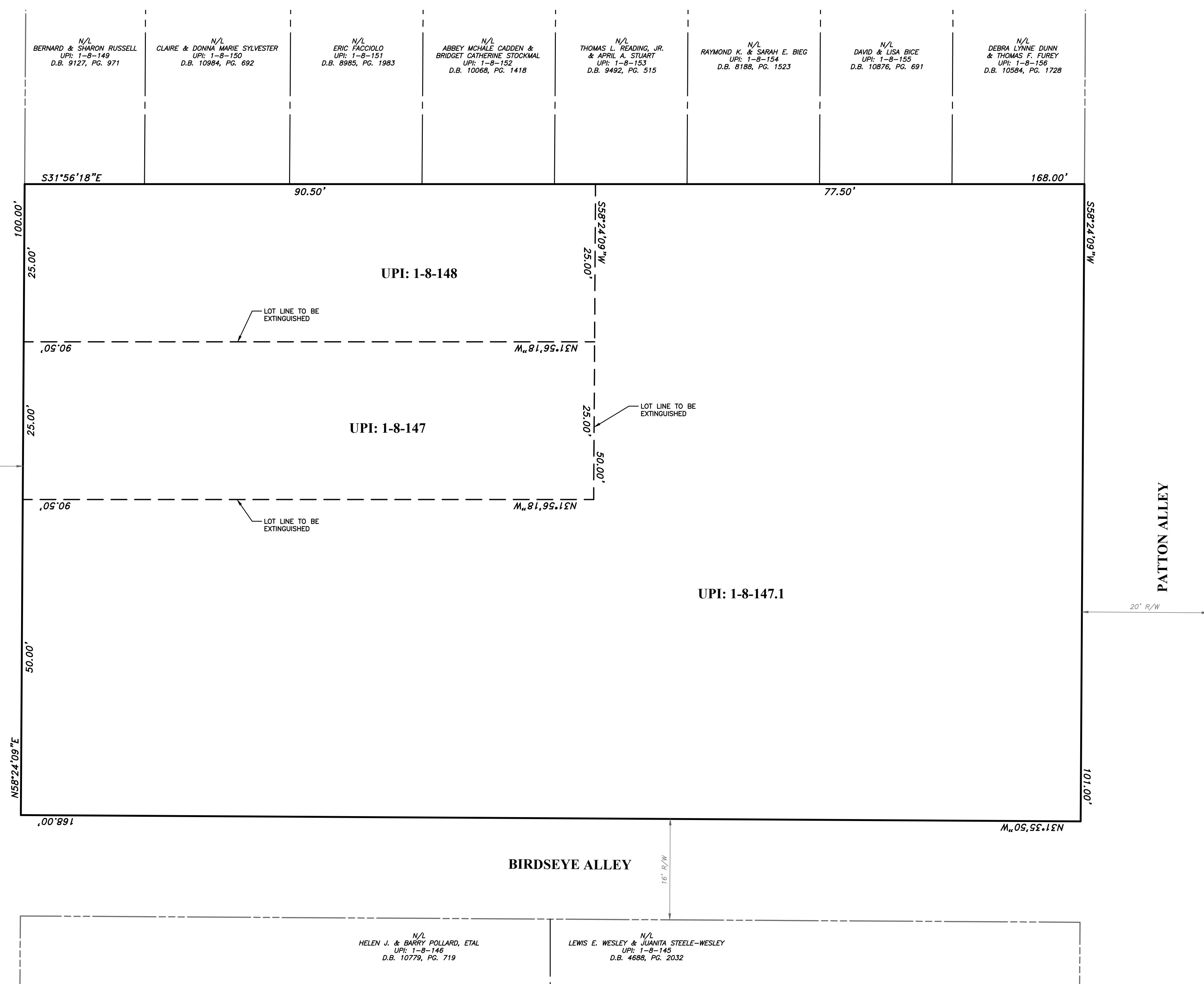


MADISON ALLEY

WASHINGTON STREET
ONE WAY

PATTON ALLEY

BIRDSEYE ALLEY



TITLE NOTES:
1. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TAX PARCELS 1-8-147, 1-8-147.1 AND 1-8-148 INTO ONE LOT BY EXTINGUISHING THE SHARED LOT LINES BETWEEN THEM RESULTING IN A PROPOSED TRACT AREA OF 16,883 S.F. (0.388 ACRES).
2. THERE ARE NO STREETS, RIGHTS-OF-WAY, OR ANY PUBLIC USE INTENDED FOR DEDICATION BY THIS PLAN.
3. PERMANENT IRON PINS SHALL BE SET AT ALL CORNERS AND/OR ANGLE POINTS OF THE CONSOLIDATED PARCELS. NO OCCUPANCY PERMITS WILL BE ISSUED AND NO PUBLIC IMPROVEMENTS WILL BE ACCEPTED BY THE BOROUGH UNTIL ALL MONUMENTS ARE IN PLACE.

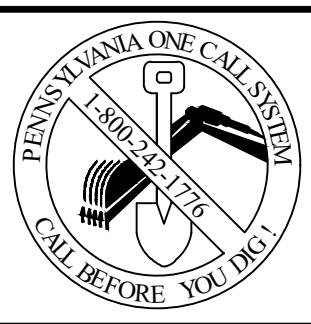
AREA OF TRACT:

UPI: 1-8-147		
GROSS LOT AREA	2,262 S.F.	0.052 AC.
AREA WITHIN RIGHT-OF-WAY	0 S.F.	0.000 AC.
NET LOT AREA	2,262 S.F.	0.052 AC.
UPI: 1-8-147.1		
GROSS LOT AREA	12,359 S.F.	0.284 AC.
AREA WITHIN RIGHT-OF-WAY	0 S.F.	0.000 AC.
NET LOT AREA	12,359 S.F.	0.284 AC.
UPI: 1-8-148		
GROSS LOT AREA	2,262 S.F.	0.052 AC.
AREA WITHIN RIGHT-OF-WAY	0 S.F.	0.000 AC.
NET LOT AREA	2,262 S.F.	0.052 AC.
CONSOLIDATED PARCEL		
GROSS LOT AREA	16,883 S.F.	0.388 AC.
AREA WITHIN RIGHT-OF-WAY	0 S.F.	0.000 AC.
NET LOT AREA	16,883 S.F.	0.388 AC.

LEGEND
 PROPERTY BOUNDARY
 PROPERTY BOUNDARY TO BE EXTINGUISHED
 ADJOINING PROPERTY LINE
 EXISTING RIGHT OF WAY LINE

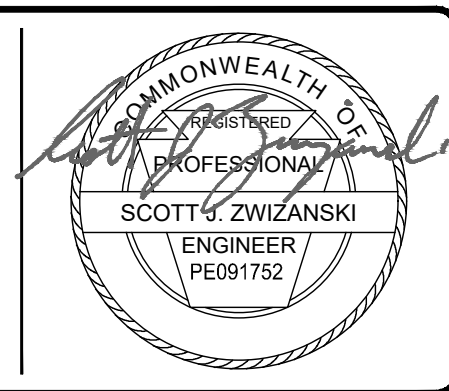
OWNER / APPLICANT:
AXLE SQUARE, LLC
833 LINCOLN AVE, #1
WEST CHESTER, PA 19380
ATTN: MICHAEL ZAPPITELLI

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Pennsylvania One Call System
PA act 172 of 1986 requires three working days notice
Serial Numbers:
20241660254
PENNSYLVANIA ACT 187 REQUIREMENTS:
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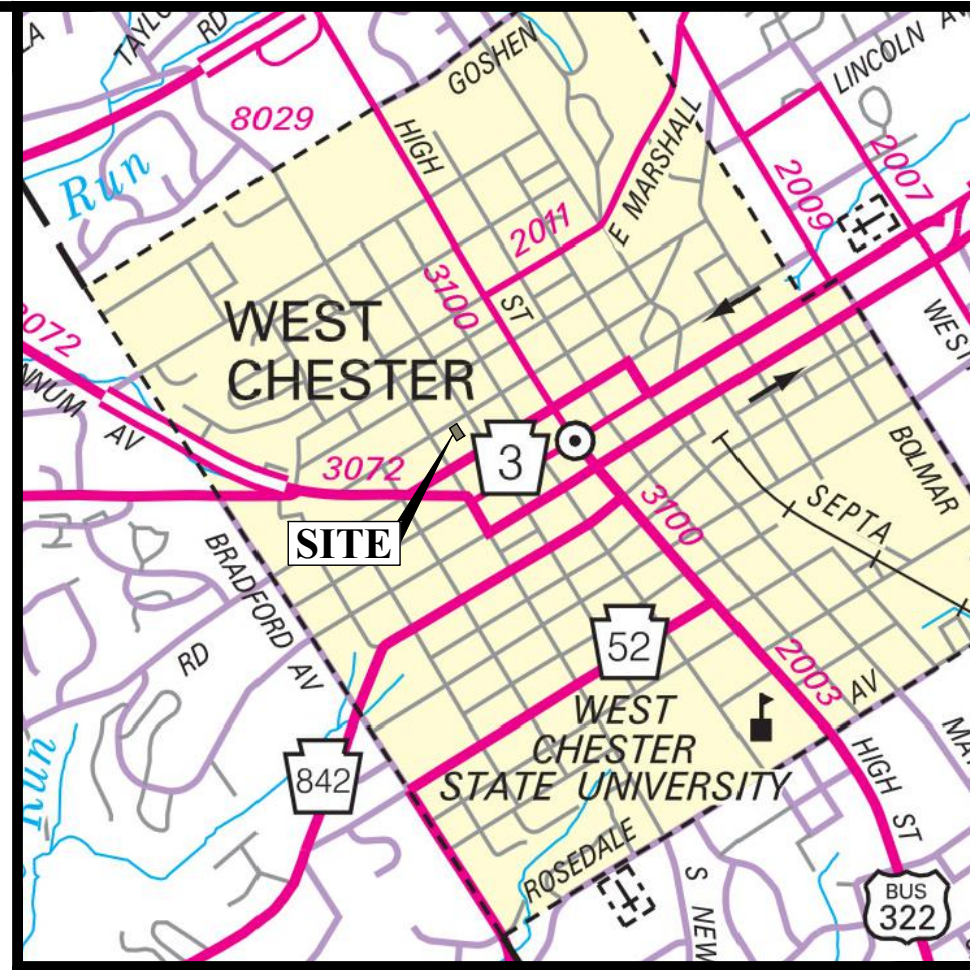
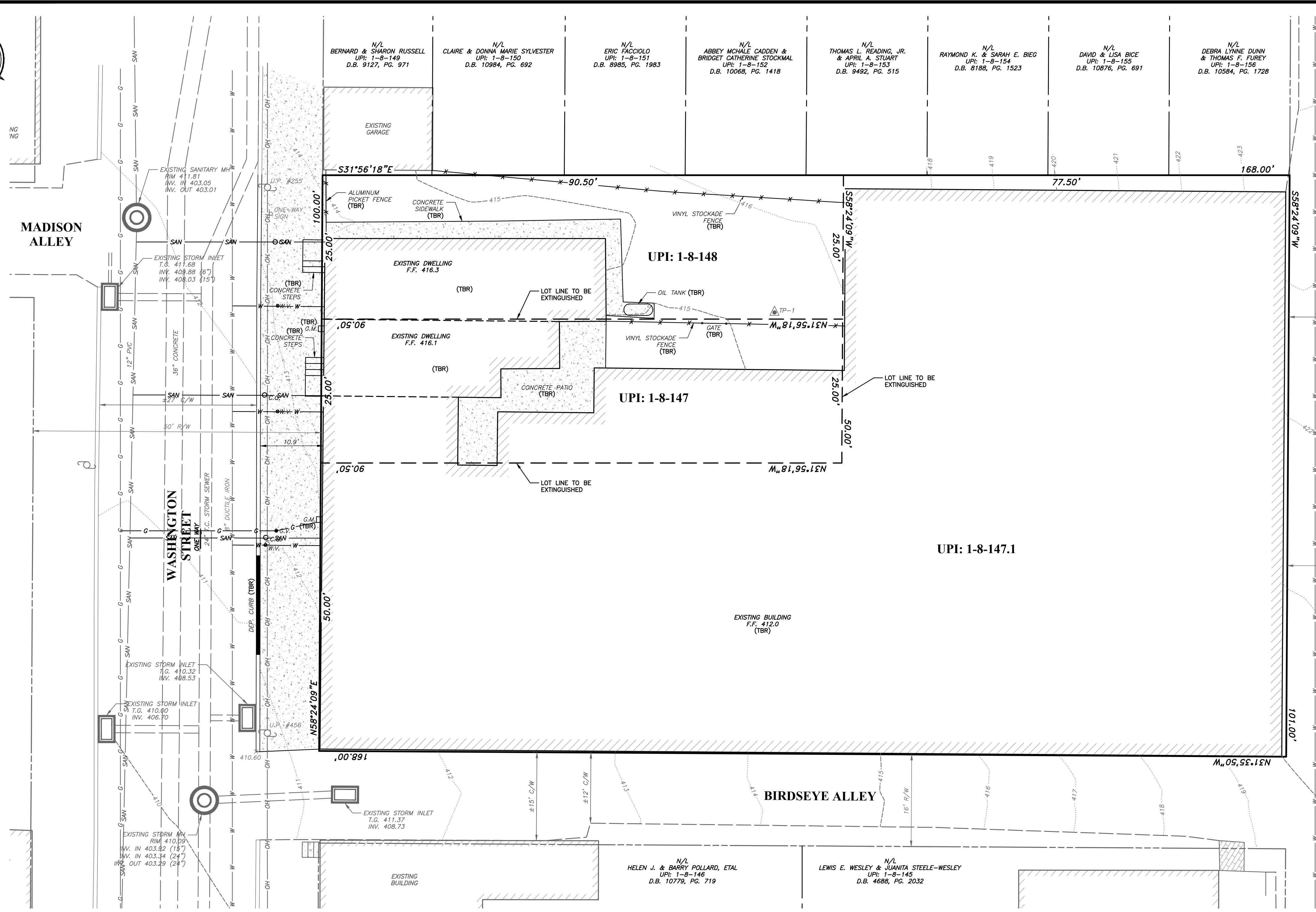
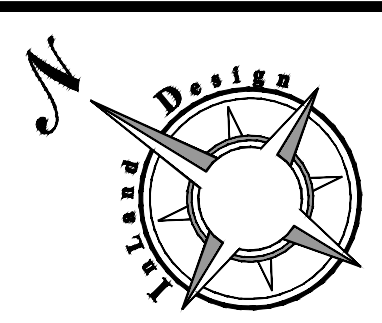
No.	Date:	Description:
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4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

FINAL LAND DEVELOPMENT PLAN
GRAPHIC SCALE
0 5 10 20 40
(IN FEET)
1 inch = 10'

Date: 9/30/2024
Scale: 1" = 10'
Drawn by: DWN
Checked by: DWN
Project No. **12308**

TITLE PLAN FOR
AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

S H E E T
2
OF 14



LOCATION MAP
SCALE: 1" = 2000'

DEMOLITION NOTES:

- 1. THE EARTHWORK/SITE CONTRACTOR SHALL REMOVE AND/OR DEMOLISH ALL OF THE ANCILLARY FEATURES WHICH INTERFERE AND/OR CONFLICT WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, FENCES, FENCE POSTS AND FOOTINGS, POSTS, VEGETATION, PADS, STEPS, SIGNS, BOLLARDS, CURBING, RAILINGS, ETC., INCLUDING EXISTING IMPROVEMENTS THAT MAY NOT BE SHOWN ON THESE PLANS. REMOVAL OF TREES MUST INCLUDE REMOVAL OF THE STUMPS.
2. THE EARTHWORK/SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY PROVIDERS/OWNERS TO DISCONNECT THE EXISTING UTILITY SERVICES TO THE EXISTING BUILDINGS) AND/OR SITE PRIOR TO BEGINNING DEMOLITION. SERVICES, INCLUDING BUT NOT LIMITED TO STORM SEWER, ELECTRIC, SANITARY SEWER, GAS, TELEPHONE, AND WATER, MUST BE REMOVED AS DIRECTED BY THE APPROPRIATE UTILITY PROVIDERS/OWNERS.
3. THE EXISTING SANITARY SEWER LATERALS IN WASHINGTON ST. ARE PROPOSED TO BE FULLY REPLACED IN THEIR EXACT SAME LOCATION AND USED FOR PROPOSED WASHINGTON ST. DWELLINGS A, B AND C. IF THE EXISTING LATERAL LOCATION FOR EITHER OF THESE THREE UNITS CAN NOT BE REUSED, IT SHALL BE CUT AND CAPPED AT THE SEWER MAIN TO MINIMIZE THE FUTURE RISK OF INFILTRATION.
4. ALL DEBRIS FROM THE DEMOLISHED STRUCTURES THAT IS NOT REUSED AS FILL IS TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE STANDARDS. DEMOLISHED MATERIALS REUSED AS FILL MATERIAL SHALL BE COMPLETED PER THE DIRECTION OF THE SOILS ENGINEER.
5. ALL DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE, AND/OR OTHER GOVERNING BODIES STANDARDS.
6. CONTRACTOR SHALL IMPLEMENT MEASURES TO PREVENT DUST FROM LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
7. ANY EXISTING IMPROVEMENTS THAT ARE NOT TO BE DEMOLISHED, EITHER ON-SITE OR OFF-SITE (I.E. EXISTING ROAD, EXISTING CURBING, EXISTING UTILITIES, ETC.) DAMAGED BY THE EARTHWORK/SITE CONTRACTOR DURING CONSTRUCTION MUST BE REPAIRED BY THE EARTHWORK/SITE CONTRACTOR TO THEIR PRE-CONSTRUCTION CONDITION.
8. DEMOLITION OF CURBING AND/OR SIDEWALK (INCLUDING STONE BASE) SHALL EXTEND TO THE FIRST CONSTRUCTION OR EXPANSION JOINT BEYOND THE LIMIT OF DEMOLITION SHOWN ON THE PLANS. REPLACE WITH NEW CURB AND SIDEWALK (INCLUDING STONE BASE) AS REQUIRED.
9. WHEN CONNECTING TO EXISTING STORM SEWER PIPES AND/OR STRUCTURES, IF THE EARTHWORK/SITE CONTRACTOR FINDS THE EXISTING DOWNSTREAM EXISTING STORM SEWER PIPES AND/OR STRUCTURES BLOCKED AND/OR CLOGGED THE EARTHWORK/SITE CONTRACTOR MUST FLUSH AND/OR CLEAR ALL OF THE BLOCKAGES AND/OR CLOGGING FROM THE CONNECTION POINT TO THE EXISTING STORM SEWER PIPING OUTFALL POINT.
10. WHERE APPLICABLE, THE EARTHWORK/SITE CONTRACTOR SHALL PLUG EXISTING DRAINAGE STRUCTURES WITH BRICK AND NON-SHRINK GROUT.
11. DEMOLITION OF THE EXISTING BUILDINGS SHALL BE COMPLETED SO THAT THE EXISTING ROADWAYS AND ADJACENT PROPERTIES ARE NOT DISTURBED.

AREA OF TRACT:

Table with 4 columns: Description, UPI: 1-8-147, UPI: 1-8-147.1, UPI: 1-8-148. Rows include Gross Lot Area, Area Within Right-of-Way, and Net Lot Area for each UPI and a consolidated parcel total.

EXISTING IMPERVIOUS COVERAGE:

Table with 4 columns: Description, UPI: 1-8-147.1, UPI: 1-8-147, UPI: 1-8-148, COMBINED. Rows include Building, Paving/Concrete, and Total.

SOILS DESCRIPTION

Table with 8 columns: Symbol, Description, Slope, Available Water Capacity, Drainage Class, Depth to S.H.W.T., Depth to Bedrock, Capability Unit, Hydrologic Soil Group. Row includes U:B URBAN LAND.

OWNER / APPLICANT:

AXLE SQUARE, LLC
833 LINCOLN AVE. #1
WEST CHESTER, PA 19380
ATTN: MICHAEL ZAPPITELLI

LEGEND: PROPERTY BOUNDARY, PROPERTY BOUNDARY TO BE EXTINGUISHED, ADJOINING PROPERTY LINE, EXISTING RIGHT OF WAY LINE, TEST PIT LOCATION, EXISTING 2' CONTOUR, EXISTING 10' CONTOUR, EXISTING SPOT ELEVATION, EXISTING SIGN, EXISTING CURB LINE, EXISTING ROAD / PAVING, EXISTING CONCRETE PAD, SIDEWALK OR PATIO, EXISTING FENCE LINE, EXISTING STORM STRUCTURES & PIPE, EXISTING SANITARY STRUCTURES & PIPE, EXISTING SANITARY CLEAN-OUT, EXISTING WATER VALVE, EXISTING WATER LINE, EXISTING GAS VALVE, EXISTING GAS LINE, EXISTING UTILITY POLE, EXISTING OVERHEAD WIRE TO BE REMOVED.

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Professional Engineer seal for Scott J. Zwizanski, No. PE091752.

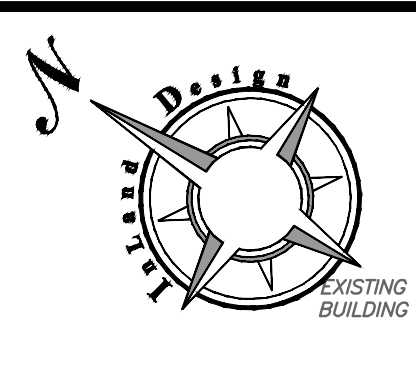
Revision table with columns: No., Date, Description. Includes revisions for municipal review letters, pervious paving, and building footprint.

FINAL LAND DEVELOPMENT PLAN. GRAPHIC SCALE: 1 inch = 10 feet. Scale bar from 0 to 40 feet.

Date: 9/30/2024. Scale: 1" = 10'. Drawn by: DWN. Checked by: SJZ. Project No. 12308.

EXISTING CONDITIONS & DEMOLITION PLAN FOR AXLE SQUARE, LLC. 210-214 WEST WASHINGTON STREET WEST CHESTER, PA, 19380. WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA.

SHEET 3 OF 14



MADISON ALLEY

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

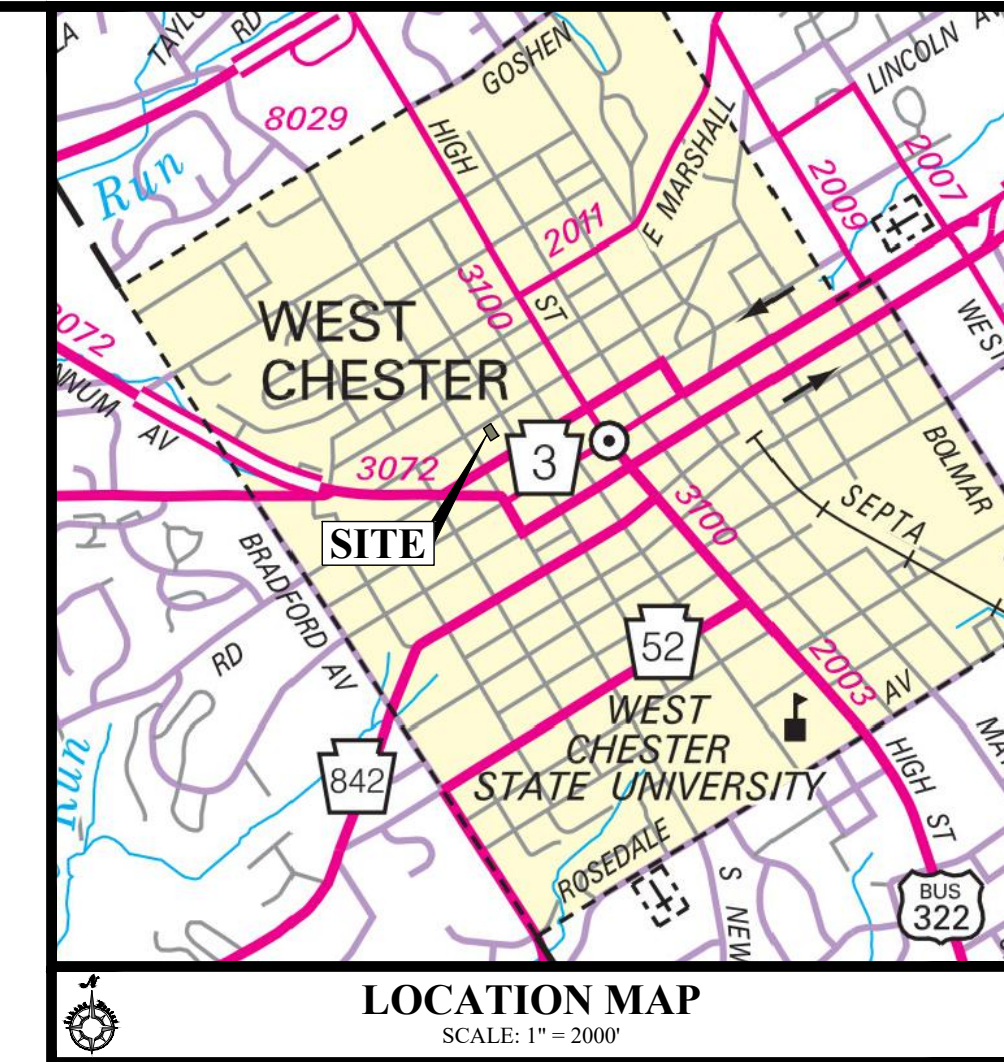
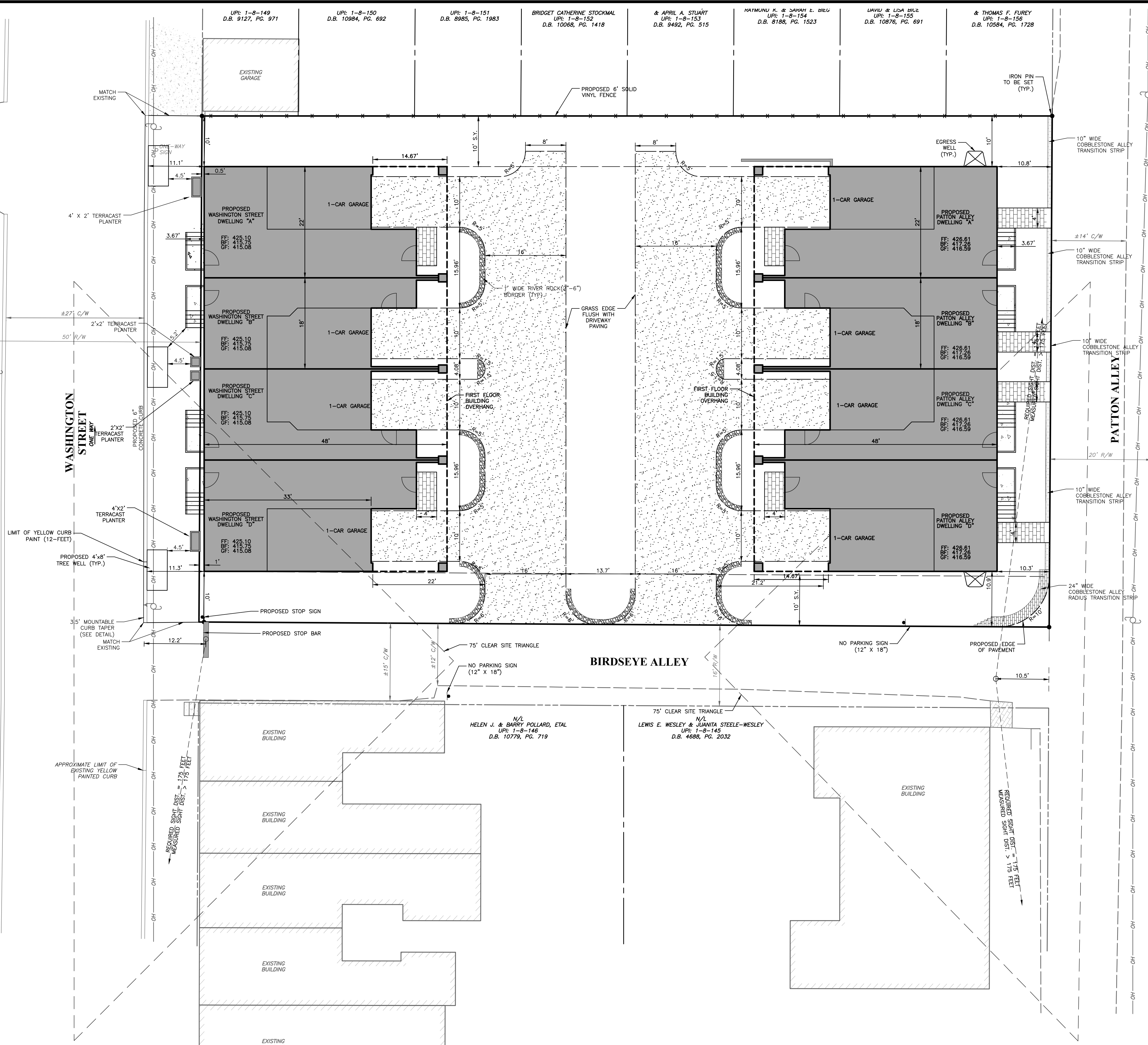
EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING



PROPOSED IMPERVIOUS COVERAGE:

DESCRIPTION	PROPOSED
BUILDING	7,680 S.F.
CONCRETE/BRICK/BELGIAN BLOCK	486 S.F.
EGRESS WELLS	22 S.F.
RETAINING WALL	9 S.F.
PAVING*	21 S.F.
TOTAL IMPERVIOUS	8,218 S.F.

*HATCHED AREAS OF PROPOSED SITE DRIVEWAY AREAS SHALL BE POROUS ASPHALT PAVEMENT.

LEGEND

	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING SIGN
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING CONCRETE PAD, SIDEWALK OR PATIO
	PROPOSED SIGN
	PROPOSED SETBACK LINE
	PROPOSED ROAD / PAVING
	PROPOSED PERVIOUS DRIVEWAY
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BRICK SIDEWALK
	PROPOSED BELGIAN BLOCK TRANSITION

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UP1: 1-8-147 | UP1: 1-8-147.1 | UP1: 1-8-148

PA. act 172 of 1986 requires three working days notice

Serial Number
20241660254

PENNSYLVANIA ACT 187 REQUIREMENTS:
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PROFESSIONAL ENGINEER
SCOTT W. ZWIZANSKI
ENGINEER
PE091752

No.	Date:	Description:
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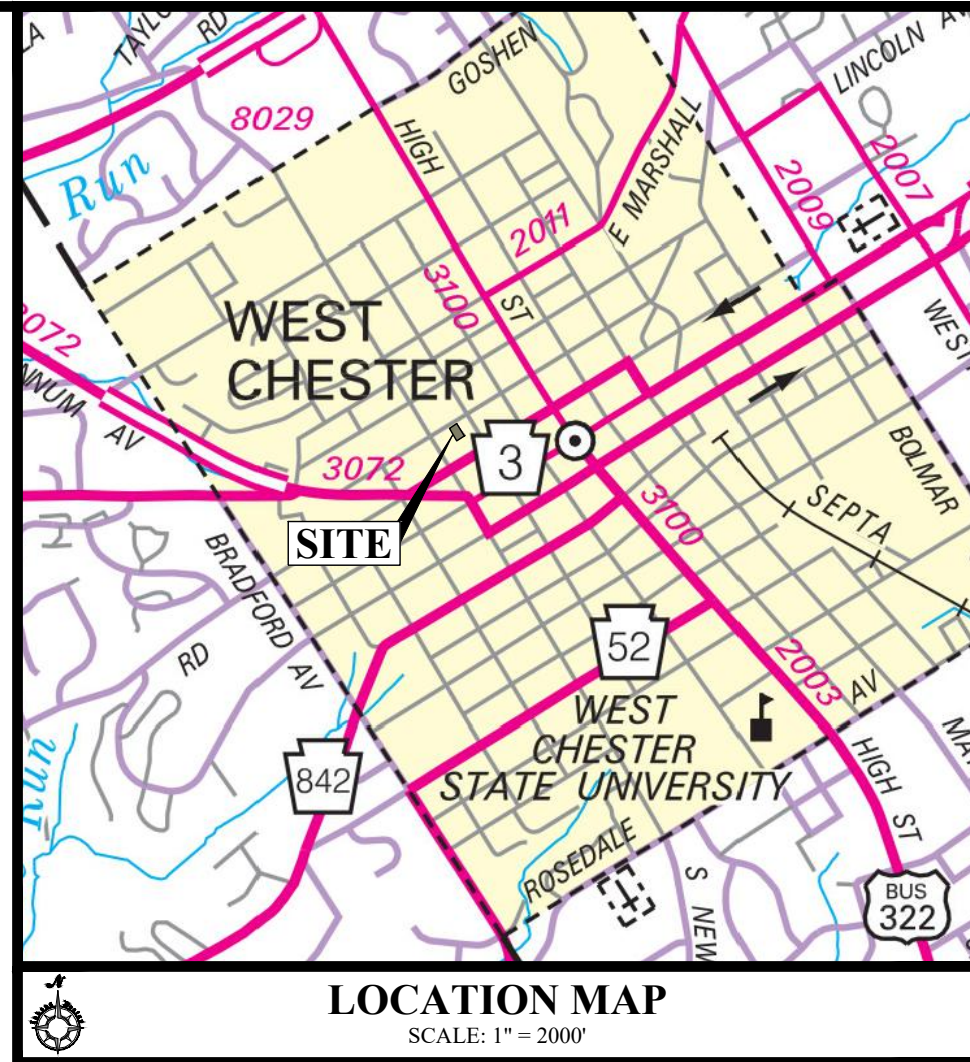
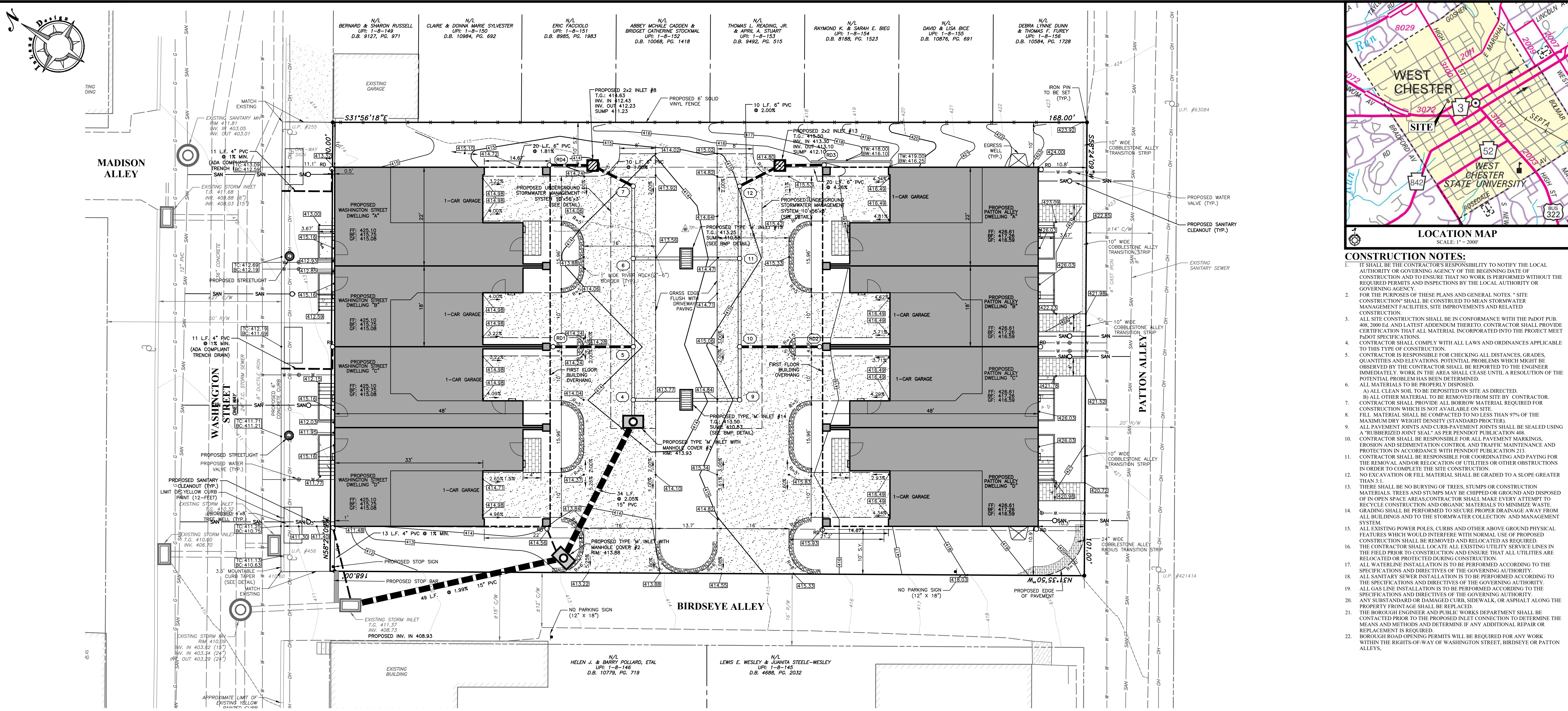
FINAL LAND DEVELOPMENT PLAN

GRAPHIC SCALE
0 5 10 20 40
(IN FEET)
1 inch = 10'

Date: 9/30/2024
Scale: 1" = 10'
Drawn by: DWN
Checked by: SJZ
Project No. 12308

LAYOUT PLAN FOR
AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET
4
OF 14



- CONSTRUCTION NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
 - FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES, "SITE CONSTRUCTION" SHALL BE CONSTRUED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION.
 - ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PDOT PUB. 408, 2000 ED. AND LATEST ADDENDUM THERETO. CONTRACTOR SHALL PROVIDE CERTIFICATION THAT ALL MATERIAL INCORPORATED INTO THE PROJECT MEET PDOT SPECIFICATIONS.
 - CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES APPLICABLE TO THIS TYPE OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES AND ELEVATIONS. POTENTIAL PROBLEMS WHICH MIGHT BE OBSERVED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. WORK IN THE AREA SHALL CEASE UNTIL A RESOLUTION OF THE POTENTIAL PROBLEM HAS BEEN DETERMINED.
 - ALL MATERIALS TO BE PROPERLY DISPOSED.
 - ALL CLEAN SOIL TO BE DEPOSITED ON SITE AS DIRECTED.
 - ALL OTHER MATERIAL TO BE REMOVED FROM SITE BY CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE ALL BORROW MATERIAL REQUIRED FOR CONSTRUCTION WHICH IS NOT AVAILABLE ON SITE.
 - FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 97% OF THE MAXIMUM DRY WEIGHT DENSITY (STANDARD PROCTER).
 - ALL PAVEMENT JOINTS AND CURB-PAVEMENT JOINTS SHALL BE SEALED USING A "RUBBERIZED JOINT SEAL" AS PER PDOT PUBLICATION 408.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT MARKINGS, EROSION AND SEDIMENTATION CONTROL AND TRAFFIC MAINTENANCE AND PROTECTION IN ACCORDANCE WITH PDOT PUBLICATION 213.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REMOVAL AND/OR RELOCATION OF UTILITIES OR OTHER OBSTRUCTIONS IN ORDER TO COMPLETE THE SITE CONSTRUCTION.
 - NO EXCAVATION OR FILL MATERIAL SHALL BE GRADED TO A SLOPE GREATER THAN 3:1.
 - THERE SHALL BE NO BURYING OF TREES, STUMPS OR CONSTRUCTION MATERIALS. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND DISPOSED OF IN OPEN SPACE AREAS. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE CONSTRUCTION AND ORGANIC MATERIALS TO MINIMIZE WASTE.
 - GRADING SHALL BE PERFORMED TO SECURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS AND TO THE STORMWATER COLLECTION AND MANAGEMENT SYSTEM.
 - ALL EXISTING POWER POLES, CURBS AND OTHER ABOVE GROUND PHYSICAL FEATURES WHICH WOULD INTERFERE WITH NORMAL USE OF PROPOSED CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS REQUIRED.
 - THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES IN THE FIELD PRIOR TO CONSTRUCTION AND ENSURE THAT ALL UTILITIES ARE RELOCATED OR PROTECTED DURING CONSTRUCTION.
 - ALL WATERLINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
 - ALL SANITARY SEWER INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
 - ALL GAS LINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
 - ANY SUBSTANDARD OR DAMAGED CURB, SIDEWALK, OR ASPHALT ALONG THE PROPERTY FRONTAGE SHALL BE REPLACED.
 - THE BOROUGH ENGINEER AND PUBLIC WORKS DEPARTMENT SHALL BE CONTACTED PRIOR TO THE PROPOSED INLET CONNECTION TO DETERMINE THE MEANS AND METHODS AND DETERMINE IF ANY ADDITIONAL REPAIR OR REPLACEMENT IS REQUIRED.
 - BOROUGH ROAD OPENING PERMITS WILL BE REQUIRED FOR ANY WORK WITHIN THE RIGHTS-OF-WAY OF WASHINGTON STREET, BIRDSEYE OR PATTON ALLEYS.

LEGEND

	PROPERTY BOUNDARY		PROPOSED ROAD / PAVING
	PROPERTY BOUNDARY TO BE EXTINGUISHED		PROPOSED CONCRETE SIDEWALK
	ADJOINING PROPERTY LINE		PROPOSED STORM STRUCTURES & PIPE
	EXISTING RIGHT OF WAY LINE		PROPOSED SANITARY STRUCTURES & PIPE
	TEST PIT LOCATION		PROPOSED SANITARY CLEAN-OUT
	EXISTING 2' CONTOUR		PROPOSED WATER VALVE
	EXISTING 10' CONTOUR		PROPOSED FIRE HYDRANT
	EXISTING SPOT ELEVATION		PROPOSED WATER LINE
	EXISTING SIGN		
	EXISTING CURB LINE		
	EXISTING ROAD / PAVING		
	EXISTING CONCRETE PAD, SIDEWALK OR PATIO		
	EXISTING FENCE LINE		
	EXISTING STORM STRUCTURES & PIPE		
	EXISTING SANITARY STRUCTURES & PIPE		
	EXISTING SANITARY CLEAN-OUT		
	EXISTING WATER VALVE		
	EXISTING WATER LINE		
	EXISTING GAS VALVE		
	EXISTING GAS LINE		
	EXISTING UTILITY POLE		
	EXISTING OVERHEAD WIRE		
	PROPOSED SETBACK LINE		
	PROPOSED 2' CONTOUR		
	PROPOSED 10' CONTOUR		
	PROPOSED SPOT ELEVATION		

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Serial Number:
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West Chester, PA 19382 Fax: (484) 947-2946
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SCOTT W. ZWIZANSKI
PROFESSIONAL ENGINEER
PE091752

UP: 1-8-147 | UPI: 1-8-147.1 | UPI: 1-8-148

FINAL LAND DEVELOPMENT PLAN

No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

GRAPHIC SCALE
0 5 10 20 40
(IN FEET)
1 inch = 10'

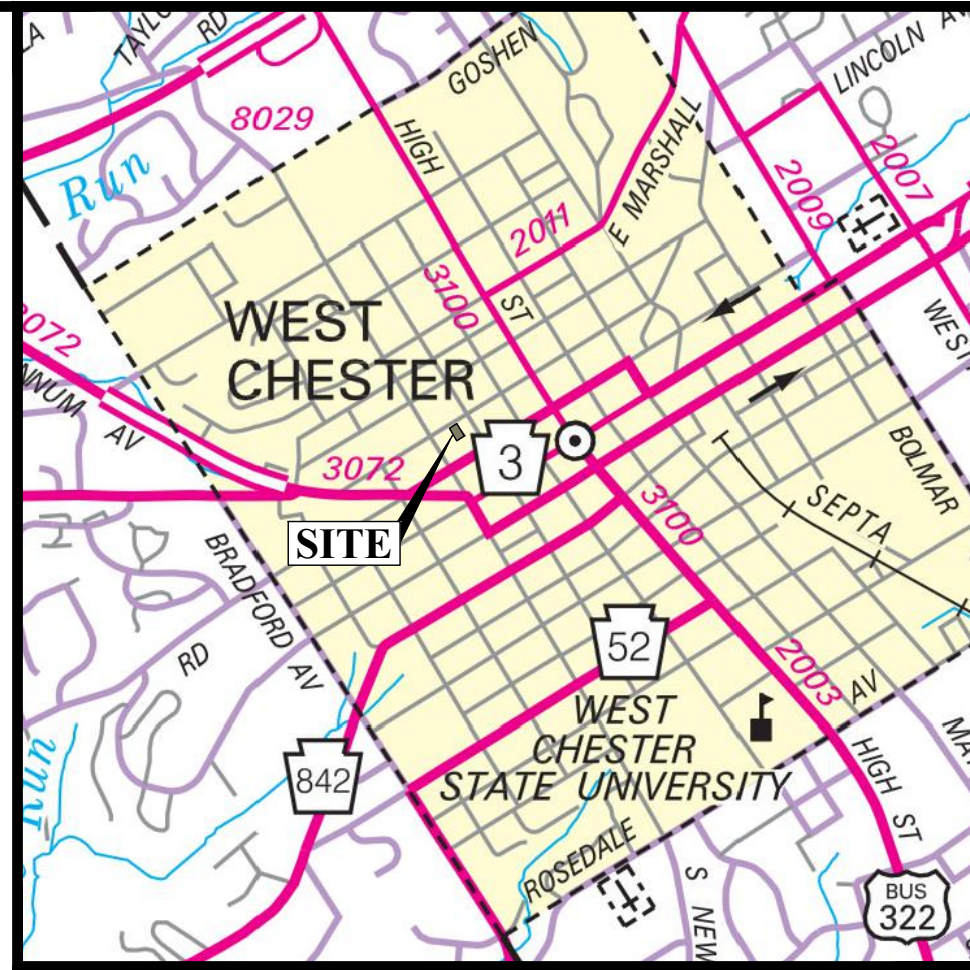
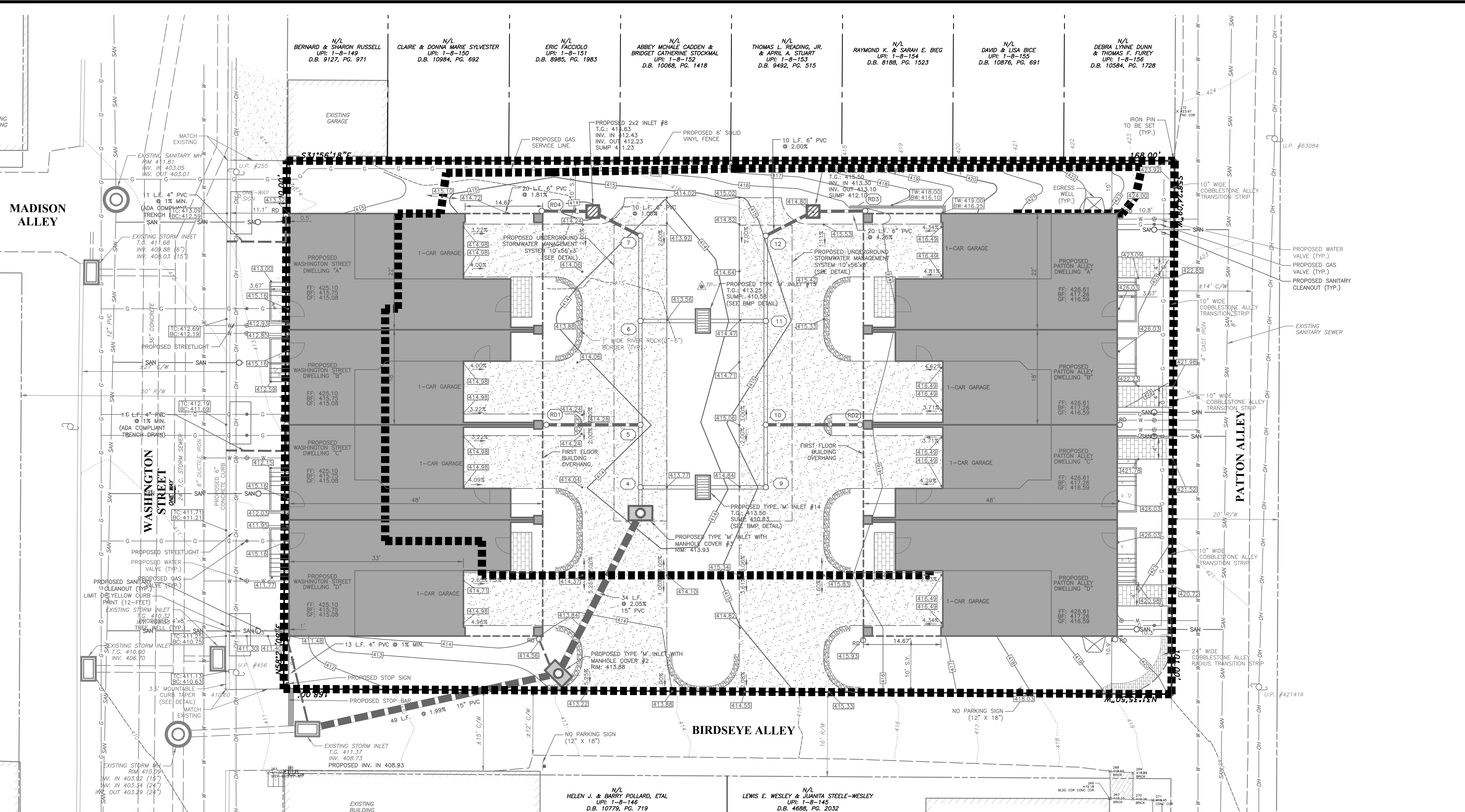
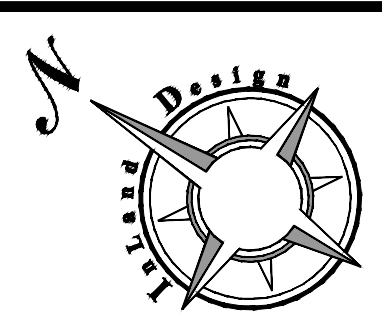
OWNER / APPLICANT:
AXLE SQUARE, LLC
833 LINCOLN AVE, #1
WEST CHESTER, PA 19380
ATTN: MICHAEL ZAPPITELLI

IMPROVEMENT CONSTRUCTION PLAN FOR
AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET
5
OF 14

Date: 9/30/2024
Scale: 1" = 10'
Drawn by: DWN
Checked by: SJZ
Project No: 12308

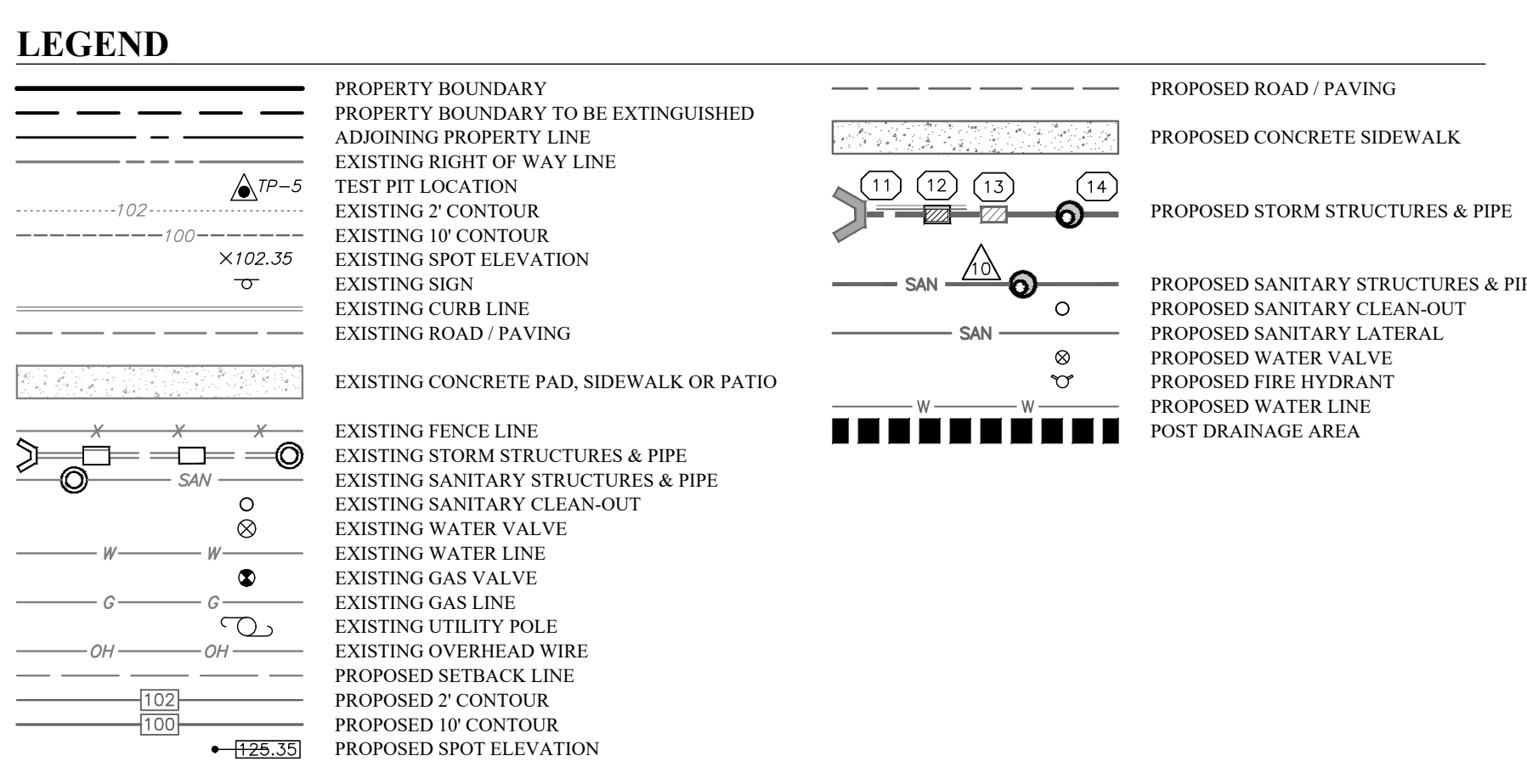
N:\2300\12308.dwg\Sheets\Preliminary Submission\5 IMPROVEMENTS CONSTRUCTION PLAN.dwg Page 14 of 135



LOCATION MAP
SCALE: 1" = 200'

BMP SUMMARY:
STRUCTURAL BMPs
• SUBSURFACE INFILTRATION BED - THE INFILTRATION BED IS USED TO CONTROL THE RATE AND VOLUME OF RUNOFF FROM THE SITE AND ALSO ALLEVIATE THERMAL POLLUTION BY STORING STORMWATER UNDERGROUND.

- SWM SITE PLAN NOTES:**
1. A BLANKET EASEMENT IS HEREBY GRANTED GIVING THE BOROUGH OF WEST CHESTER THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED PCSW BMP MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP.
 2. THE STORMWATER MANAGEMENT BMPs SHOWN ON THIS PLAN ARE PERMANENT FIXTURES AND CANNOT BE ALTERED OR REMOVED WITHOUT THE APPROVAL OF THE MUNICIPALITY.
 3. NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
 4. THIS PLAN ALSO SERVES AS THE OPERATION & MAINTENANCE PLAN FOR THIS PROPERTY AND WILL BE RECORDED.
 5. THE APPLICANT, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
 6. AN AS-BUILT PLAN OF THE PROPOSED BMPs SHALL BE SUBMITTED TO THE MUNICIPALITY IN ACCORDANCE WITH THE STORMWATER ORDINANCE. THE APPLICANT ACKNOWLEDGES THAT, PER MUNICIPAL ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
 7. AFTER DEMOLITION OF THE EXISTING BUILDING IS COMPLETE, ADDITIONAL INFILTRATION TESTING SHALL BE COMPLETED AT THE PROPOSED BOTTOM OF BED ELEVATION USING THE DOUBLE RING INFILTROMETER METHOD TO VERIFY THE DESIGN TEST RESULTS. IF TESTED RATES DO NOT MEET THE DESIGN RATES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
 8. DURING CONSTRUCTION OF THE INFILTRATION BEDS, ADDITIONAL INFILTRATION TESTING SHALL BE COMPLETED WHEN THE BED IS EXCAVATED AND PRIOR TO INSTALLING STONE TO VERIFY THE DESIGN TEST RESULTS. IF TESTED RATES DO NOT MEET THE DESIGN RATES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
 9. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. ALL AREAS DESIGNATED FOR INFILTRATION SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
 10. ALL ROOF DRAINS ARE TO BE 6" SDR35 PVC AT A MINIMUM 1% SLOPE UNLESS OTHERWISE NOTED.
 11. GUTTERS ARE TO BE FITTED WITH GUTTER GUARDS TO KEEP LEAVES DEBRIS OUT OF THE INFILTRATION BED.
 12. FOUNDATION PERIMETER DRAINS AND SUMP PUMP OUTLETS ARE NOT TO BE DIRECTED TO STORMWATER BMPs. OUTLET LOCATIONS ARE TO BE LOCATED IN THE FIELD DURING CONSTRUCTION.



BMP OPERATIONS AND MAINTENANCE PROCEDURES:

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMP. THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE PCSW BMP FOR THIS PROJECT INCLUDE THE FOLLOWING:
SUBSURFACE INFILTRATION BEDS - INFILTRATION BEDS SHALL BE INSPECTED QUARTERLY AND AFTER RAINFALL EVENTS TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM. INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL SUBSURFACE INFILTRATION BED SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED IN THE SUMPED BOTTOM OF ALL INLETS TRIBUTARY TO THE SYSTEM SHALL BE CLEANED OUT TWICE PER YEAR.
FAILURE: IF A SYSTEM IS NOT DRAINING WITHIN 72 HOURS OF THE STORM EVENT, THE SYSTEM SHALL BE REPAIRED OR REPLACED AS REQUIRED.
ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE OWNER.
IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN TWO MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN SIX MONTHS.
THE PROPERTY OWNER, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE OWNER, HIS SUCCESSOR, OR ASSIGNS. THE OWNER IDENTITY & CONTACT INFORMATION CAN BE FOUND AT THE BOTTOM OF THIS SHEET.

APPLICANT'S SWM SITE PLAN ACKNOWLEDGEMENT:

I, _____, HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE BOROUGH, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR BOROUGH (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT
ENGINEER'S SWM SITE PLAN CERTIFICATION:
I, SCOTT J. ZWIZANSKI, ON THIS DATE 4/20/2025, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF WEST CHESTER ORDINANCE NO. 94, BOROUGH OF WEST CHESTER'S STORMWATER MANAGEMENT ORDINANCE.
Scott J. Zwizanski
SCOTT J. ZWIZANSKI, P.E.



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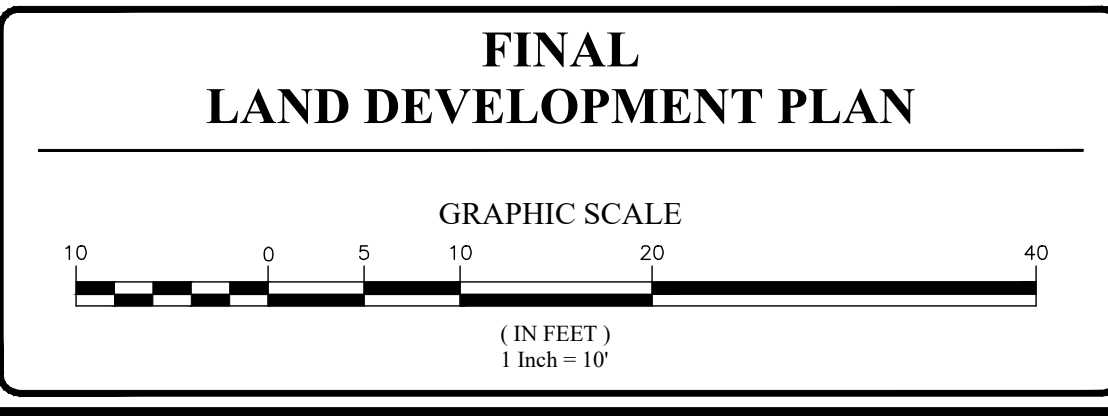
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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SCOTT J. ZWIZANSKI
ENGINEER
PE091752

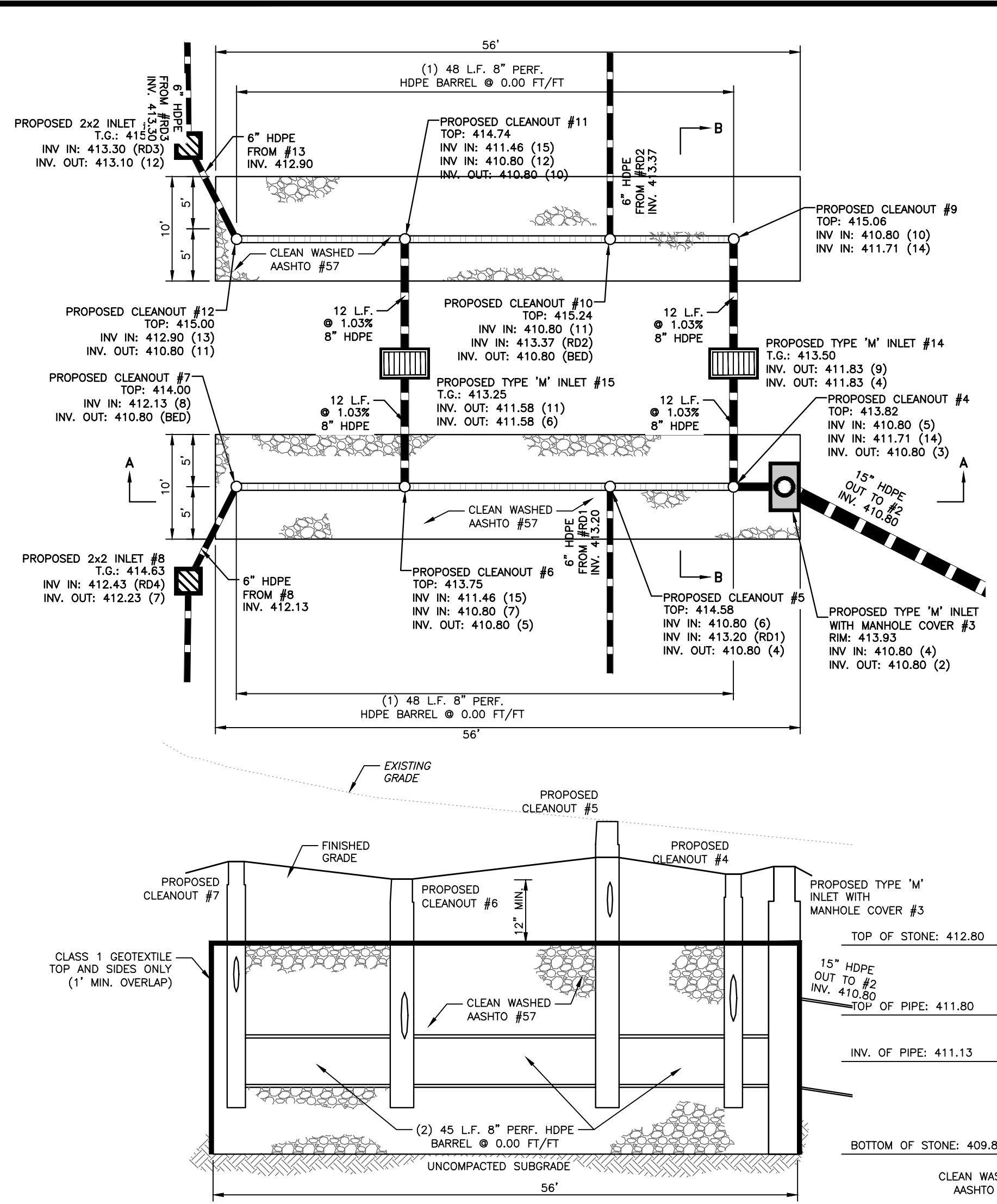
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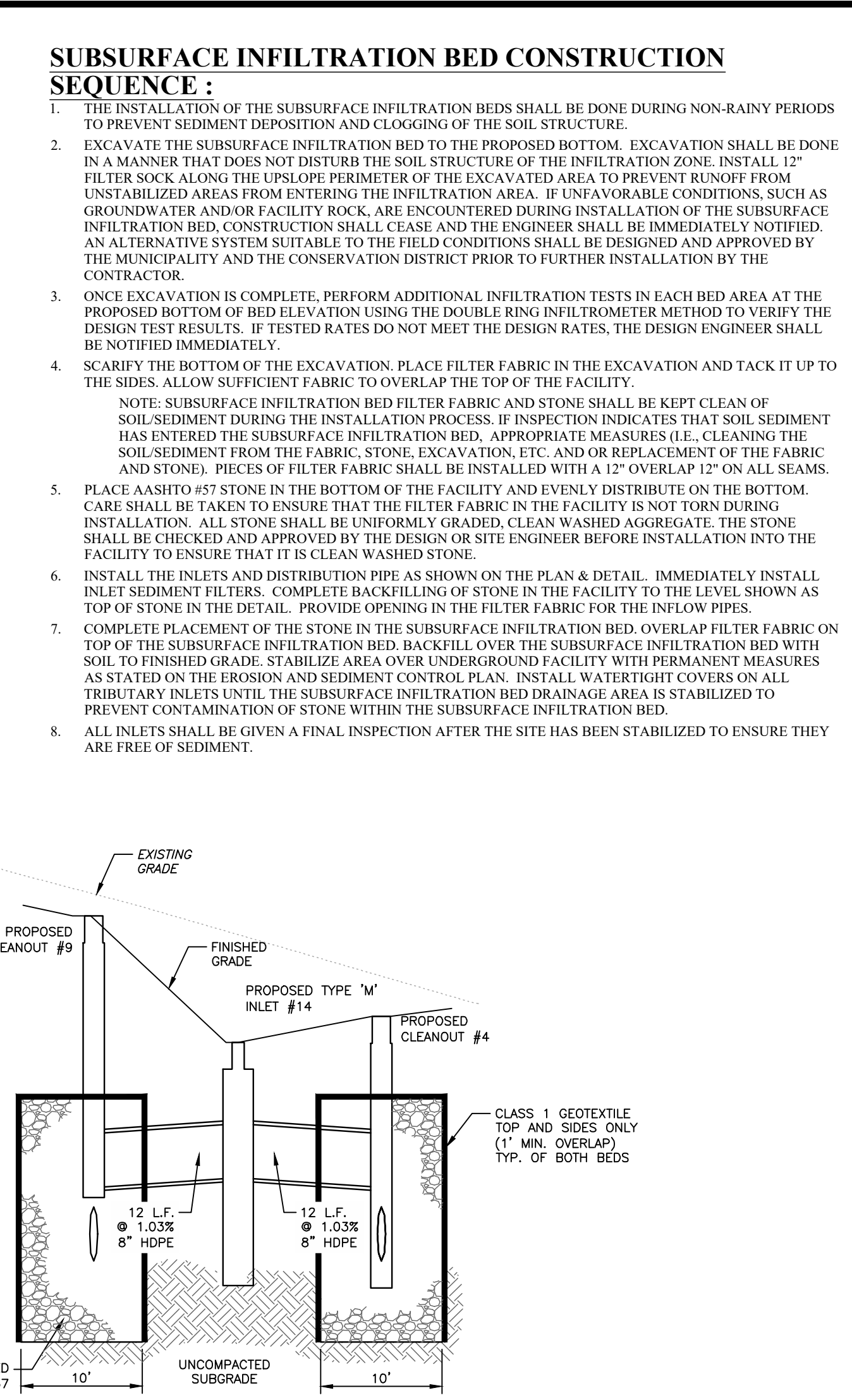
Date: 9/30/2024
Scale: 1" = 10'
Drawn by: DWN
Checked by: SJZ
Project No. 12308

PCSW PLAN FOR AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET 6 OF 14



BMP SUBSURFACE INFILTRATION BED
(NOT TO SCALE)

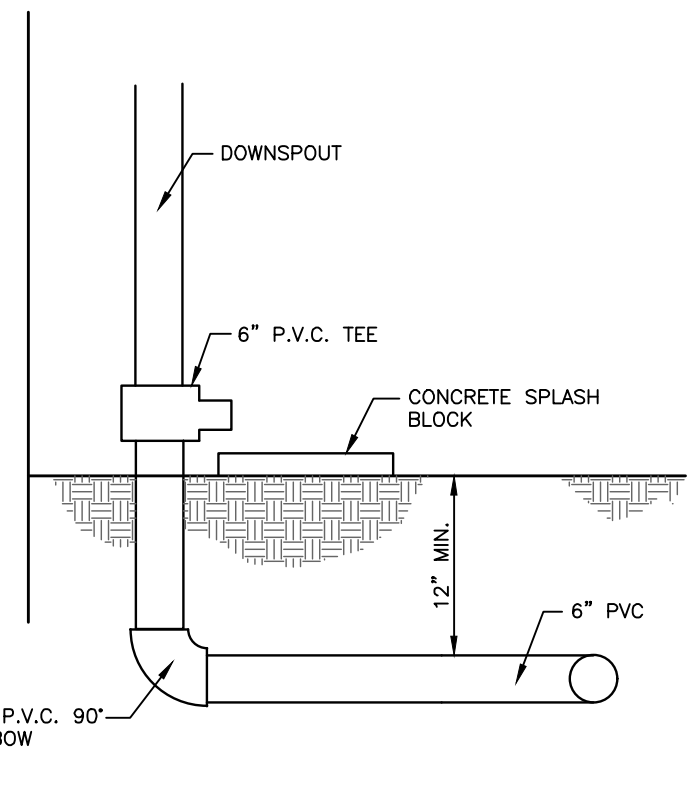


SUBSURFACE INFILTRATION BED CONSTRUCTION SEQUENCE:

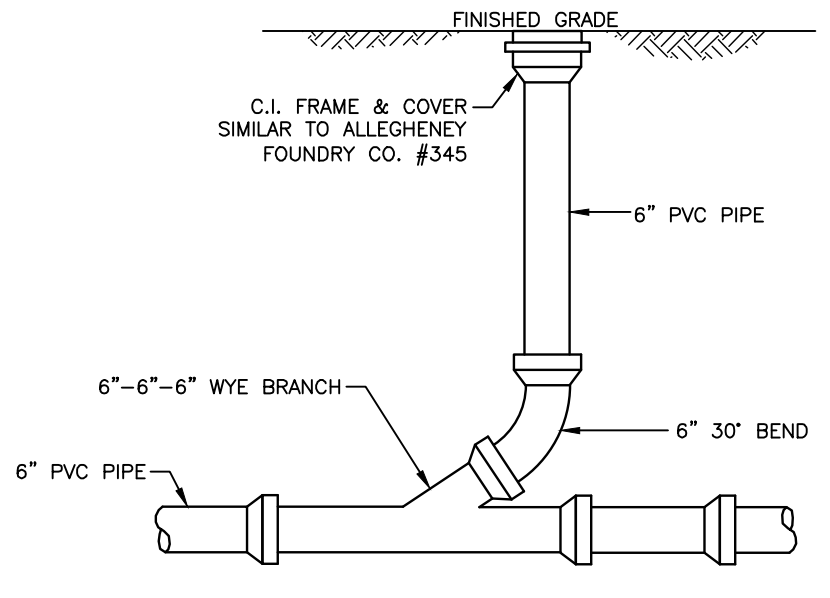
- THE INSTALLATION OF THE SUBSURFACE INFILTRATION BEDS SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND CLOGGING OF THE SOIL STRUCTURE.
- EXCAVATE THE SUBSURFACE INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE INFILTRATION ZONE. INSTALL 12" FILTER SOCK ALONG THE UPSLOPE PERIMETER OF THE EXCAVATED AREA TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE INFILTRATION AREA. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR FACILITY ROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE SUBSURFACE INFILTRATION BED, CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED. AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR.
- ONCE EXCAVATION IS COMPLETE, PERFORM ADDITIONAL INFILTRATION TESTS IN EACH BED AREA AT THE PROPOSED BOTTOM OF BED ELEVATION USING THE DOUBLE RING INFILTRATION METHOD TO VERIFY THE DESIGN TEST RESULTS. IF TESTED RATES DO NOT MEET THE DESIGN RATES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- SCARIFY THE BOTTOM OF THE EXCAVATION. PLACE FILTER FABRIC IN THE EXCAVATION AND TACK IT UP TO THE SIDES. ALLOW SUFFICIENT FABRIC TO OVERLAP THE TOP OF THE FACILITY.
- NOTE: SUBSURFACE INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED THE SUBSURFACE INFILTRATION BED, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL SEDIMENT FROM THE FABRIC, STONE, EXCAVATION, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE), PIECES OF FILTER FABRIC SHALL BE INSTALLED WITH A 12" OVERLAP 12" ON ALL SEAMS.
- PLACE AASHTO #57 STONE IN THE BOTTOM OF THE FACILITY AND EVENLY DISTRIBUTE ON THE BOTTOM. CARE SHALL BE TAKEN TO ENSURE THAT THE FILTER FABRIC IN THE FACILITY IS NOT TORN DURING INSTALLATION. ALL STONE SHALL BE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE. THE STONE SHALL BE CHECKED AND APPROVED BY THE DESIGN OR SITE ENGINEER BEFORE INSTALLATION INTO THE FACILITY TO ENSURE THAT IT IS CLEAN WASHED STONE.
- INSTALL THE INLETS AND DISTRIBUTION PIPE AS SHOWN ON THE PLAN & DETAIL. IMMEDIATELY INSTALL INLET SEDIMENT FILTERS. COMPLETE BACKFILLING OF STONE IN THE FACILITY TO THE LEVEL SHOWN AS TOP OF STONE IN THE DETAIL. PROVIDE OPENING IN THE FILTER FABRIC FOR THE INFLOW PIPES.
- COMPLETE PLACEMENT OF THE STONE IN THE SUBSURFACE INFILTRATION BED. OVERLAP FILTER FABRIC ON TOP OF THE SUBSURFACE INFILTRATION BED. BACKFILL OVER THE SUBSURFACE INFILTRATION BED WITH SOIL TO FINISHED GRADE. STABILIZE AREA OVER UNDERGROUND FACILITY WITH PERMANENT MEASURES AS STATED ON THE EROSION AND SEDIMENT CONTROL PLAN. INSTALL WATERTIGHT COVERS ON ALL TRIBUTARY INLETS UNTIL SUBSURFACE INFILTRATION BED DRAINAGE AREA IS STABILIZED TO PREVENT CONTAMINATION OF STONE WITHIN THE SUBSURFACE INFILTRATION BED.
- ALL INLETS SHALL BE GIVEN A FINAL INSPECTION AFTER THE SITE HAS BEEN STABILIZED TO ENSURE THEY ARE FREE OF SEDIMENT.

SUBSURFACE INFILTRATION BED NOTES:

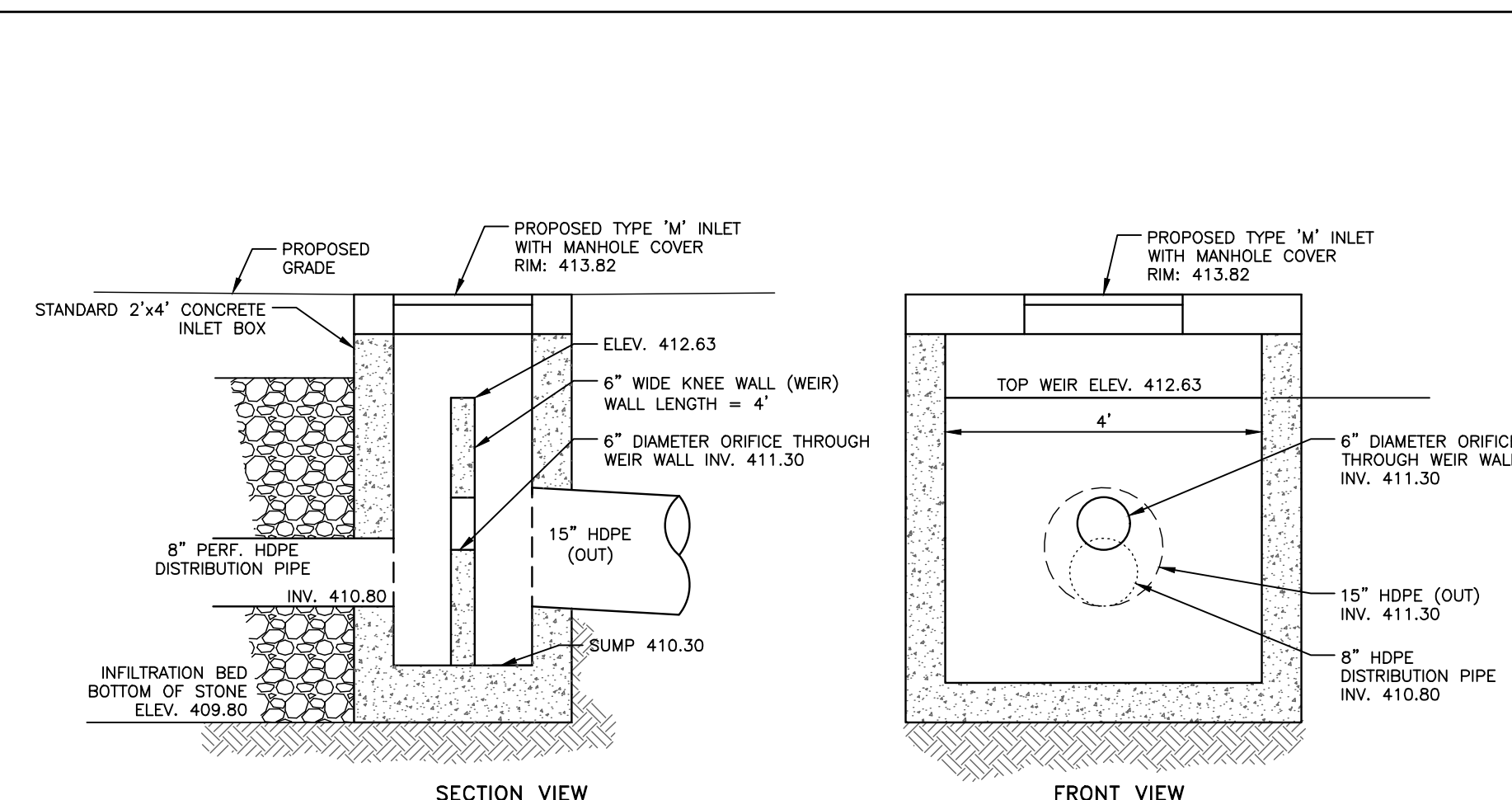
- DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. THE INFILTRATION BED SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION. IT IS RECOMMENDED THAT A SOILS ENGINEER OR REPRESENTATIVE THEREOF IS PRESENT ON-SITE DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM IN ORDER TO ENSURE THE SYSTEM WAS CONSTRUCTED AS DESIGNED AND TO OVERSEE THE EXCAVATION OF THE FINE GRAIN SOILS. GIVEN THE LOCALIZED INVESTIGATIONS, IT IS PARAMOUNT THAT THE ENTIRE FACILITY BOTTOM BE VERIFIED TO BE SITUATED WITHIN THE CORRECT INFILTRATION STRATUM.
- THE CONTRACTOR IS TO ENSURE THAT THERE IS NO PRECIPITATION IN THE FORECAST FOR THE DURATION OF THE INFILTRATION BED CONSTRUCTION.
- APPROPRIATE, PERMANENT MEASURES, AS SHOWN ON THE PLAN, SHALL BE IMPLEMENTED TO PROTECT THE INFILTRATION BED FROM SEDIMENT LADEN RUNOFF ENTERING IT.
- ROOF DRAINS DISCHARGING TO THE INFILTRATION BED SHALL HAVE APPROPRIATE MEASURES TO PREVENT CLOGGING BY UNWANTED DEBRIS (FOR EXAMPLE, SILT, LEAVES AND VEGETATION). THESE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, LEAF TRAPS, GUTTER GUARDS AND CLEANOUTS.
- THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF THE INFILTRATION BED:
 - EXCAVATION FOR THE INFILTRATION BED SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
 - THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
 - ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
 - THE TOP AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE NON-WOVEN FABRIC ACCEPTABLE TO THE MUNICIPAL ENGINEER.
 - STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE INFILTRATION BED AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AS SHOWN ON THE PLAN.



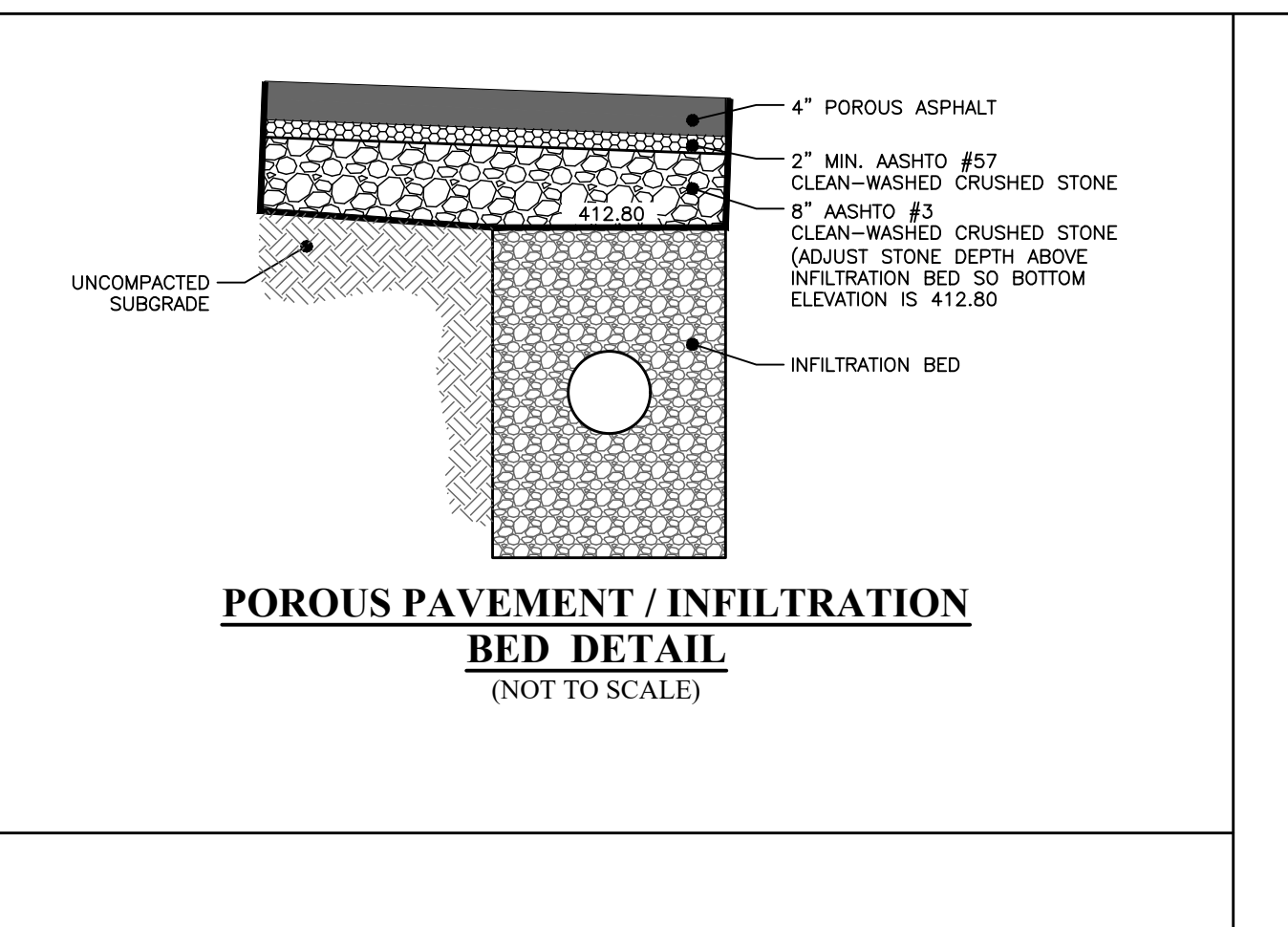
DOWNSPOUT OVERFLOW
(NOT TO SCALE)



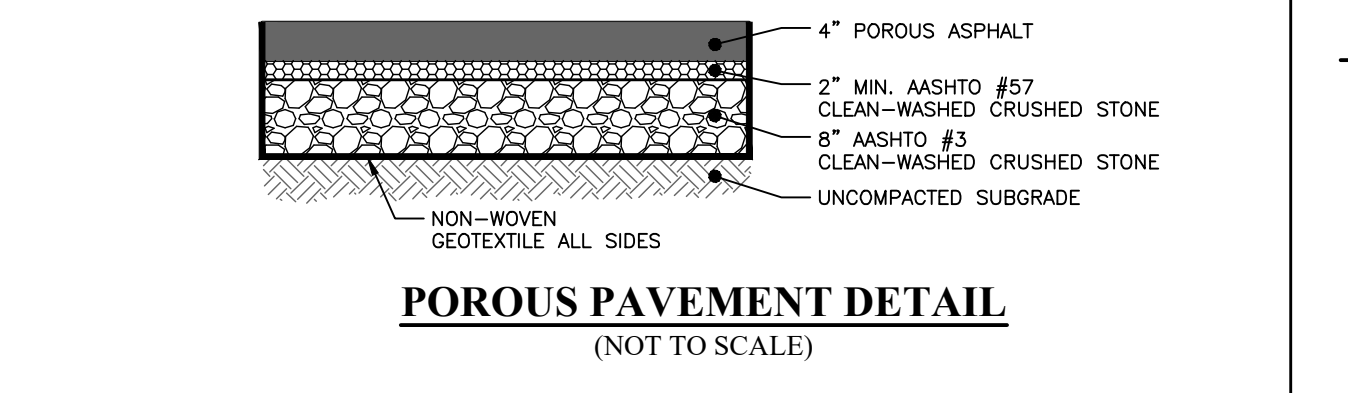
ROOF LEADER CLEANOUT IN UNPAVED AREA DETAIL
(NOT TO SCALE)
FOR CLEANOUT IN PAVED AREA SEE DETAIL ON SHEET 12.



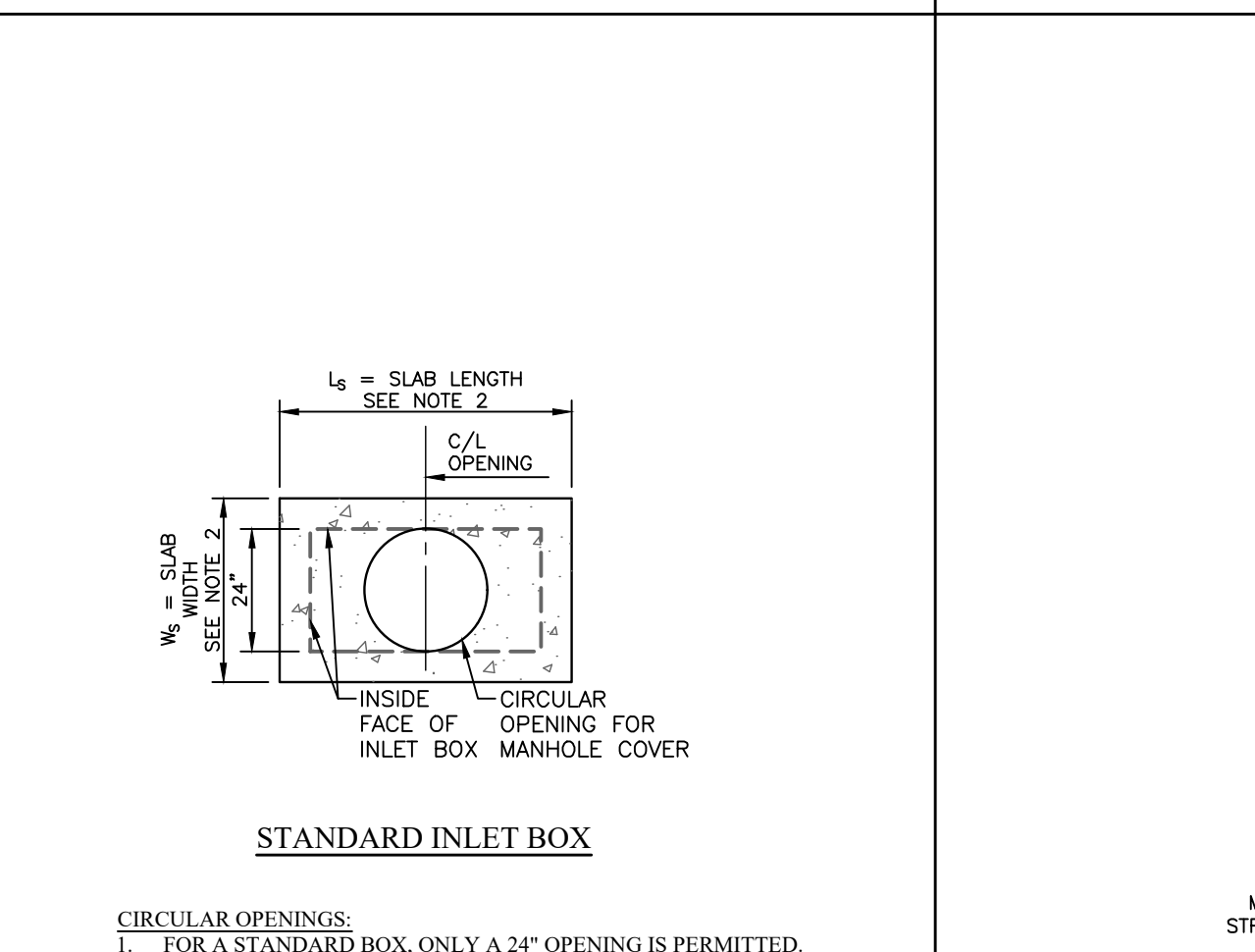
TYPE 'M' INLET BOX WITH MANHOLE COVER - OUTLET STRUCTURE DETAIL
(NOT TO SCALE)



POROUS PAVEMENT / INFILTRATION BED DETAIL
(NOT TO SCALE)

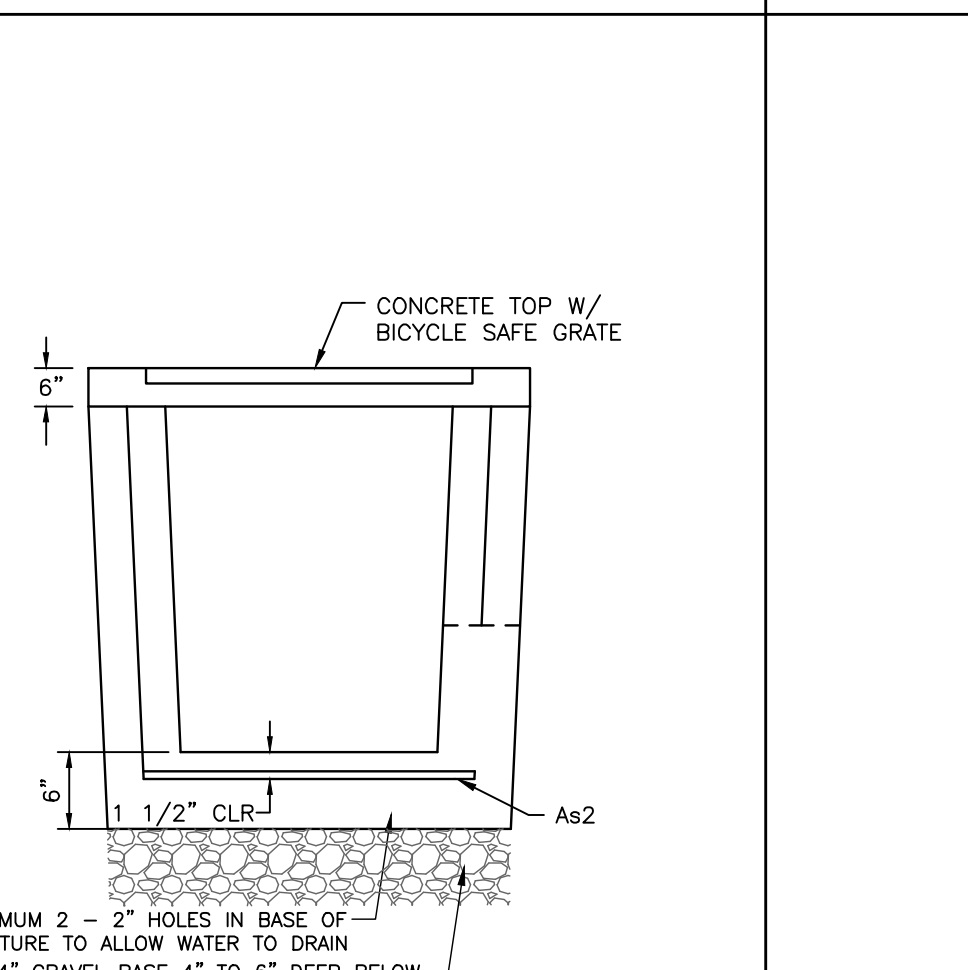


POROUS PAVEMENT DETAIL
(NOT TO SCALE)

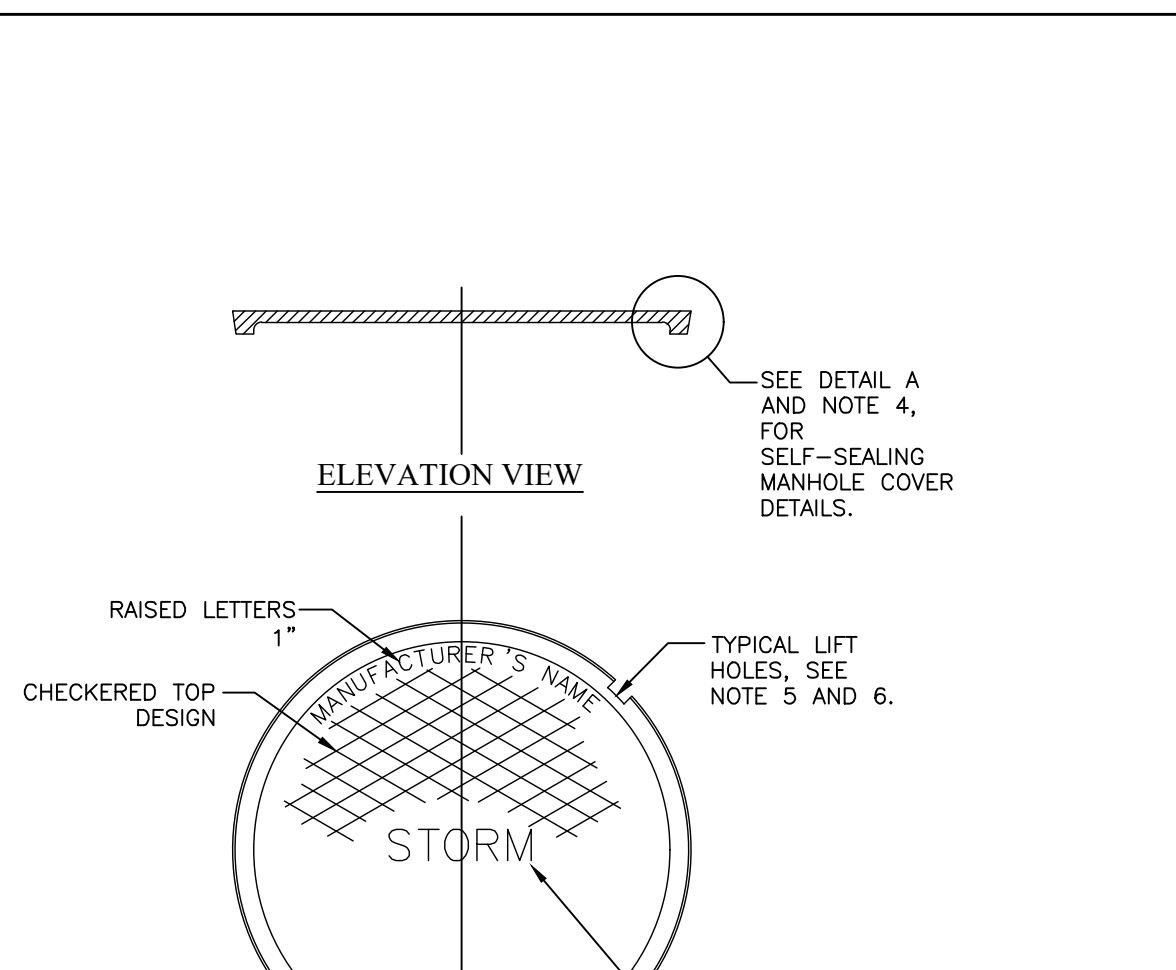


STANDARD INLET BOX

TOP SLAB WITH OPTIONAL ROUND OPENING FOR MANHOLE COVER
(NOT TO SCALE)



2'x2' LAWN INLET DETAIL
(NOT TO SCALE)



CAST IRON MANHOLE COVER (PLATEN COVER)
(NOT TO SCALE)

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REGISTERED PROFESSIONAL ENGINEER
SCOTT M. ZWIZANSKI
ENGINEER
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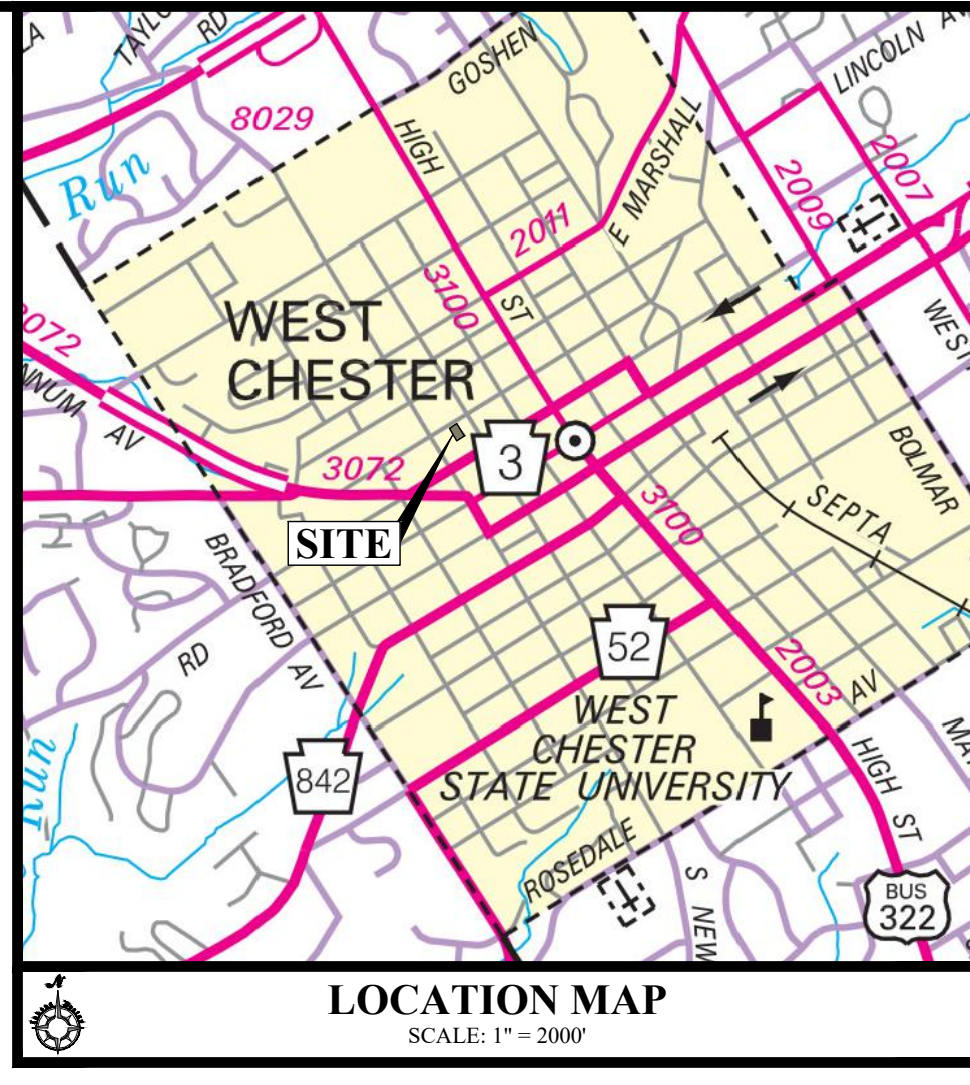
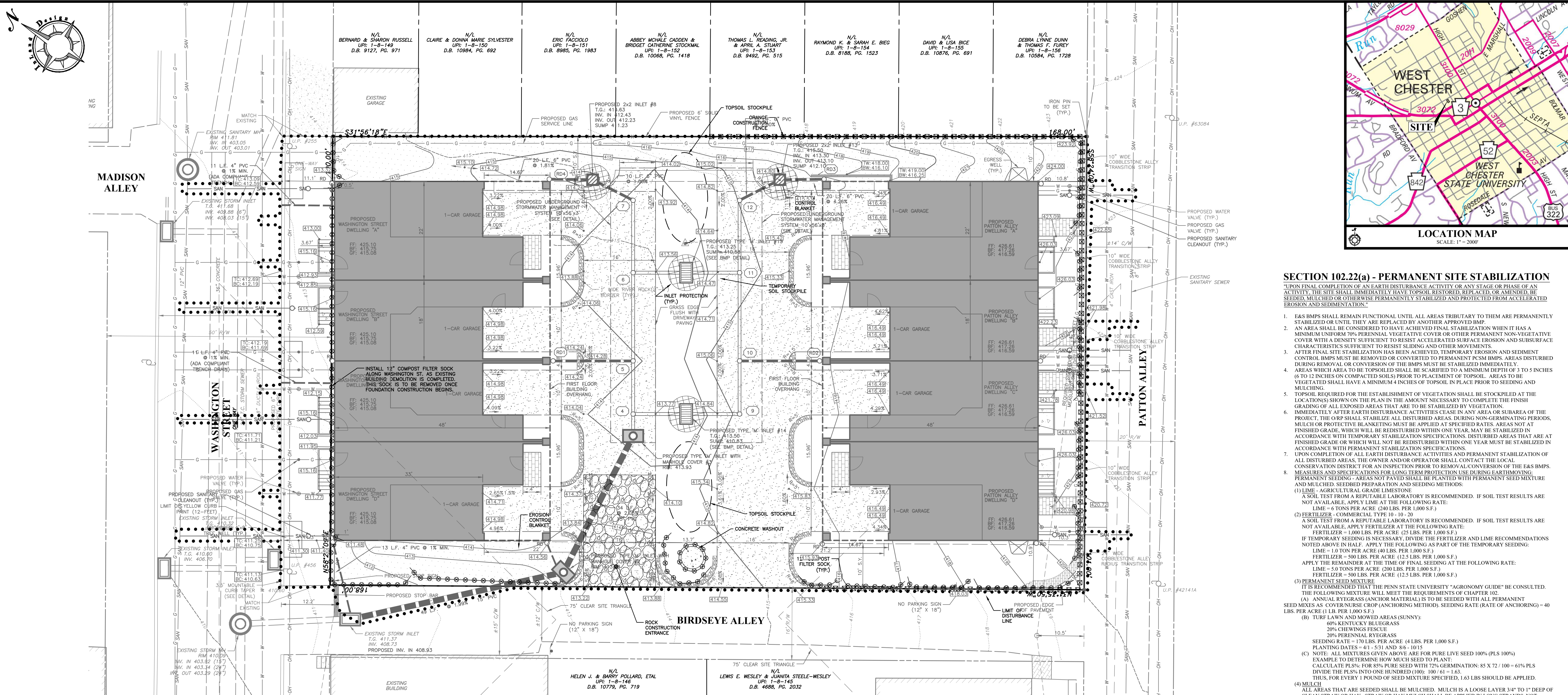
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WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET 7 OF 14



SECTION 102.22(a) - PERMANENT SITE STABILIZATION

"UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL IMMEDIATELY HAVE TOPSOIL RESTORED, REPLACED, OR AMENDED, BE SEEDING MULCHED OR OTHERWISE PERMANENTLY STABILIZED AND PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION."

- E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT EROSION AND SUBSURFACE CONTROL BMPs. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE O&P SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REDISTURBED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL OR CONVERSION OF THE E&S BMPs. MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING.
- PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
 - LIME - AGRICULTURAL GRADE LIMESTONE
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
LIME - 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
FERTILIZER - 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.)
IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:
FERTILIZER - 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE:
LIME - 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.)
FERTILIZER - 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - PERMANENT SEED MIXTURE
IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102:
(A) ANNUAL RYEGRASS (ANCHOR MATERIAL) IS TO BE SEED WITH ALL PERMANENT SEED MIXES AS COVERNURSE (CRP ANCHORING METHOD), SEEDING RATE (RATE OF ANCHORING) = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
(B) TURF GRASS AND MOWED AREAS (SUNNY):
60% KENTUCKY BLUEGRASS
20% CHEWINGS FESCUE
20% PERENNIAL RYEGRASS
SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.)
PLANTING DATES = 41 - 5/31 AND 8/6 - 10/15
(C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)
EXAMPLE TO DETERMINE HOW MUCH SEED TO PLAN:
CALCULATE PLS% FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS
DIVIDE THE PLS% INTO ONE HUNDRED (100) / 61 = 1.63.
THIS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED.
- MULCH
ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
STRAW/HAY = 2 TONS PER ACRE (40 LBS. PER 1,000 S.F.)
- EROSION CONTROL BLANKET
ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HO OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.

SEQUENCE OF CONSTRUCTION

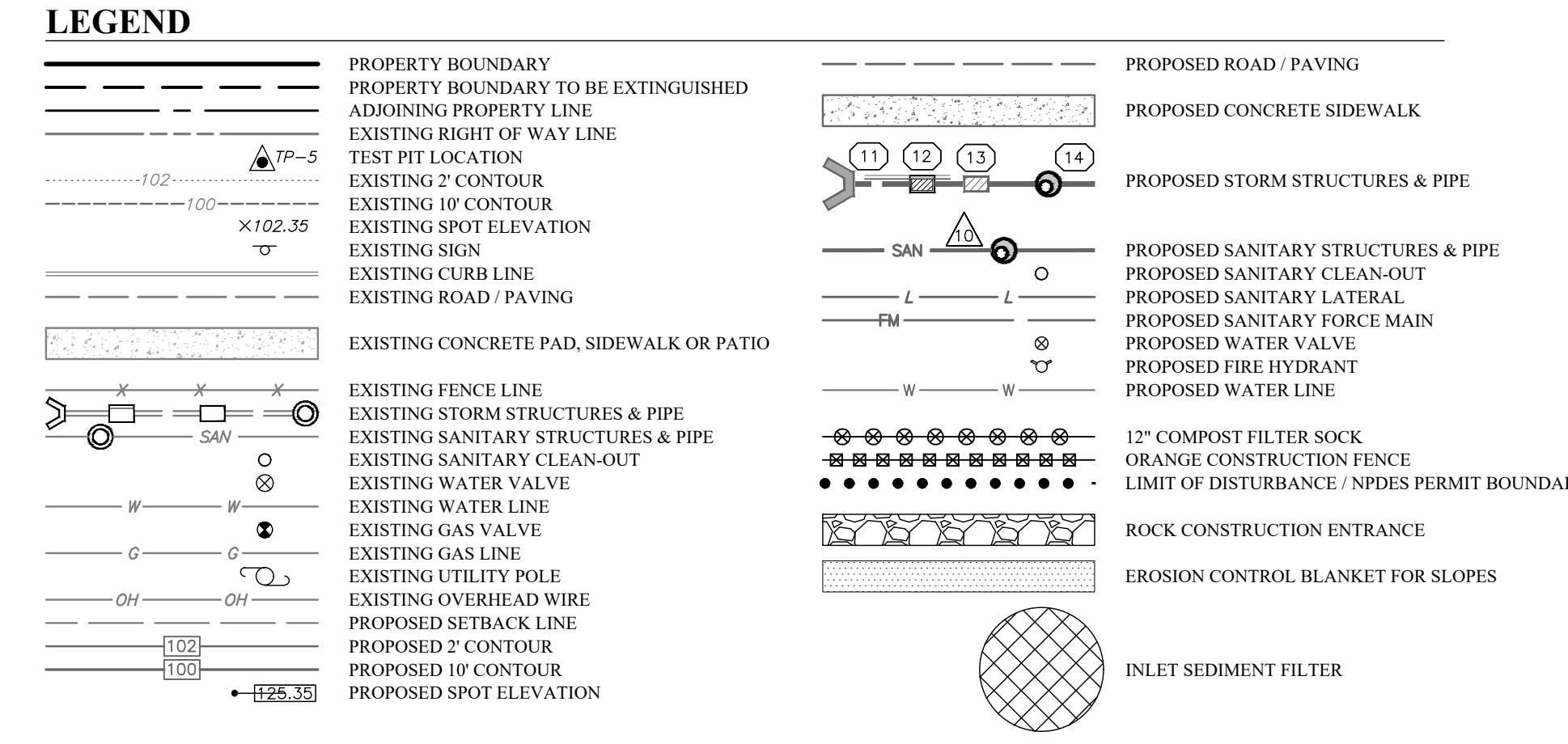
ALL EARTH DISTURBANCE ACTIVITY SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.

- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON SITE PRE-CONSTRUCTION MEETING.
- THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNER MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPs.
- ANY DISTURBED AREA WHERE THERE WILL BE A CESSATION OF ACTIVITY FOR FOUR DAYS OR LONGER MUST BE STABILIZED WITH TEMPORARY STABILIZATION.
- DELINEATE THE LIMITS OF DISTURBANCE ALONG EASTERN PROPERTY LINE.
- DEMOLISH ALL EXISTING STRUCTURES AND FEATURES REMOVE DEMOLISHED MATERIAL FROM THE SITE.
- AS DEMOLITION ALLOWS, INSTALL PERIMETER CONSTRUCTION FENCE, SILT SOCK AND PERIMETER EROSION CONTROLS AS SHOWN ON THE PLAN AND ACCORDING TO DETAILS.
- INSTALL ROCK CONSTRUCTION ENTRANCE.
- ONCE BUILDING DEMOLITION IS COMPLETE, SOIL SHALL BE ANALYZED TO CONFIRM NO SOIL REMEDIATION IS NEEDED.
- PERFORM ADDITIONAL INFILTRATION TESTS IN EACH BED AREA AT THE PROPOSED BOTTOM OF BED ELEVATION USING THE DOUBLE RING INFILTRATION METHOD TO VERIFY DESIGN TEST RESULTS. IF TEST RATES DO NOT MEET THE DESIGN RATES, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CLEAR, GRUB AND BEGIN ROUGH GRADING OPERATIONS, STOCKPILE TOPSOIL IN DESIGNATED AREA.
- INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
- INSTALL NEW SIDEWALK WHEN APPROPRIATE.
- WHEN APPROPRIATE, INSTALL SUBSURFACE INFILTRATION BED FOLLOWING THE INFILTRATION BED SEQUENCE OF CONSTRUCTION. INSTALL STORM SEWER AND ROOF DRAIN CONNECTIONS TO INFILTRATION BED. INLET SEDIMENT FILTERS SHALL BE INSTALLED IMMEDIATELY.
- PRIOR TO POROUS ASPHALT PAVEMENT INSTALLATION, ALL SITE DISTURBED AREA SHALL HAVE EROSION CONTROL BLANKET INSTALLED OR BODDED.
- SEED AND MULCH ALL REMAINING DISTURBED AREAS.
- ONCE ALL HOUSES ARE CONSTRUCTED AND PERMANENTLY STABILIZED (VEGETATED AREAS MUST HAVE A UNIFORM 70% VEGETATIVE COVER), AND AFTER A SITE INSPECTION AND APPROVAL FROM THE BOROUGH, REMOVE ANY REMAINING EROSION CONTROLS.

TEMPORARY SITE STABILIZATION - SECTION 102.22(b)

"UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDING, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES."

- E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- ANY DISTURBED AREA THAT IS NOT AT FINISHED GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDING WITH PERMANENT SEED MIX AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
 - LIME - AGRICULTURAL GRADE LIMESTONE
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
LIME - 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE:
FERTILIZER - 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
 - TEMPORARY SEED MIXTURE
ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEEDING DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY.
ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)
 - MULCH
ALL AREAS THAT ARE SEEDING SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE:
STRAW/HAY = 3 TONS PER ACRE (40 LBS. PER 1,000 S.F.)



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UP1: 1-8-147 | UPI: 1-8-147.1 | UPI: 1-8-148

PENNSYLVANIA ONE CALL SYSTEM
PA. act 172 of 1986 requires three working days notice
Serial Number: 20241660254

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that any subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

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COMMONWEALTH OF PENNSYLVANIA
Professional Engineer
SCOTT J. ZWIZANSKI
ENGINEER
PE091752

No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

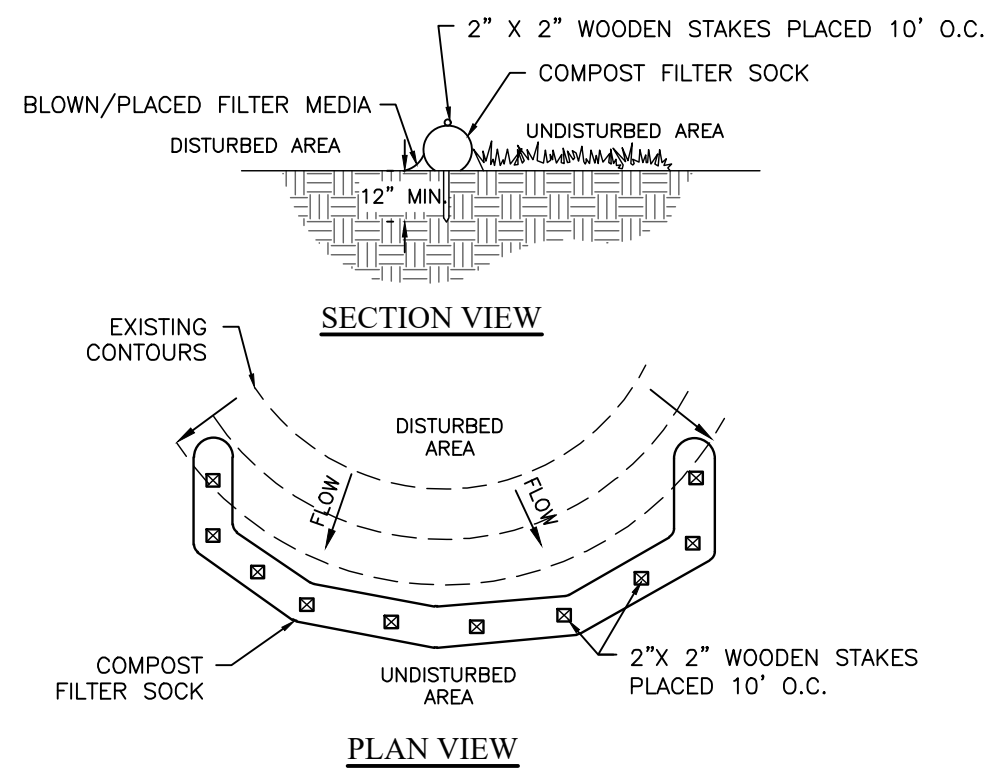
FINAL LAND DEVELOPMENT PLAN

GRAPHIC SCALE
1 inch = 10'

Date: 9/30/2024
Scale: 1" = 10'
Drawn by: DWN
Checked by: SJZ
Project No. 12308

CONSERVATION & EROSION CONTROL PLAN FOR AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET 8 OF 14



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

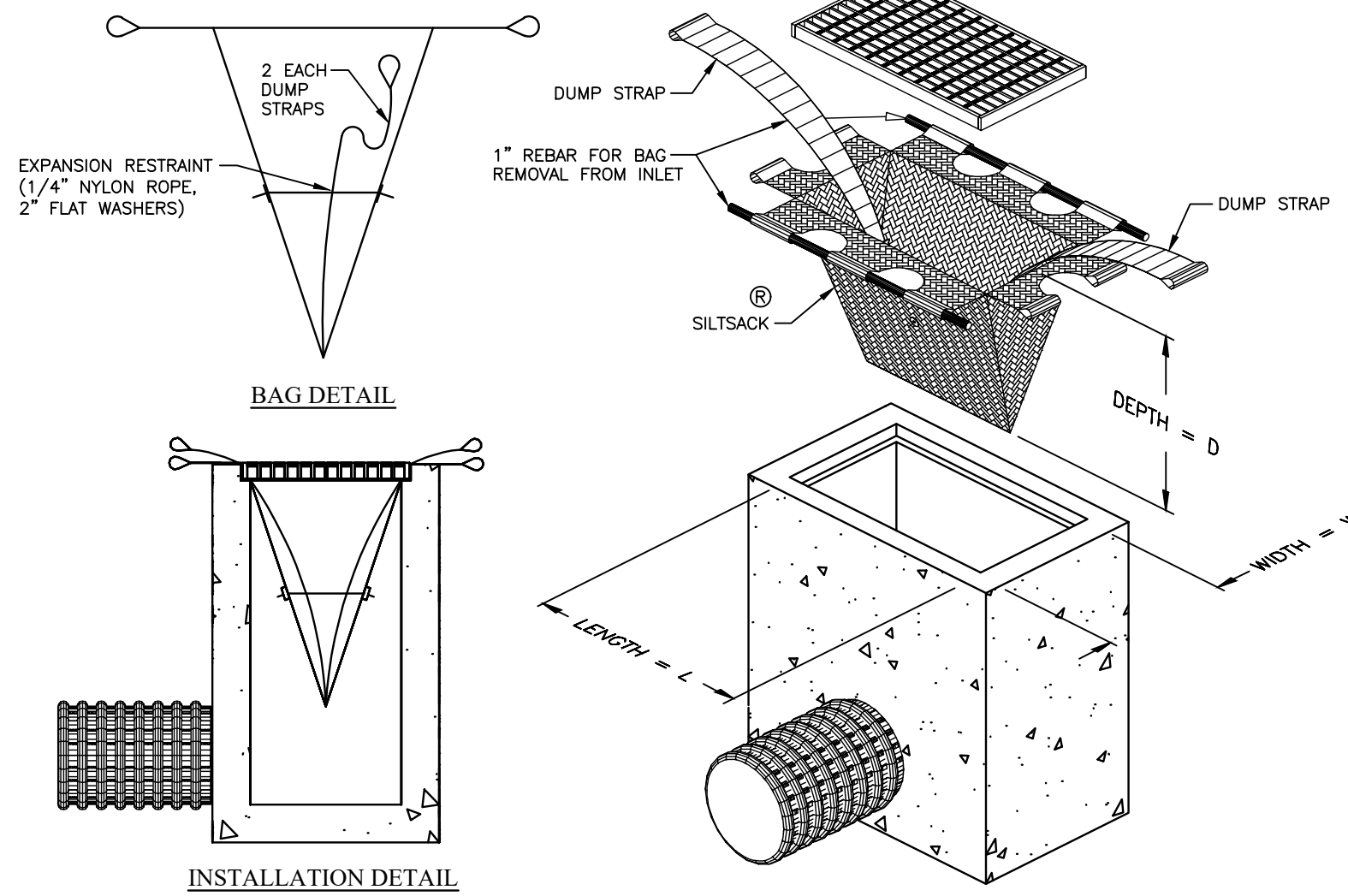
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

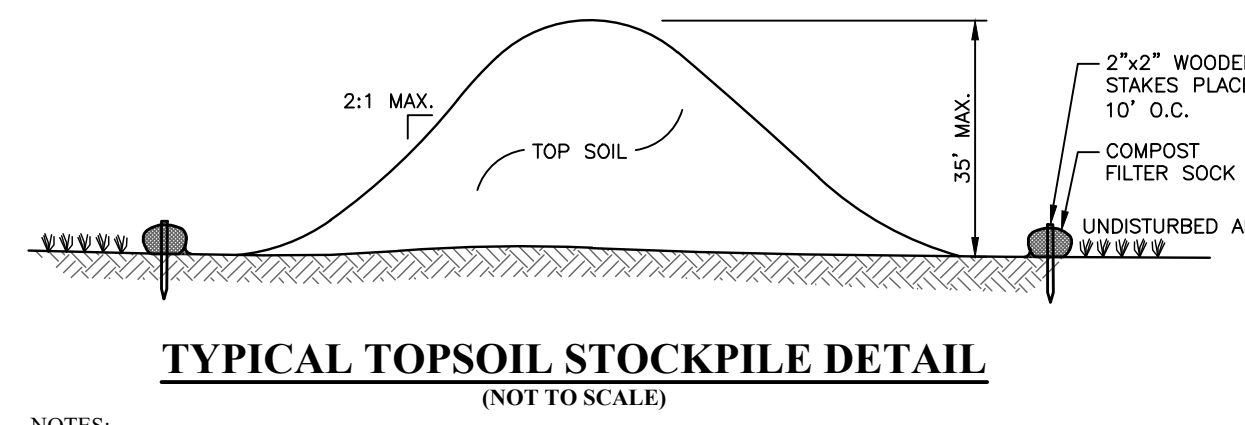
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK
(NOT TO SCALE)



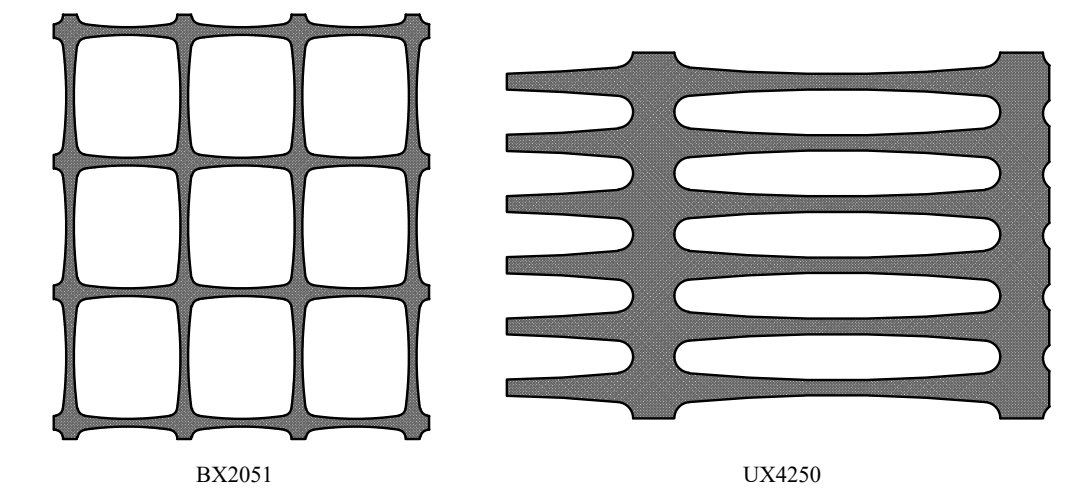
SEDIMENT FILTER BAG INLET PROTECTION DETAIL
(NOT TO SCALE)

1. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAM TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSF, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
2. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED.



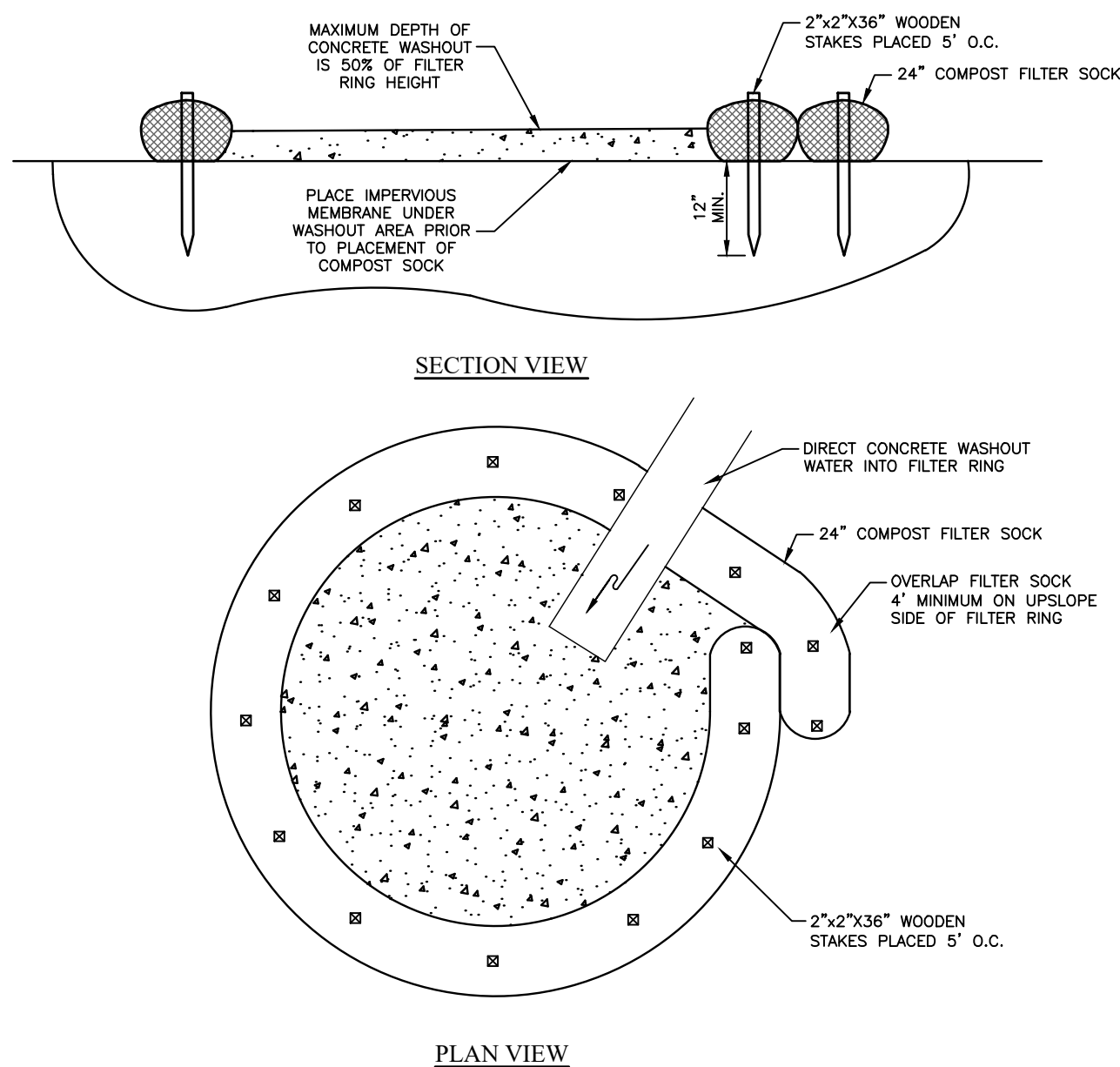
TYPICAL TOPSOIL STOCKPILE DETAIL
(NOT TO SCALE)

- NOTES:
1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 2. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
 3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 4. SILT FENCE OR HAY BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.
 5. SEE STANDARD CONSTRUCTION DETAIL #4-1, COMPOST FILTER SOCK FOR INSTALLATION REQUIREMENTS.
 6. LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 7. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.



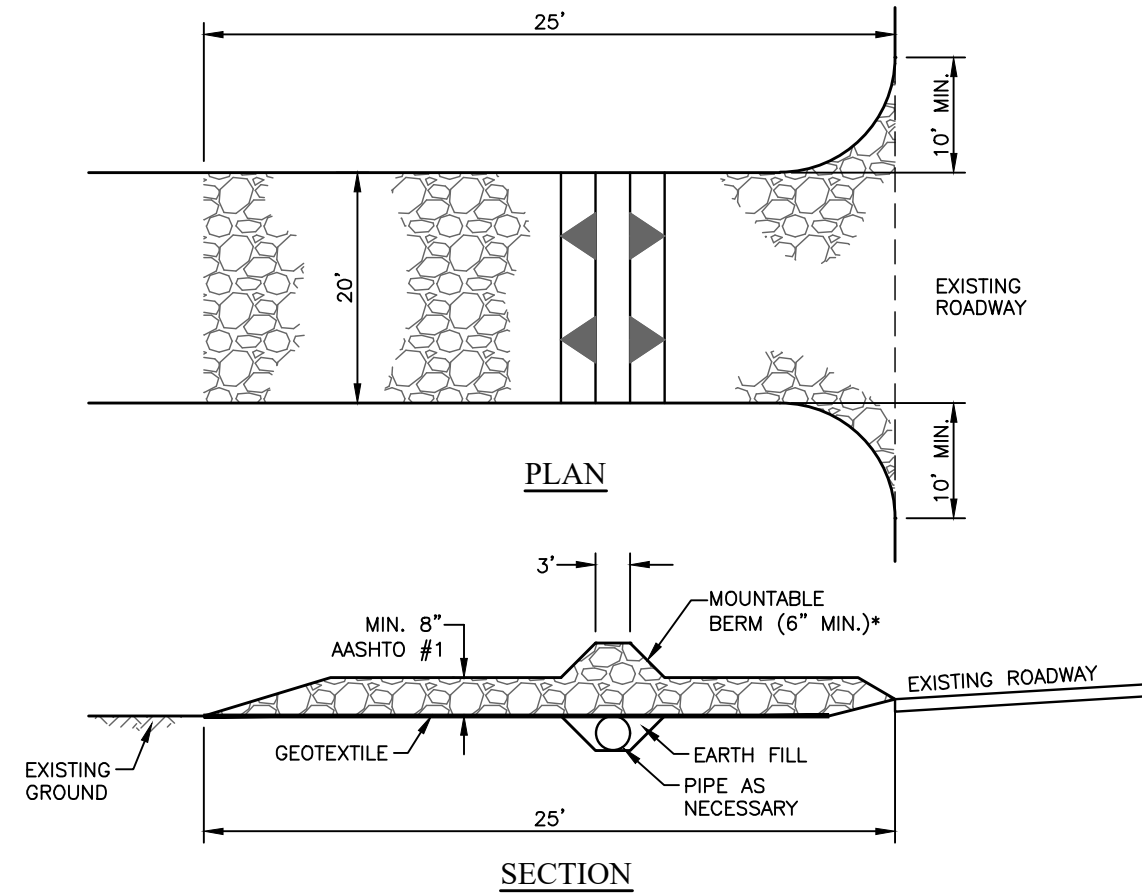
FOR GENERAL USE:
TENSAR SAFETY FENCE BX 2051, 4' HT.,
ORANGE FOR EXTRA PROTECTION:
TENSAR SAFETY FENCE UX 4250, 4' HT.,
ORANGE INSTALLATION:
ATTACH FENCE TO 2" x 2" PINE STAKES DRIVEN AT LEAST 18" INTO THE GROUND, SPACED 8' ON CENTER, WITH WIRE FASTENERS IN 3 PLACES PER STAKE.

ORANGE CONSTRUCTION FENCE DETAIL
(NOT TO SCALE)



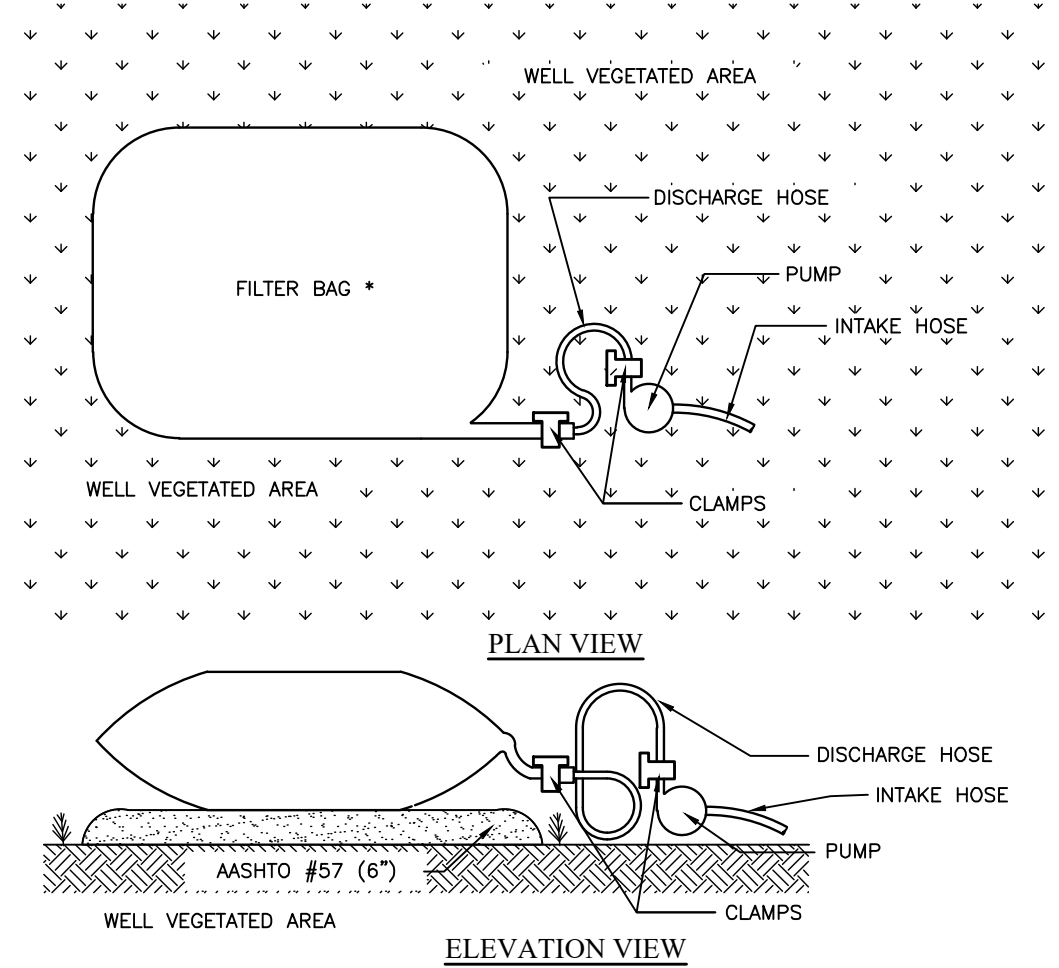
COMPOST SOCK WASHOUT INSTALLATION
(PADEP STANDARD FIGURE 3.18)
(NOT TO SCALE)

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
2. 18\"/>



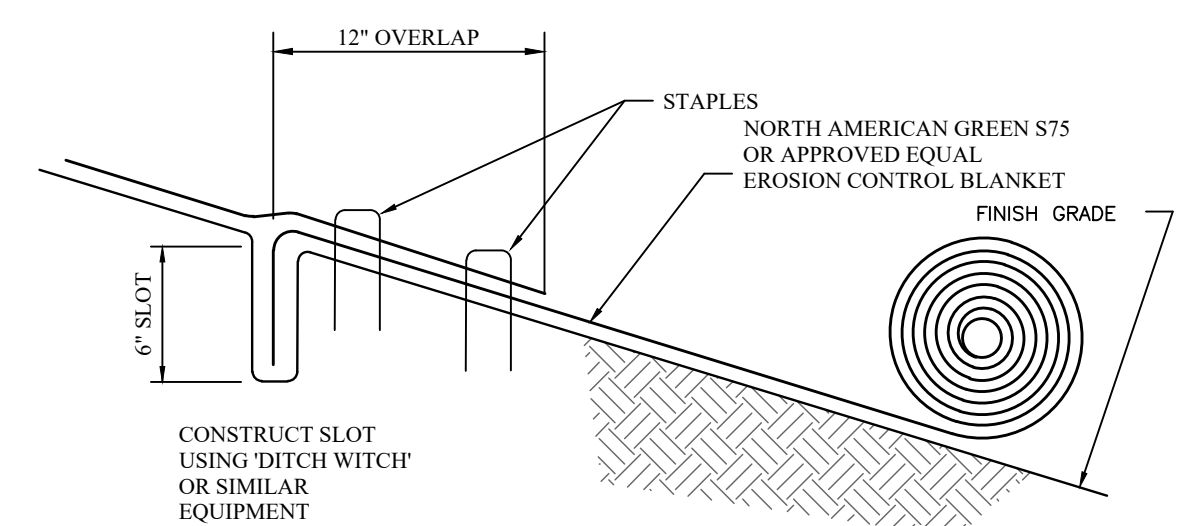
STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 30 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG
(NOT TO SCALE)

1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "T" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



- NOTES:
1. COMPLETE GRADING OF SLOPE.
 2. CULTIVATE THE SOIL TO A DEPTH OF 6 INCHES, INCORPORATING FERTILIZER AND LIME WHERE NECESSARY, PROVIDING AN EVEN SURFACE, FREE FROM EXCESSIVE STONES, CLDS OR TRASH.
 3. SEED AND MULCH THE AREA AS OUTLINED IN SEEDING SCHEDULE.
 4. UNREEL THE MATTING UP AND DOWN THE SLOPE. THIS IS BEST ACHIEVED BY PLACING A METAL PIPE THROUGH THE CENTER OF THE ROLL THROUGH WHICH IS PASSED A ROPE. BY HOLDING EACH END OF THE ROPE, THE ROLL CAN BE UNWOUND SLOWLY DOWN THE SLOPE. THE MATTING SHOULD NOT BE STRETCHED NOR ALLOWED TO LIE LOOSELY, BUT TO TAKE UP THE CONTOURS OF THE GROUND. THE MANUFACTURER'S RECOMMENDATIONS FOR OVERLAPPING ADJACENT STRIPS SHALL BE FOLLOWED.
 5. UPHILL ENDS OF THE MATTING SHALL BE BURIED IN A 6-INCH DEEP SLOT AND STAPLED, AS SHOWN, AT 12-INCH CENTERS ACROSS THE WIDTH OF THE MAT. AT JOINTS, THE DOWNHILL END SHOULD BE OVERLAPPED (SHINGLE FASHION).
 6. MATTING SHOULD BE STAPLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS, BUT GENERALLY STAPLES SHOULD BE INSERTED ON 12-INCH CENTERS DOWN EACH EDGE OF THE MAT AND DOWN ITS CENTERLINE.
 7. FOLLOWING INSTALLATION, MESH MATTINGS SHOULD BE ROLLED WITH A SMOOTH ROLLER TO BRING INTO CLOSE CONTACT WITH THE SOIL AND TO CONSOLIDATE THE SEEDBED.

EROSION BLANKET INSTALLATION FOR SLOPES
(NOT TO SCALE)

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Pennsylvania One Call System
PA. act 172 of 1986 requires three working days notice
Serial Numbers:
20241660254

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UP: 1-8-147 | UPI: 1-8-147.1 | UPI: 1-8-148

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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SCOTT J. ZWIZANSKI
ENGINEER
PE091752

No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

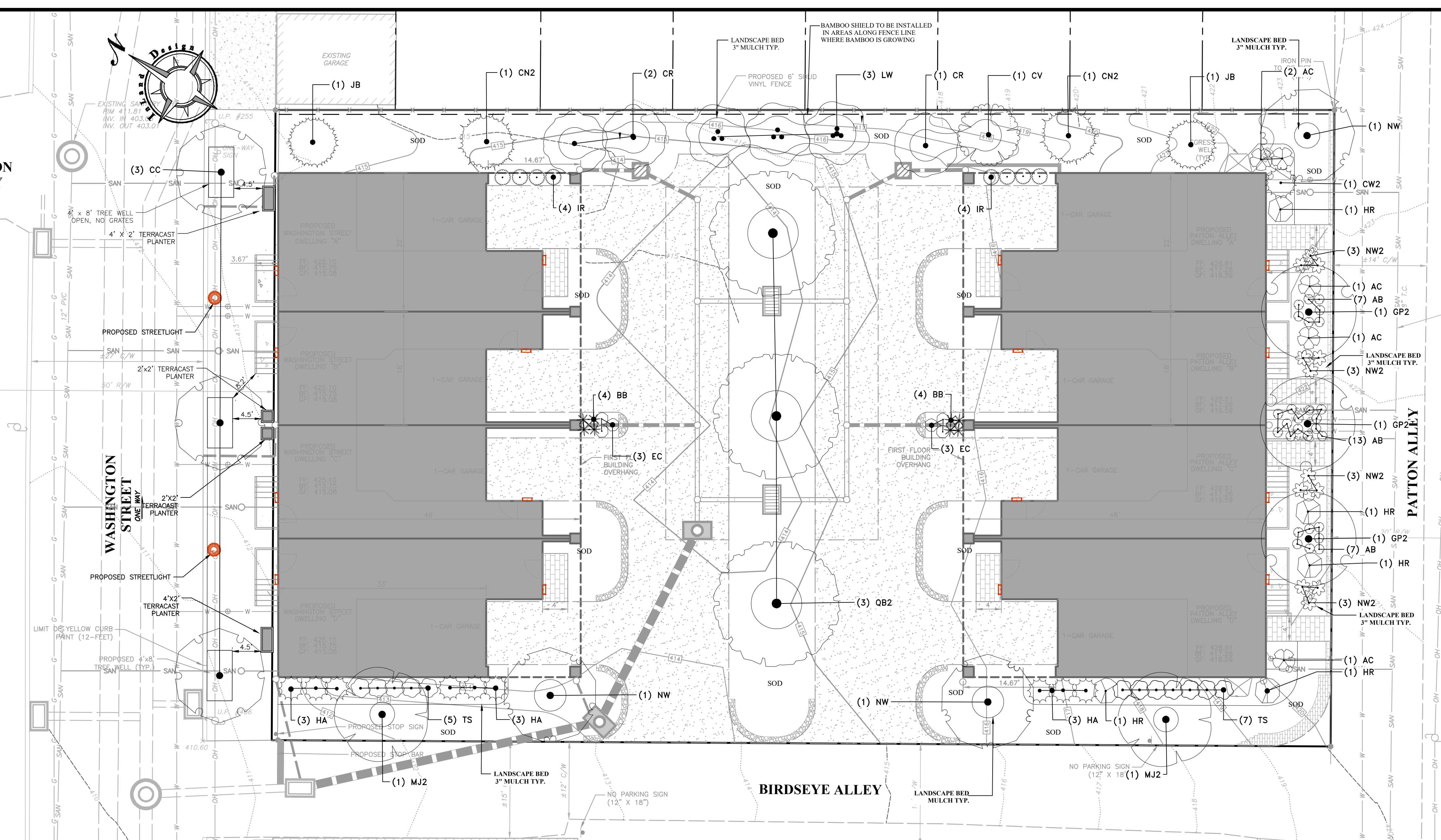
FINAL LAND DEVELOPMENT PLAN

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10'

Date: 9/30/2024
Scale: AS NOTED
Drawn by: DWN
Checked by: SJZ
Project No. 12308

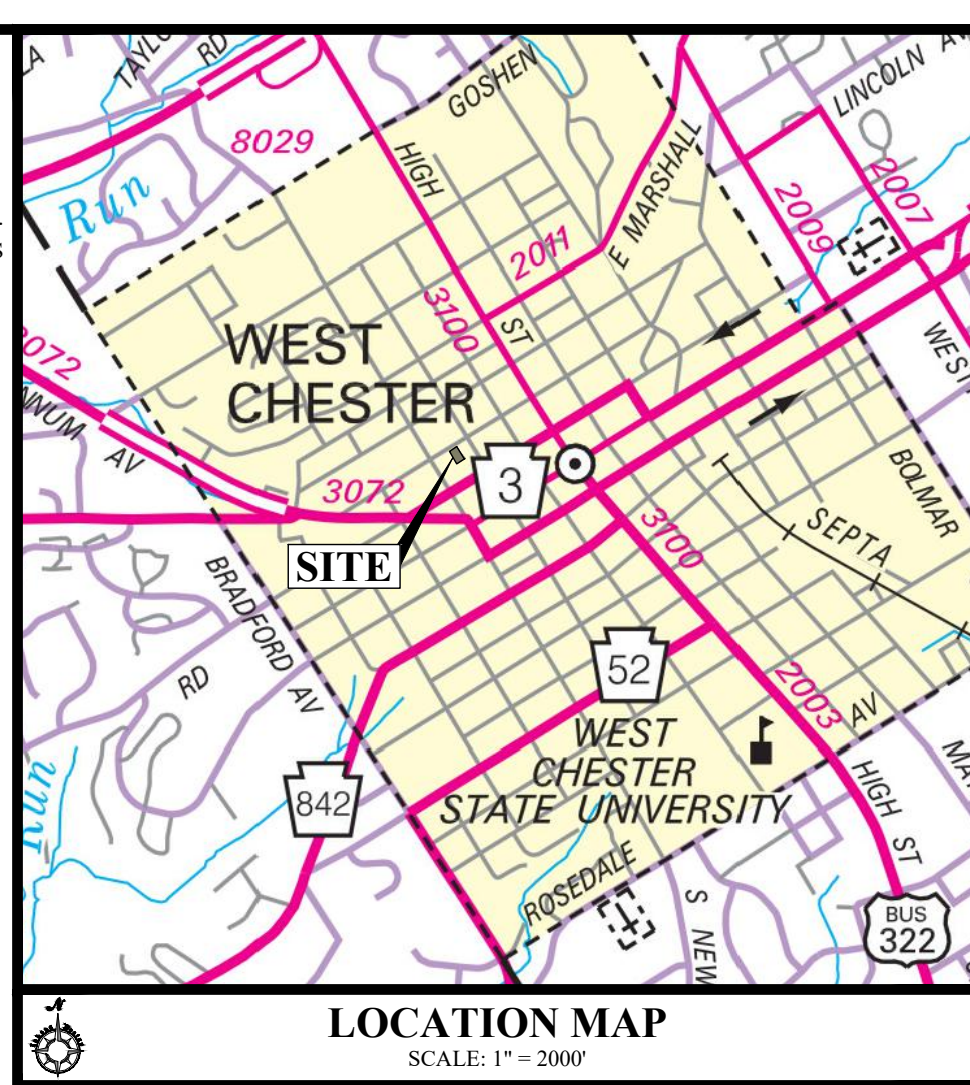
EROSION CONTROL DETAILS FOR AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET 9 OF 14



LANDSCAPING GENERAL NOTES

1. ALL BEDS SHALL HAVE THREE INCHES OF SHREDDED HARDWOOD MULCH OR EQUAL.
2. TREE WRAP SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
3. DO NOT CUT THE LEADER OF DECIDUOUS TREES.
4. NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO SANITARY AND WATER UTILITIES OR CURB LINES.
5. NO PLANTS, EXCEPT GROUND COVER, SHALL BE PLANTED LESS THAN FIVE FEET FROM A STRUCTURE, WALKS OR CURB LINES.
6. ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED. IT SHALL BE OF SYMMETRICAL GROWTH, TYPICAL OF ITS SPECIES OR VARIETY, CERTIFIED FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, AND A VIGOROUS HEALTHY ROOT SYSTEM.
7. ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS BY THE LANDSCAPING CONTRACTOR.
8. ALL SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS BY THE LANDSCAPING CONTRACTOR.
9. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
10. ALL PLANTING MATERIALS SHALL MEET THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION FOR HEALTH, FORM, AND ROOT CONDITION.
11. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP.
12. PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
13. TREES AND SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO THE FINISHED GRADE IN THE NEW DEVELOPMENT AS THEY DID IN THE NURSERY.
14. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS AS SPECIFIED IN THE PLANT SCHEDULE AND SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH THE PLANTING DETAILS, NOTES AND SPECIFICATIONS IN THE APPROVED LANDSCAPE PLANS.
15. ANY SUBSTITUTIONS OF PLANT MATERIALS MUST BE REVIEWED AND APPROVED BY THE BOROUGH BEFORE INSTALLATION.
16. ALL LANDSCAPE IMPROVEMENTS TO BE PROVIDED IN ACCORDANCE WITH THE ORDINANCE SHALL BE INSTALLED AND MAINTAINED BY ACCEPTED PRACTICES AS RECOGNIZED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS. PLANTING AND MAINTENANCE OF VEGETATION SHALL INCLUDE, AS APPROPRIATE, BUT NOT BE LIMITED TO, PROVISIONS FOR SURFACE MULCH, GUY WIRES AND STAKES, IRRIGATION, FERTILIZATION, INSECT AND DISEASE CONTROL, AND PRUNING.
17. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, INCLUDING WATERING, FERTILIZING TO MAINTAIN HEALTHY GROWTH, PRUNING, WEEDING, AND CLEANING DEBRIS PRIOR TO THE END OF THE GUARANTEE PERIOD.
18. ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTEE WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
19. CONTRACTOR SHALL REMOVE ANY DEAD, DISEASED OR DECAYING TREES FROM THE PROPERTY.
20. STREET TREE SHALL HAVE A MIN. OF 7- FEET OF HEAD CLEARANCE ABOVE SIDEWALK AT PLANTING.
21. PLANTERS ALONG WASHINGTON STREET TO BE MAINTAINED BY THE HOA.
22. ALL DISTURBED AREAS NOT MULCHED TO BE SODDED.



WEST CHESTER BOROUGH LANDSCAPING SPECIFICATIONS

ALL TREE PLANTING PROCEDURES SHALL FOLLOW ANSI A300 (PART 6)- 2012 PLANTING AND TRANSPLANTING, AS WELL AS ISA'S BEST MANAGEMENT PRACTICES: TREE PLANTING, SECOND EDITION.

1. ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS. ANY TREE THAT DIES WITHIN THE GUARANTEE SHALL BE REPLACED.
2. ALL TREES WITHIN THE RIGHTS-OF-WAY SHALL BE AN APPROVED SPECIES, AND SHALL CONFORM TO REQUIREMENTS OF THE BOROUGH RELATIVE TO SPACING.
3. ALL TREES SHALL BE TRUE TO NAME, NURSERY GROWN, AND FREE OF ALL PEST INFESTATION, PLANT DISEASE, OR UNEQUAL TRUNK OR BASAL SCARS.
4. TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS AND FIBROUS ROOT SYSTEMS.
5. ALL TREES, OR AT A MINIMUM REPRESENTATIVE SAMPLES OF ALL TREES, SHALL BE SUBJECT TO INSPECTION AT THE PLANTING SITE PRIOR TO PLANTING IT IS RECOMMENDED THAT THE REPRESENTATIVE SAMPLES OF ALL TREES BE INSPECTED, RATHER THAN ALL TREES, IN THE EVENT ANY OR ALL TREES ARE REJECTED PLANTINGS WILL BE APPROVED OR REJECTED FOR CAUSE. ALL PLANTINGS SHALL CONFORM TO THE STANDARDS OF THE PUBLICATION "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) OF THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
6. ALL TREES SHALL BE DUG WITH BALL AND BURLAP AND SHALL CONFORM WITH THE BALL DIAMETER TO DEPTH RATIO STANDARDS OF THE PUBLICATION "AMERICAN NURSERY STOCK" (ANSI Z60.1) OF THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION, I.E. ONE FOOT OF BALL FOR EACH TRUNK CALIPER MEASURED ONE FOOT ABOVE GROUND AND SHALL NOT BE LESS IN DEPTH THAN 1/2 OF THE BALL DIAMETER. WIRE BASKETS WHICH MAY BE USED TO TRANSPORT TREES SHALL BE REMOVED PRIOR TO PLANTING. TREES SHOULD BE PLANTED IN ELLIPTICAL PLANTING HOLES RATHER THAN THE STRAIGHT SIDED HOLES. HOLES SHOULD BE DUG AT LEAST TWO (2) FEET WIDER THAN THE GREATEST WIDTH OF THE TREE BALL FOR TREES OF LESS THAN FIVE INCH (5") CALIPER AND FOUR (4) FEET WIDER FOR TREES OF GREATER THAN FIVE INCH (5") CALIPER. ALL TREES SHALL BE SET ON FIRM SOIL THAT HAS NOT BEEN LOOSENED OR TO WHICH SOIL AMENDMENTS HAVE BEEN ADDED (THIS IS TO PREVENT FUTURE SETTLING OF THE TREE TO BELOW THE POINT THAT THE TREE WAS ORIGINALLY GROWN NATURALLY OR IN THE NURSERY.)

CHECK EACH TREE FOR THE START OF THE FLAIR OR ROOT SYSTEM AND PLANT AT THAT DEPTH. UNTIL THE BURLAP ON THE BALL AND REMOVE IT FROM THE TOP OF THE BALL. PLASTIC BURLAP, IF USED, SHALL BE REMOVED. USED GOOD QUALITY TOPSOIL FOR PLANTING. FIRM UP SOIL TO ENSURE SOIL CONTACT TO ROOT MASS. WATER THE TREE UNTIL THE ENTIRE ROOT BALL IS WET. THEREAFTER, KEEP ROOT SYSTEM MOIST BUT NOT WET.

INJURED, DISEASED TREES AND TREES WITH BROKEN BRANCHES OR DOUBLE LEADERS SHOULD BE PRUNED. FOR TREES WITH DOUBLE LEADERS, REMOVE ONE OF THE DOUBLE LEADERS TOTALLY. DO NOT TOP THE CENTRAL LEADER.

MULCH SAUCER OF TREE AT A MINIMUM THICKNESS OF THREE INCHES (3"), BUT DO NOT PILE MULCH ON TREE TRUNK. MAINTAINING A PERMANENTLY MULCHED AREA AROUND THE TREE PROMOTES GROWTH AND HELPS PREVENT MOWING INJURIES.

7. TAKE CUSTOMARY PRECAUTIONS ACCORDING TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN IN PREPARING PLANTS FOR DIGGING, MOVING, TRANSPLANTING, AND PLANTING.

SPECIFICATIONS FOR SHRUBS

1. ALL SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS. ANY SHRUB THAT DIES WITHIN THE GUARANTEE PERIOD SHALL BE REPLACED.
2. SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS AND FIBROUS ROOT SYSTEMS.
3. SHRUBS SHOULD BE BALLED AND BURLAPPED OR CONTAINER GROWN.

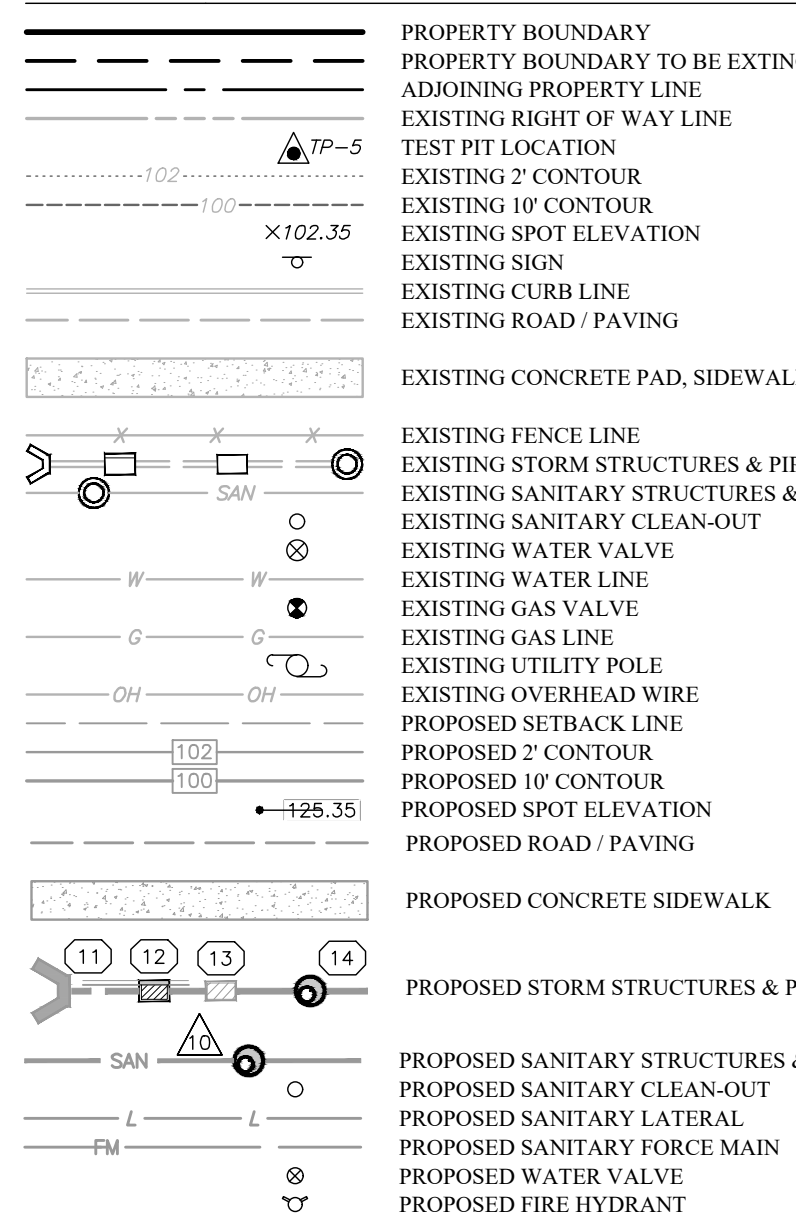
A. SPACING: UNLESS A HEDGE IS PROPOSED, GIVE SHRUBS ROOM TO GROW BY PROVIDING PROPER SPACING; PLACE PLANTING HOLES ON CENTERS THAT APPROXIMATE TO THE HEIGHT OF THE SHRUB AT MATURITY. IF SET AGAINST A BUILDING, SHRUBS SHOULD NOT TOUCH WALLS OR BE PLANTED IN THE BUILDING'S DRIP LINE WHERE PLANTS CAN BE DAMAGED BY EXCESSIVE WATER RUN-OFF, AND/OR FALLING ICE AND SNOW. DO NOT PLANT IN AREAS THAT WILL HAVE LARGE PILES OF SNOW FROM PLOWING OF PARKING LOTS OR ROADWAYS.

B. PLANTING: DIG A SEPARATE HOLE FOR EACH SHRUB. ADD ORGANIC MATERIALS SUCH AS PEAT MOSS OR COMPOST TO SOIL. HOLES SHOULD BE DUG AT LEAST EIGHT INCHES (8") WIDER THAN THE SHRUB, AND THE SAME DEPTH AS THE BALL. PLANTS SHALL BE REMOVED FROM CONTAINERS, AND ALL PLASTIC BURLAP SHALL BE REMOVED. NATURAL FIBER BURLAP MAY BE LEFT, BUT LOOSEN THE TOP AND REMOVE FROM THE STEM OF THE SHRUB. SET SHRUB AT SAME LEVEL AS GROWN AT THE NURSERY OR ONE INCH (1") HIGHER. FILL WITH MIXTURE OF SOIL AND ORGANIC MATERIAL UNTIL THE HOLES IS FULL, THEN ADD WATER. BUILD SAUCER AROUND SHRUB AND FINISH FILLING, TAMPING TO ENSURE GOOD SOIL TO ROOT CONTACT. WATER AND COVER WITH MULCH. DO NOT PILE MULCH DEEPER THAN THREE INCHES (3"). PRUNE OUT ANY BROKEN BRANCHES. MAINTAIN A WATERING SCHEDULE WHENEVER RAINFALL IS INSUFFICIENT TO KEEP THE SOIL MOST. A SLOW RELEASE FERTILIZER SHOULD BE ADDED EARLY IN THE SPRING OF THE SECOND YEAR.

AZALEAS AND RHODODENDRONS AND OTHER ERICACEOUS PLANTS SHALL BE PLANTED IN SOIL WITH A pH VALUE BETWEEN 4.5 pH AND 6.5 pH. THESE PLANTS ARE FIBROUS ROOTED AND GROW WITHIN THE UPPER 12 INCHES OF SOIL. A MULCH WILL KEEP THE TOPSOIL COOL, AND AID IN GROWTH.

MULCH ON ALL SHRUBS SHOULD BE RENEWED YEARLY TO KEEP DOWN WEEDS, CONSERVE WATER, AND INCREASE SOIL HUMUS.

LEGEND



TERRACAST SELF-WATERING RESERVOIRS

1. MANUFACTURER: TERRA CAST
2. MODEL NUMBER: FOR MILLENNIUM RECTANGULAR II TC-REC3794
3. CONTACT INFORMATION: TERRACAST https://www.terra-cast.com/ 844-285-9556

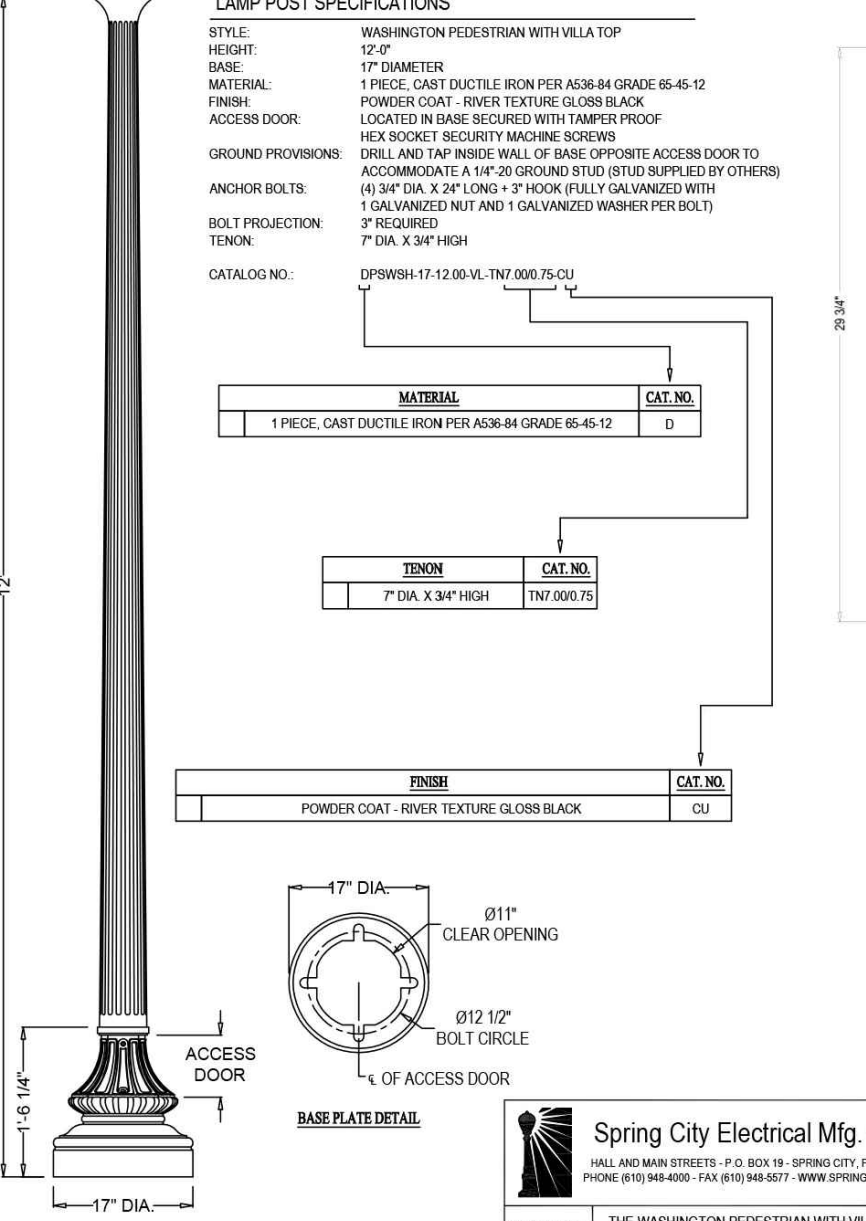
TERRACAST PLANTERS: MILLENNIUM II

1. MANUFACTURER: TERRA CAST
2. MODEL NUMBER: FOR MILLENNIUM RECTANGULAR II TS-48-24 (OR APPROVED EQUAL)
3. CONTACT INFORMATION: TERRACAST https://www.terra-cast.com/ 844-285-9556

WALL SCONCE: CYPHER

1. MANUFACTURER: KIM LIGHTING
2. MODEL NUMBER: CY115-3K7-2-SP-SP-R (3000K) (OR APPROVED EQUAL)
3. COLOR: TO MATCH FACADE
4. FASCIA FORM: E-ROUNDED NONE
5. LUMINOUS FRONT: STANDARD-NONE
6. CONTACT INFORMATION: https://www.currentlighting.com/kimlighting 1 (864) 678-1000

LAMP POST SPECIFICATIONS



STREET LIGHT: AUGUSTA WITH VILLANOVA LARGE FITTER



LANDSCAPE REQUIREMENTS

	NO. PLANTS	REQUIRED	PROPOSED
\$ 97-A24 - STREET TREES: 1 SHADE TREE (3-11/2" CAL.) FOR EVERY 35 FEET OF ROAD LENGTH.			
WASHINGTON STREET LENGTH: 100' (100' / 35' = 2.86 ~ 3)	1	3	3
PATTON ALLEY LENGTH: 101' (101' / 35' = 2.88 ~ 3)	1	3	4
BIRDSIDE ALLEY LENGTH: 168' (168' / 35' = 4.8 ~ 5)	1	5	4
	TOTAL	11	11
LANDSCAPING AND SCREENING			
\$ 97-33.D (5)(b) (c) - BUILDING FACADE BUILDING FACADE LENGTH: 160'			
1 (2 1/2" - 3" CAL.) SPECIMEN DECIDUOUS TREE PER 50' LENGTH OF BUILDING FACADE (160' / 50' = 3.2 ~ 4)	1	4	4
1 (6'-7' SPECIMEN EVERGREEN TREE PER 50' LENGTH OF BUILDING FACADE (160' / 50' = 3.2 ~ 4)	1	4	4
5 (30" HT) EVERGREEN DECIDUOUS SHRUB PER 20' LENGTH OF BUILDING FACADE (160' / 20' = 8) (8 * 5 = 40 SHRUBS)	5	40	40
	TOTAL LANDSCAPE	REQUIRED	PROPOSED
		15	15
		4	4
		40	40

PLANT SCHEDULE LANDSCAPE

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
BUILDING EVERGREEN TREES				
CN2	2	CHAMAECYPARIS NOOTKATENSIS / NOOTKA CYPRESS	6'-7" MIN. HT.	CONT.
JB	2	JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER	6'-7" MIN. HT.	I&B
DECIDUOUS TREES				
LW	3	LAGERSTROEMIA INDICA 'WHIT' / RED ROCKET® CRAPE MYRTLE	3'- 3 1/2" CAL.	I&B
QB2	3	QUERCUS BICOLOR / SWAMP WHITE OAK	3'- 3 1/2" CAL.	I&B
SPECIMAN DECIDUOUS TREES				
CV	1	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	11'-27"-3" CAL.	I&B
CR	3	CORNUS X RUTICAN / CONSTELLATION® FLOWERING DOGWOOD	21'-27"-3" CAL.	I&B
STREET TREES				
CC	3	CERCIS CANADENSIS / EASTERN REDBUD	3'- 3 1/2" CAL.	I&B
GP2	3	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	3'- 3 1/2" CAL.	CONT.
M2	2	MAGNOLIA VIRGINIANA 'JIM WILSON' / MOONGLOW® SWEETBAY MAGNOLIA	3'- 3 1/2" CAL.	I&B
NW	3	NYSSA SYLVATICA 'WILDFIRE' / WILDFIRE TULPO	3'- 3 1/2" CAL.	I&B
SHRUBS				
AC	5	AZALEA X CONLEN® / AUTUMN BRAVO® ENCORE® AZALEA	30" HT MIN.	I&B
CW2	1	CHAMAECYPARIS OBTUSA 'WELLS SPECIAL' / WELLS SPECIAL HINOKI FALSE CYPRESS	#5	CONT.
HA	9	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	30" HT MIN.	CONT.
HR	5	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' / RUBY SLIPPERS OAKLEAF HYDRANGEA	30" HT MIN.	CONT.
IR	8	ITEA VIRGINICA 'SMINVM' / FIZZY MIZZAZ® SWEETSPIRE	24"-36"	CONT.
TS	12	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	5' HT.	CONT.
PERENNIALS				
AB	27	ASTILBE X ARENDSI® 'BRAUTSCHLEIER' / BRIDAL VEIL ASTILBE	#2	CONT.
BB	8	BOUFFLOEA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	#1	CONT.
EC	6	ECHINACEA X 'CHEYENNE SPIRIT' / CHEYENNE SPIRIT CONEFLOWER	#2	CONT.
NW2	12	NEPETA X FASSINII® 'WALKER'S LOW' / WALKER'S LOW CATMINT	#2	CONT.

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PA. act 172 of 1986 requires three working days notice
Serial Number: **20241660254**
PENNSYLVANIA ACT 187 REQUIREMENTS: Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

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16 Hagerty Blvd. West Chester, PA 19382
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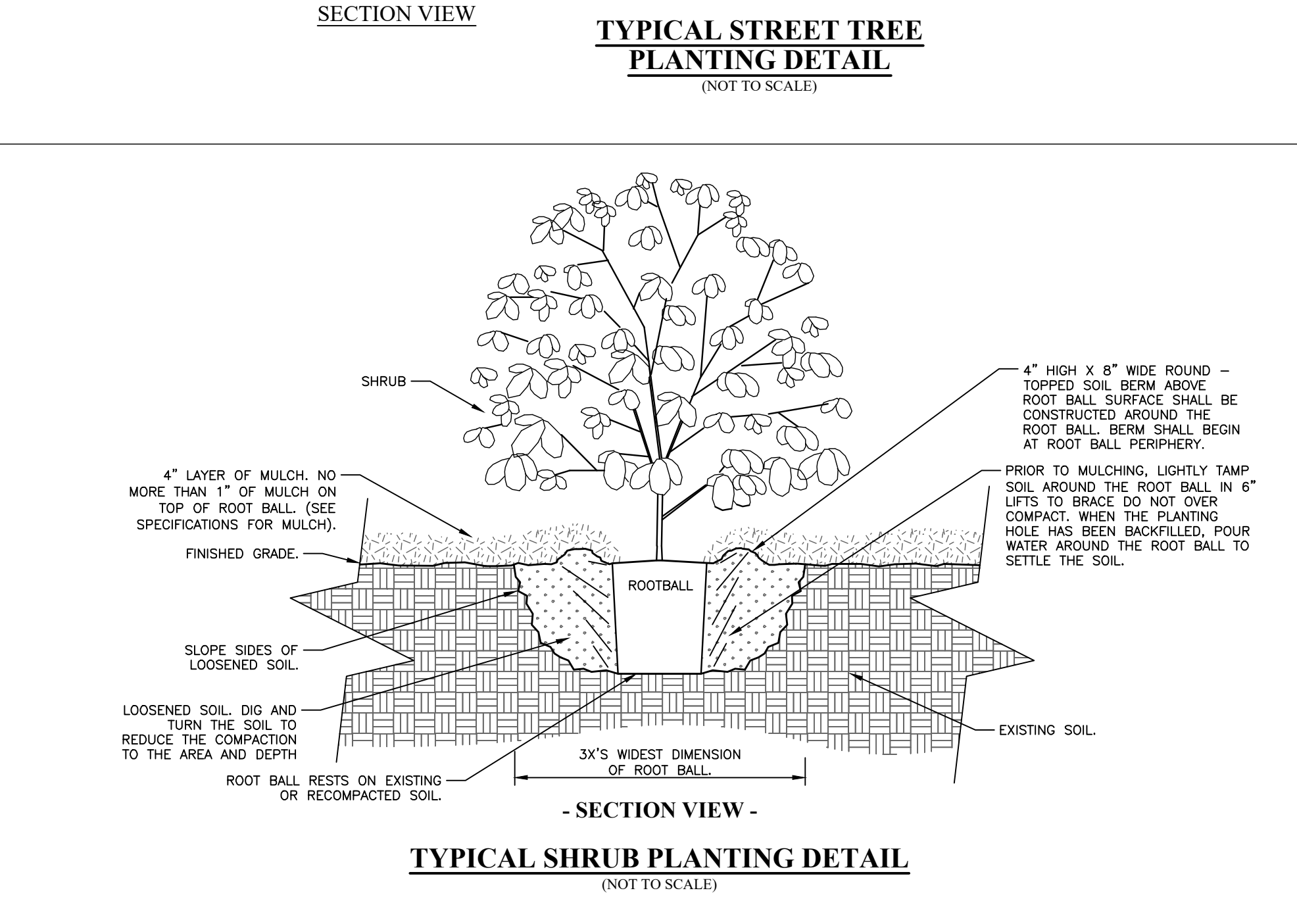
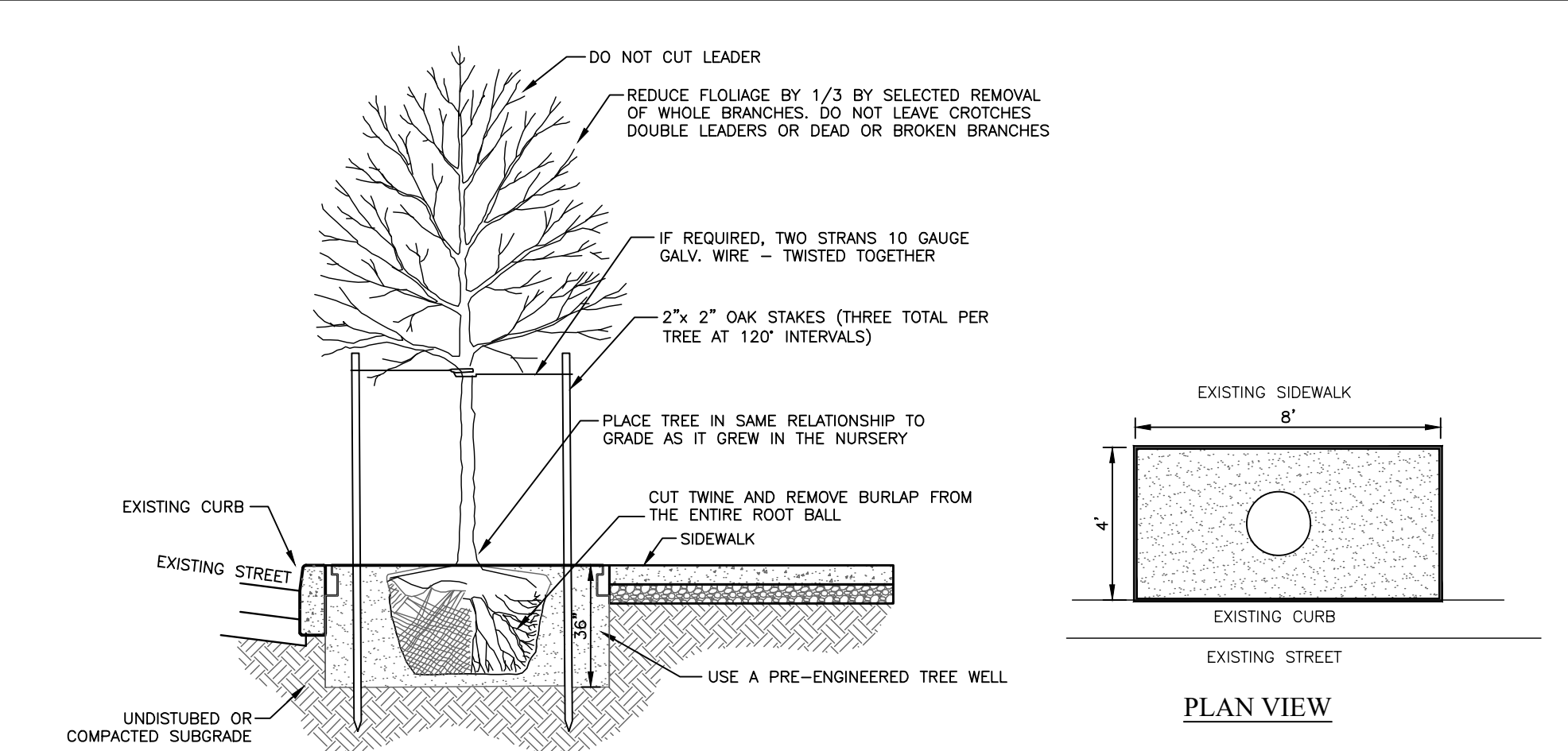
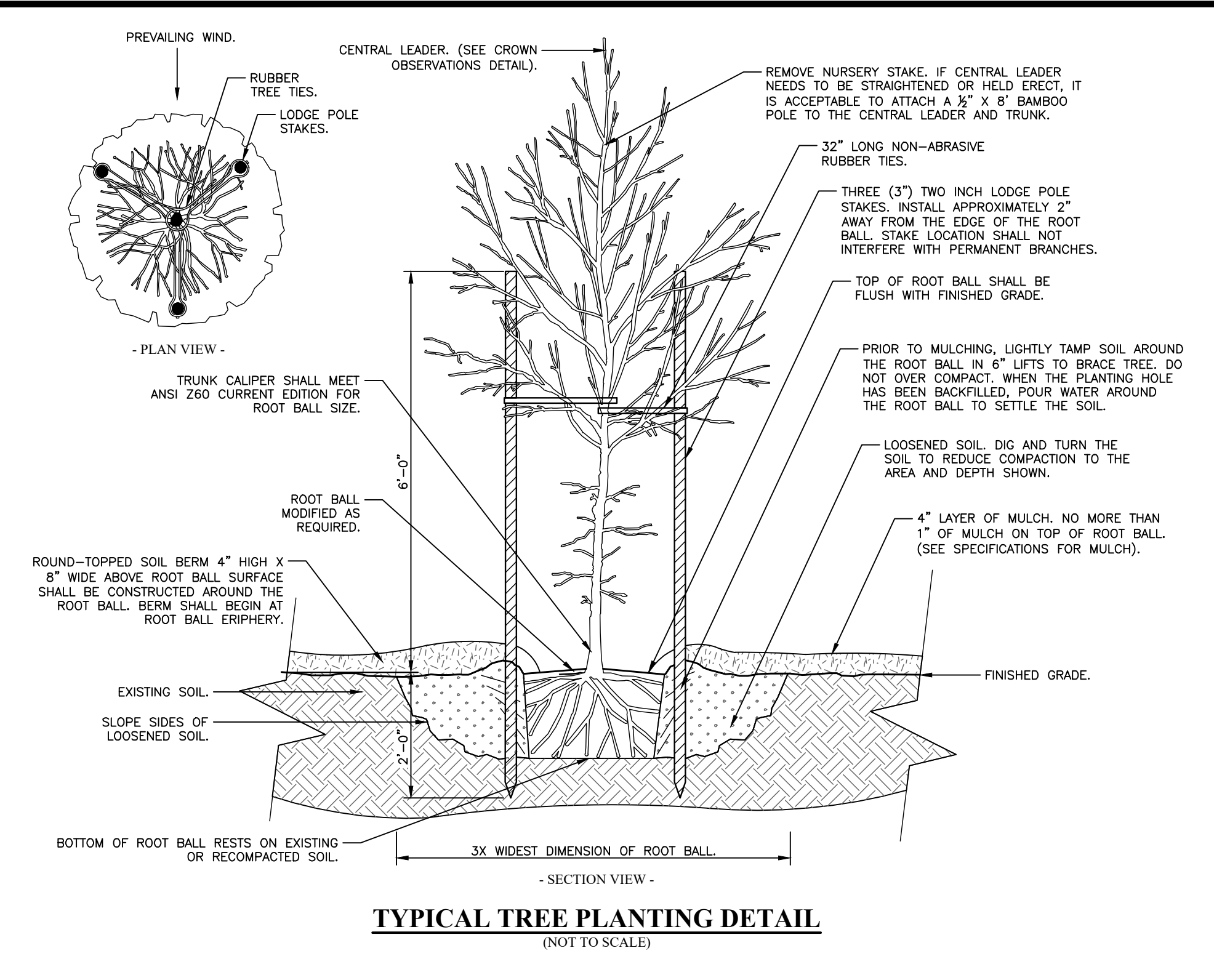
PENNSYLVANIA
REGISTERED LANDSCAPE ARCHITECT
No. 1216/2024
Date: 12/16/2024
Description: REVISED PER MUNICIPAL REVIEW LETTERS

FINAL LAND DEVELOPMENT PLAN
GRAPHIC SCALE
1" = 10'
1 inch = 10 feet

LANDSCAPE PLAN FOR AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

Date: 9/30/2024
Scale: 1" = 10'
Drawn by: MEAS/DWN
Checked by: MEAS
Project No. 12308

SHEET 10 OF 14

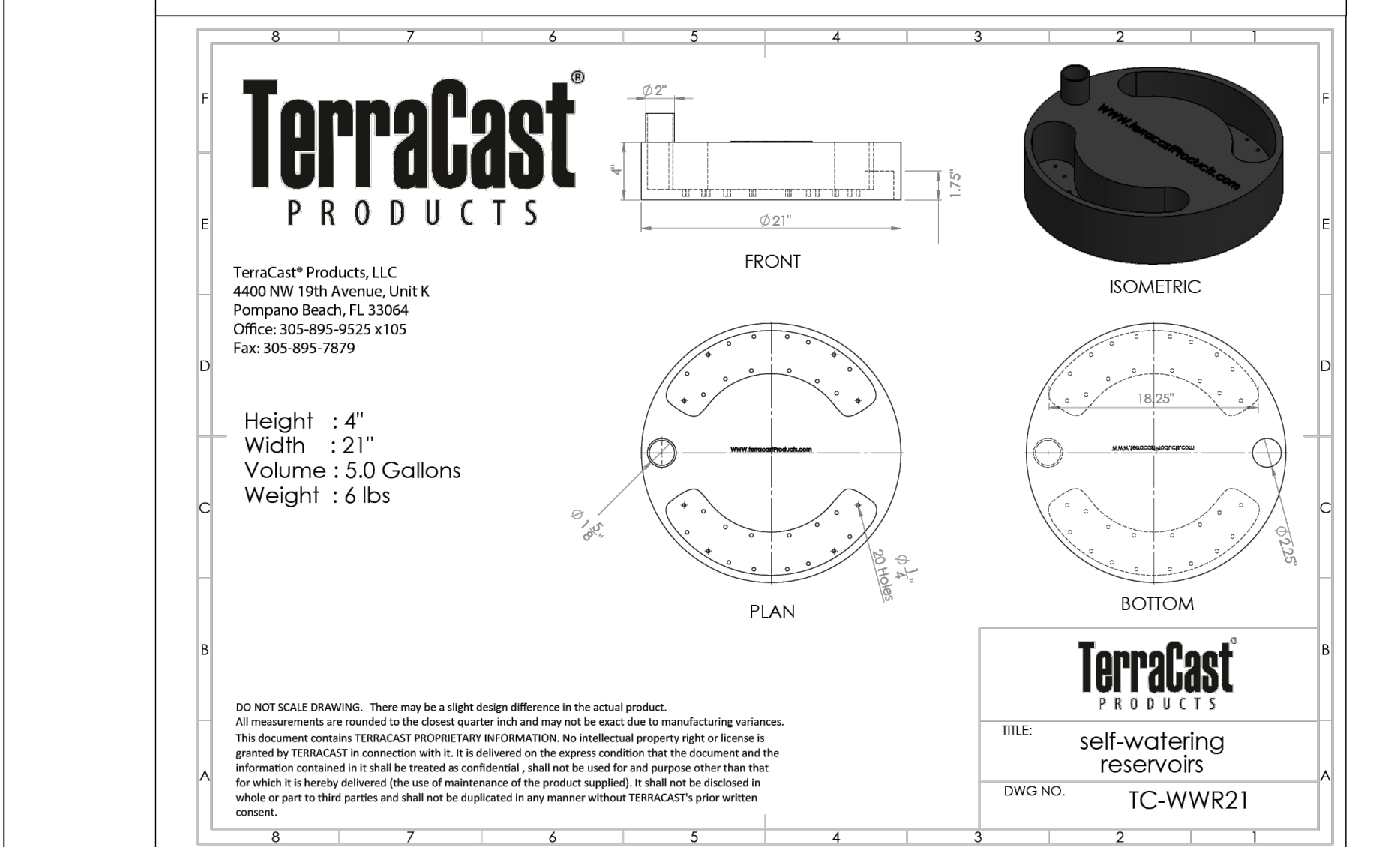
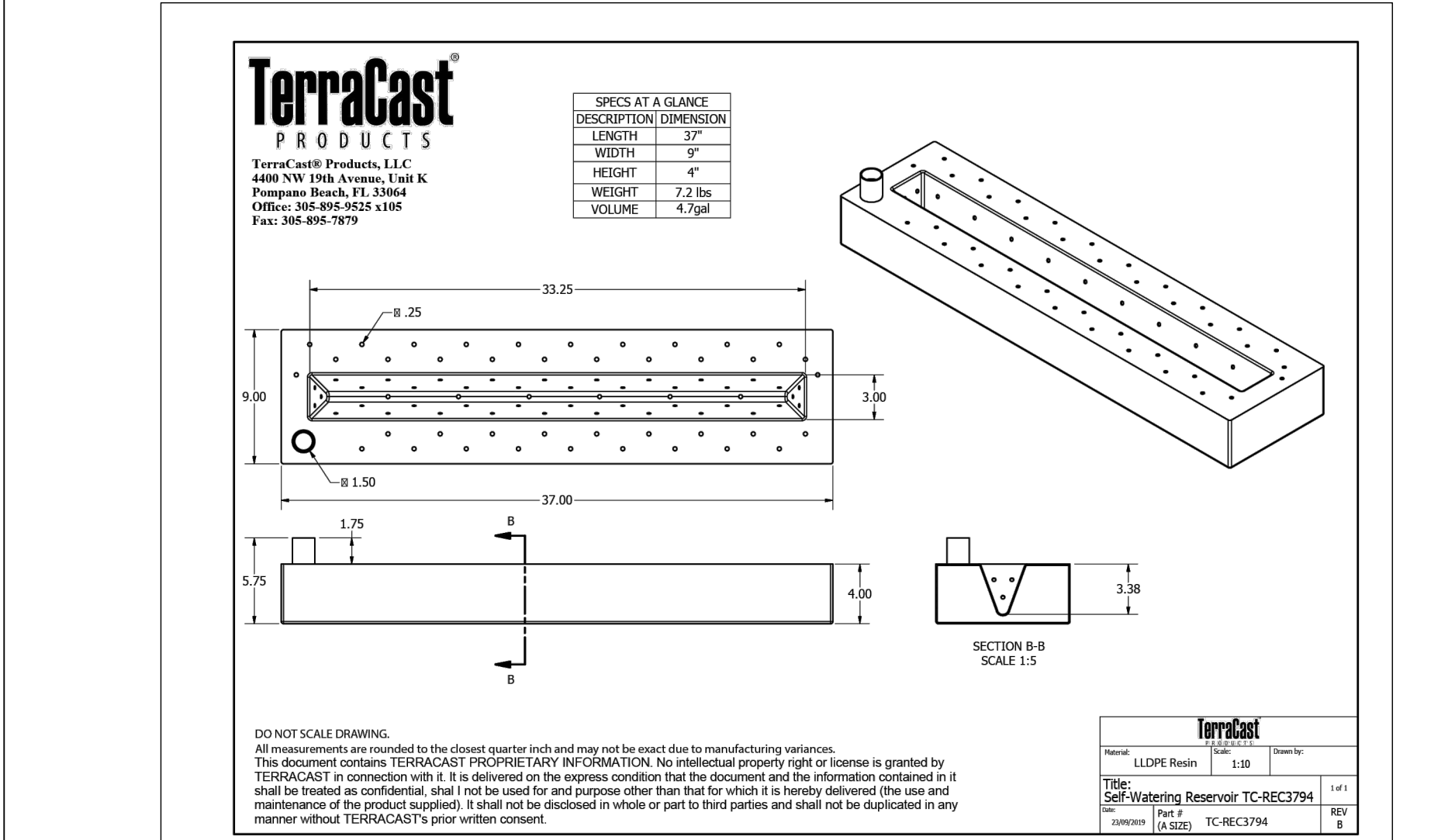
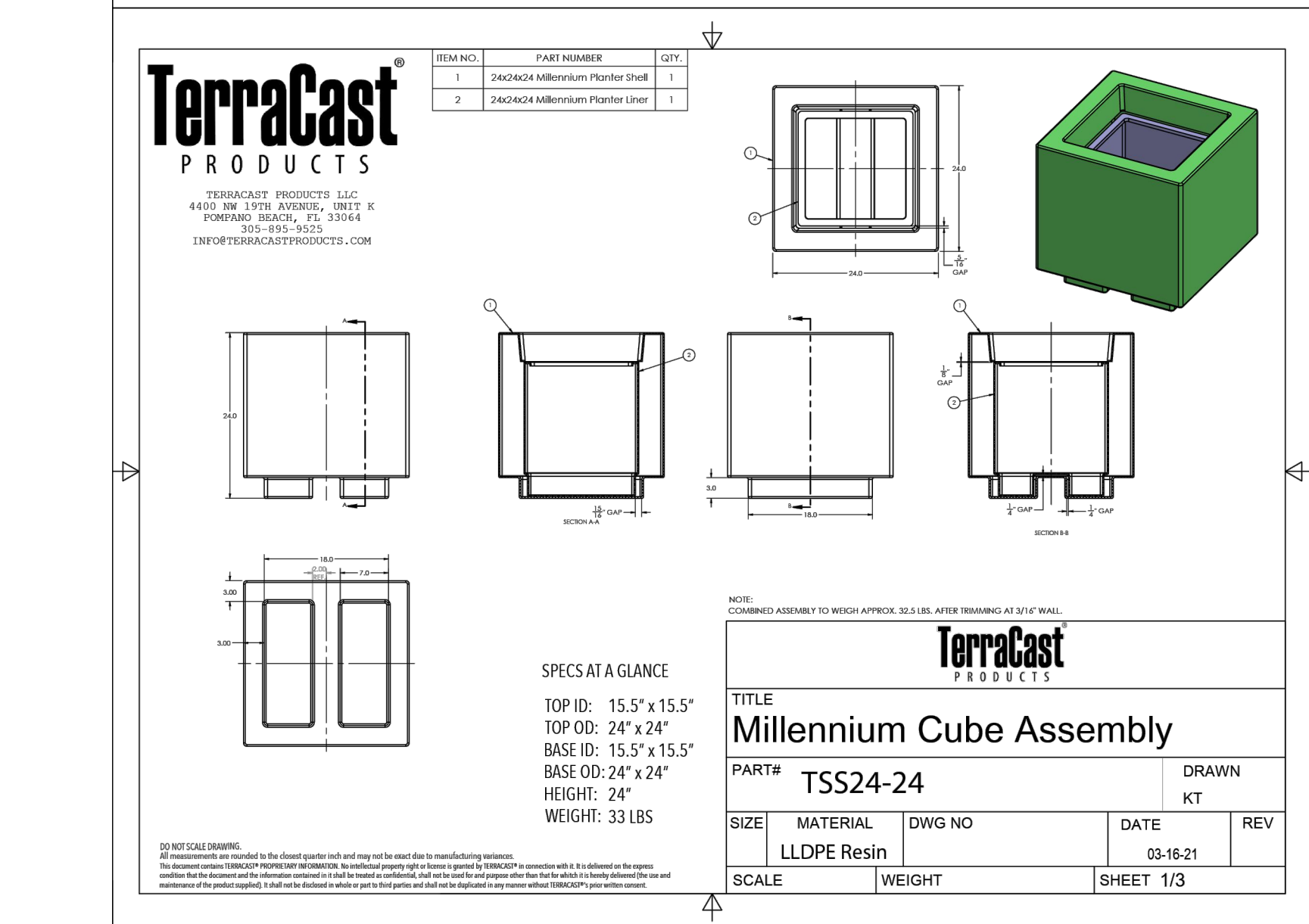
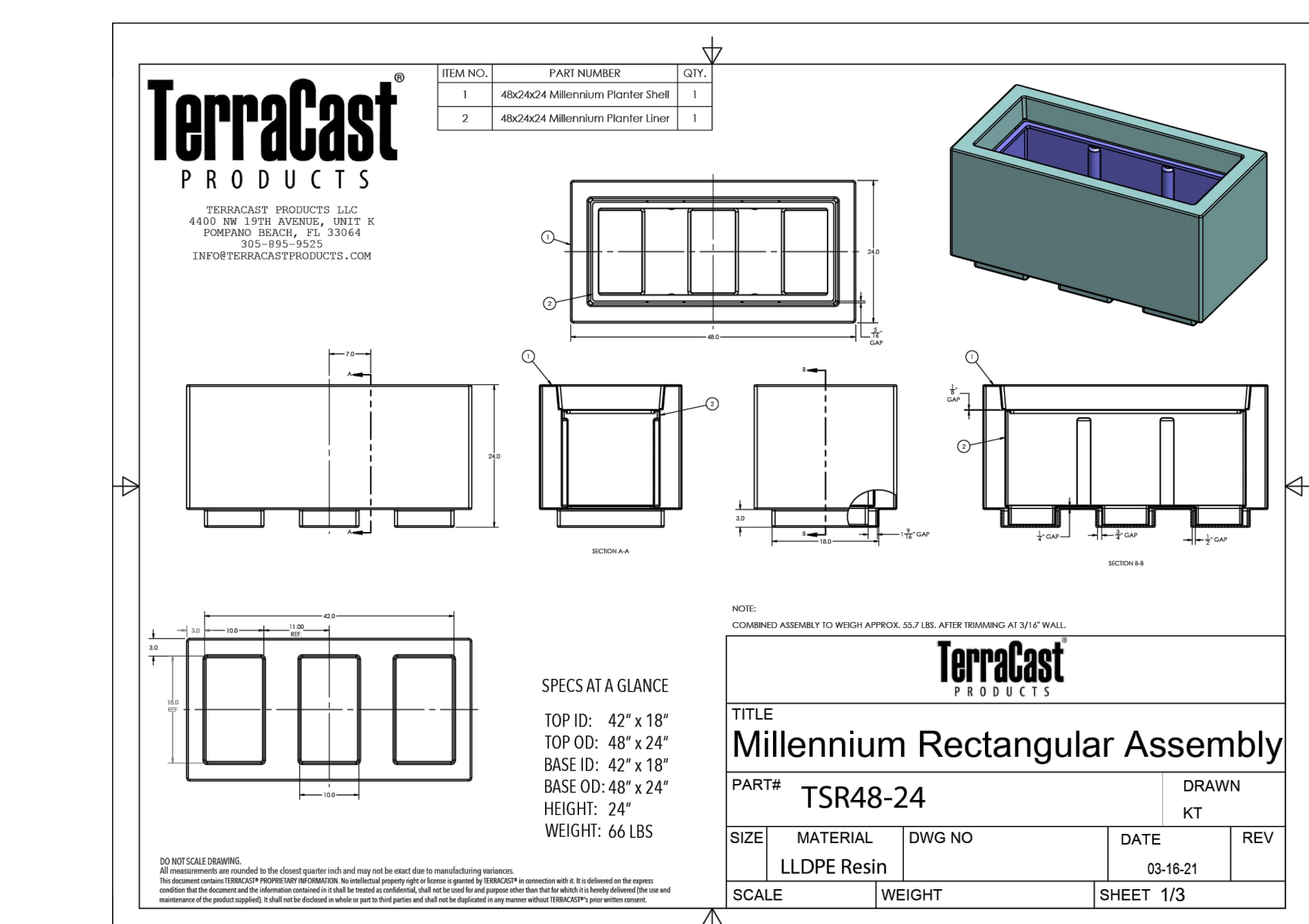


TERRACAST MILLENNIUM II PLANTER

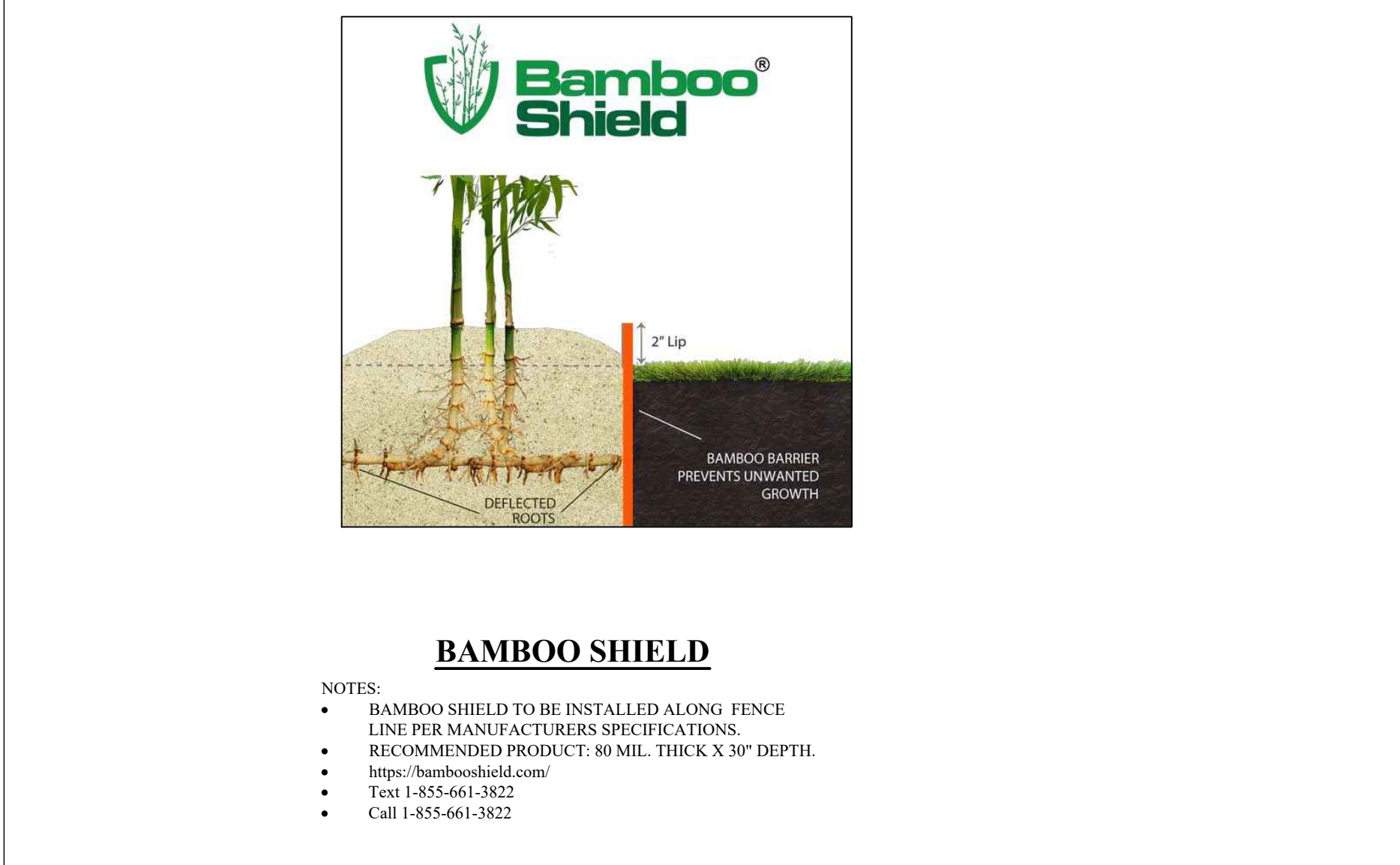
- NOTES:
- PRODUCT: TERRACAST MILLENNIUM RECTANGULAR II PLANTER
 - 24"x48" ITEM #
 - TSR48-24: MILLENNIUM PLANTER SHELL
 - TSR48-24-LINER: MILLENNIUM PLANTER LINER
 - PRODUCT: TERRACAST MILLENNIUM SQUARE II PLANTER (CUBE)
 - 24" X 24" ITEM #
 - TSS24-24: MILLENNIUM PLANTER SHELL (CUBE)
 - TSS24-24-LINER: MILLENNIUM PLANTER LINER (CUBE)
 - COLOR: CHARCOAL
- WWW.TERRACASTPRODUCTS.COM/PRODUCT/MILLENNIUM-RECTANGULAR-2/
INFO@TERRACASTPRODUCTS.COM
(844) 285-9556

STREET PLANTER PLANTING OPTIONS

- NOTES:
- USE PLANTER AND WATERING INSERT AS SPECIFIED
 - PLANTER TO BE FILLED WITH POTTING SOIL-NOT GARDEN SOIL OR TOPSOIL
 - LARGE PLANT IN CENTER OF PLANTER AS A FOCAL POINT
 - SMALL AND TRAILING PLANTS AROUND THE FOCAL POINT.
 - WATER, PRUNE, DEADHEAD AND WEED AS NEEDED.
 - FERTILIZE AT MINIMUM TWICE A GROWING SEASON WITH BALANCE FERTILIZER (I.E. MIRACLE-GRO)
 - CHANGE PLANTS OUT SEASONALLY FOR YEAR ROUND INTEREST
 - COLDER MONTHS USE EVERGREEN BOUGHS AND DRIED HERBACEOUS MATERIAL
 - LIST PROVIDED ARE OPTIONS, THERE ARE A LARGE VARIETY OF PLANTS AVAILABLE.

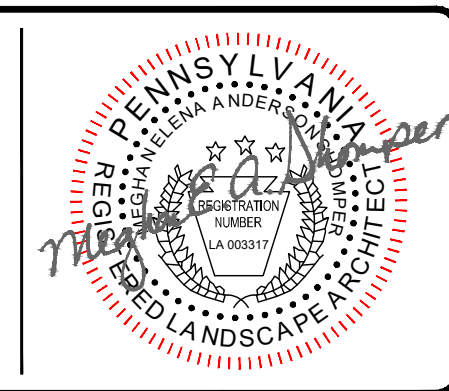


- TERRACAST SELF-WATERING RESERVOIRS**
- NOTES:
- MANUFACTURER: TERRA CAST
 - MODEL NUMBER: FOR MILLENNIUM RECTANGULAR II TC-REC794 FOR MILLENNIUM SQUARE II TC-WWR21
 - CONTACT INFORMATION: TERRACAST [HTTPS://WWW.TERRACASTPRODUCTS.COM/](https://www.terracastproducts.com/) 844-285-9556



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Pennsylvania One Call System
PA. act 172 of 1986 requires three working days notice
Serial Numbers
20241660254
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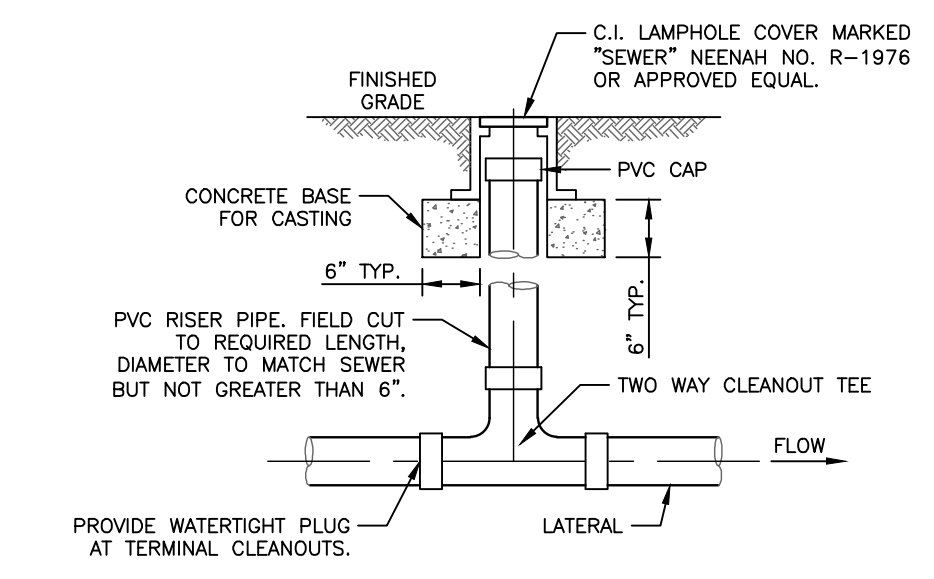
No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.

FINAL LAND DEVELOPMENT PLAN

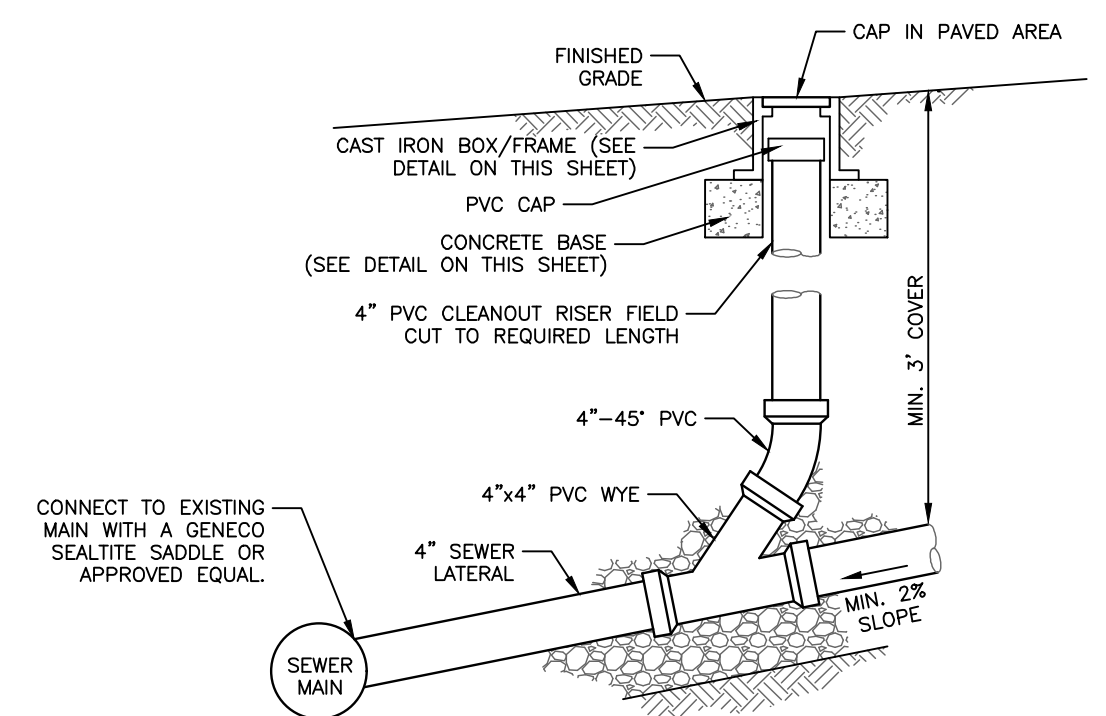
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LANDSCAPE & LIGHTING DETAILS FOR AXLE SQUARE, LLC
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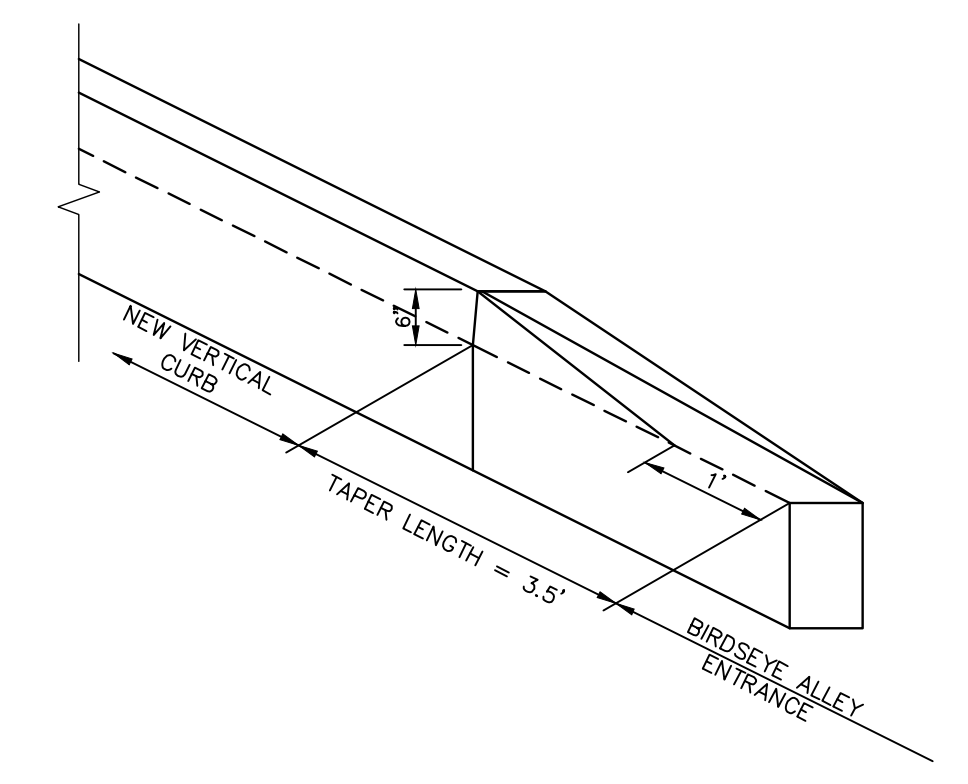
SHEET 11 OF 14



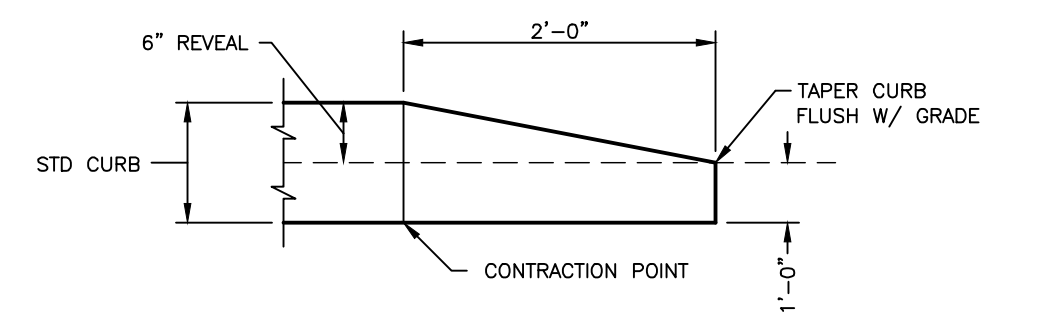
**TYPICAL CLEANOUT FRAME AND COVER
DETAIL PAVED SURFACES OR SIDEWALKS**
(NOT TO SCALE)



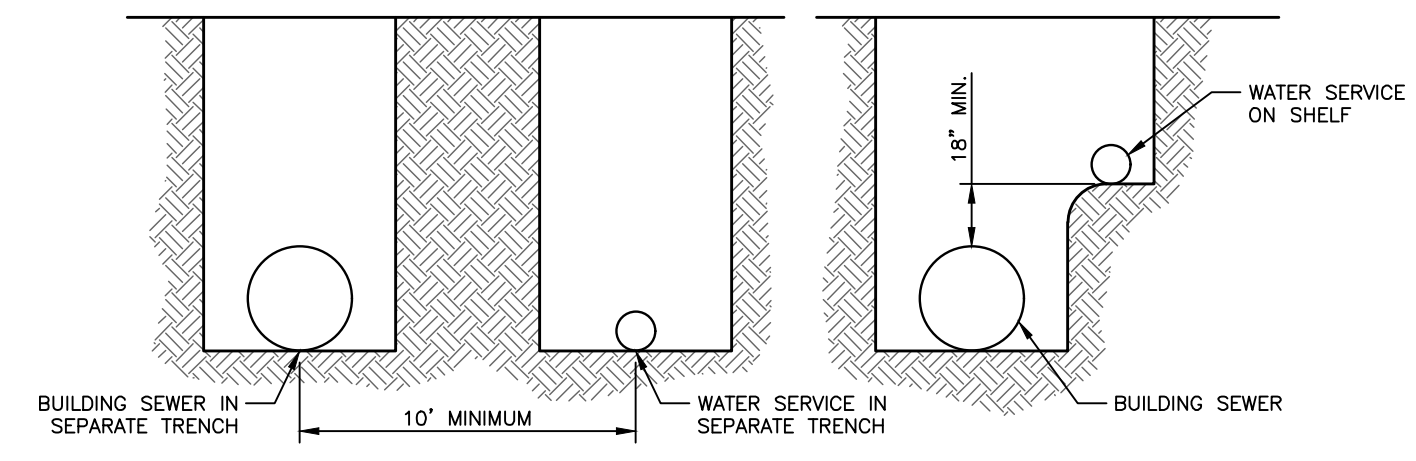
TYPICAL SANITARY SEWER LATERAL
(NOT TO SCALE)



**WASHINGTON ST./BIRDSEYE ALY
CONCRETE CURB MOUNTABLE TAPER
DETAIL**
(NOT TO SCALE)

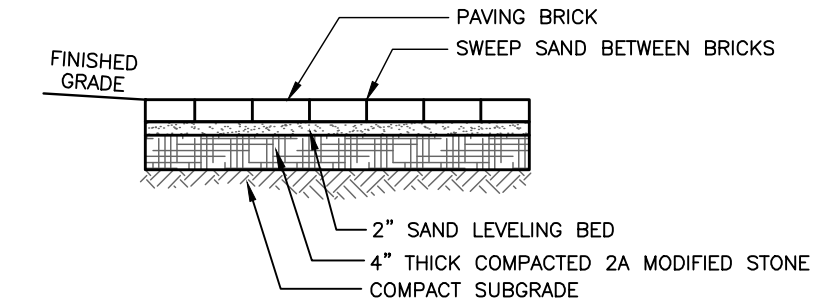


CURB END TREATMENT DETAIL
(NOT TO SCALE)

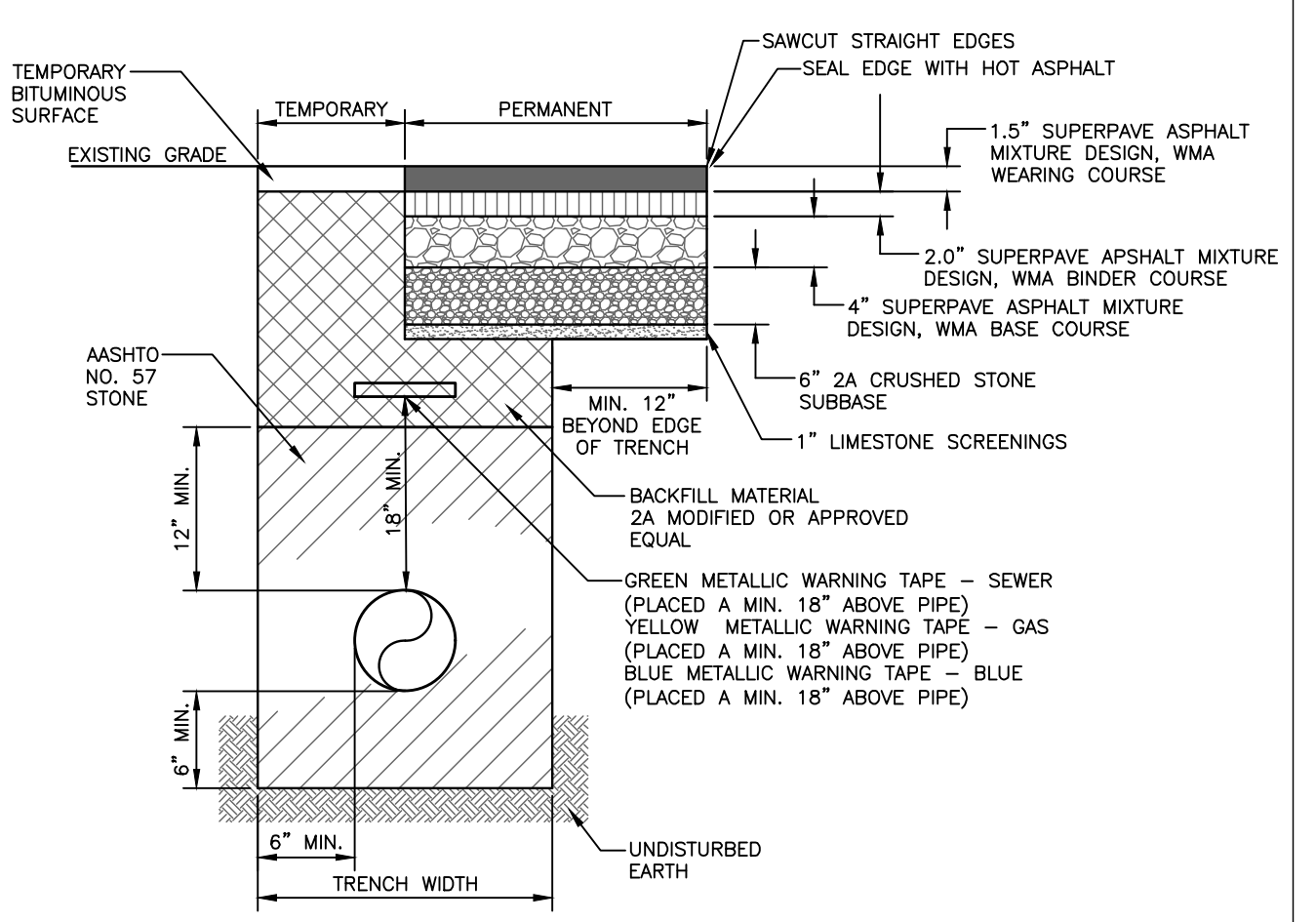


**TYPICAL WATER & SEWER SERVICES
SEPARATION DETAIL**
(NOT TO SCALE)

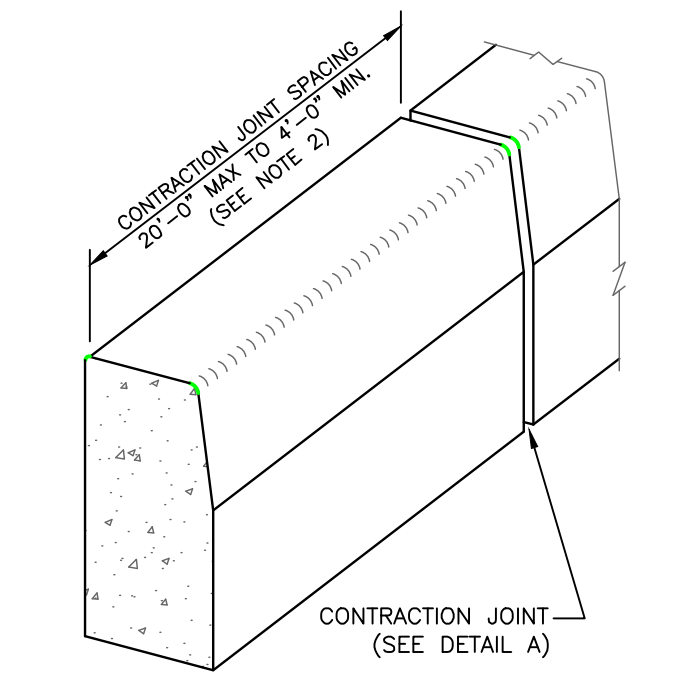
- NOTE:
1. THE BUILDING WATER SERVICE AND SEWER SERVICES SHALL BE 10-FEET APART.
2. WHERE 10-FEET SEPARATION CAN NOT BE ACCOMPLISHED, THE SERVICES SHALL HAVE A VERTICAL SEPARATION OF 12-INCHES (MINIMUM).



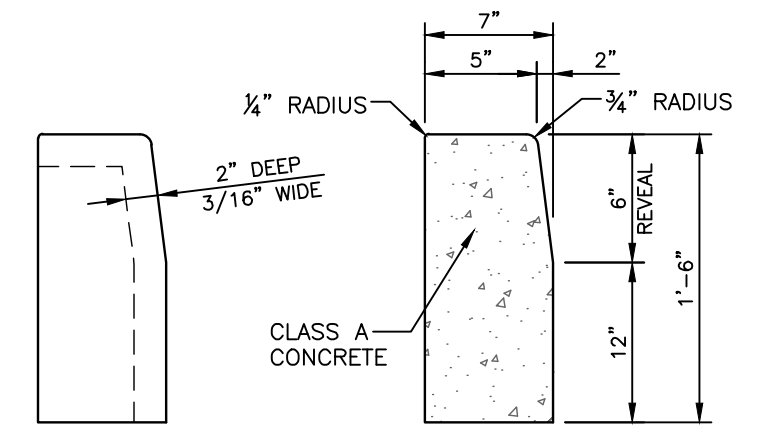
TYPICAL BRICK SIDEWALK SECTION
(NOT TO SCALE)



**PAVEMENT RESTORATION DETAIL FOR
WASHINGTON STREET, BIRDSEYE ALLEY AND
PATTON ALLEY**
(NOT TO SCALE)



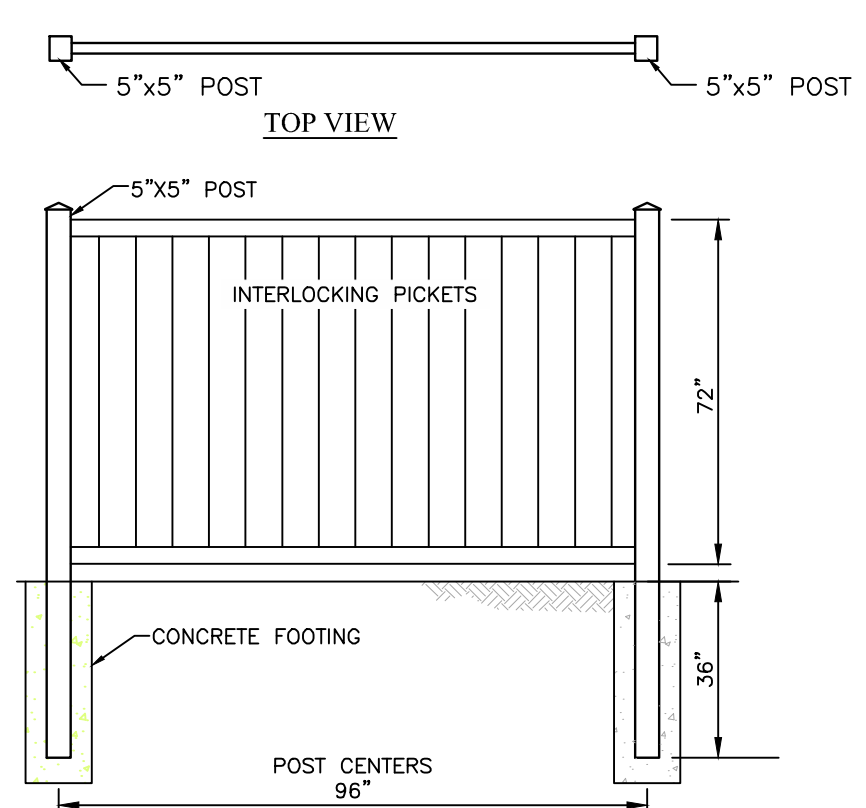
PLAIN CEMENT CONCRETE CURB



**DETAIL A
CONTRACTION JOINT** **TYPICAL
CROSS SECTION**

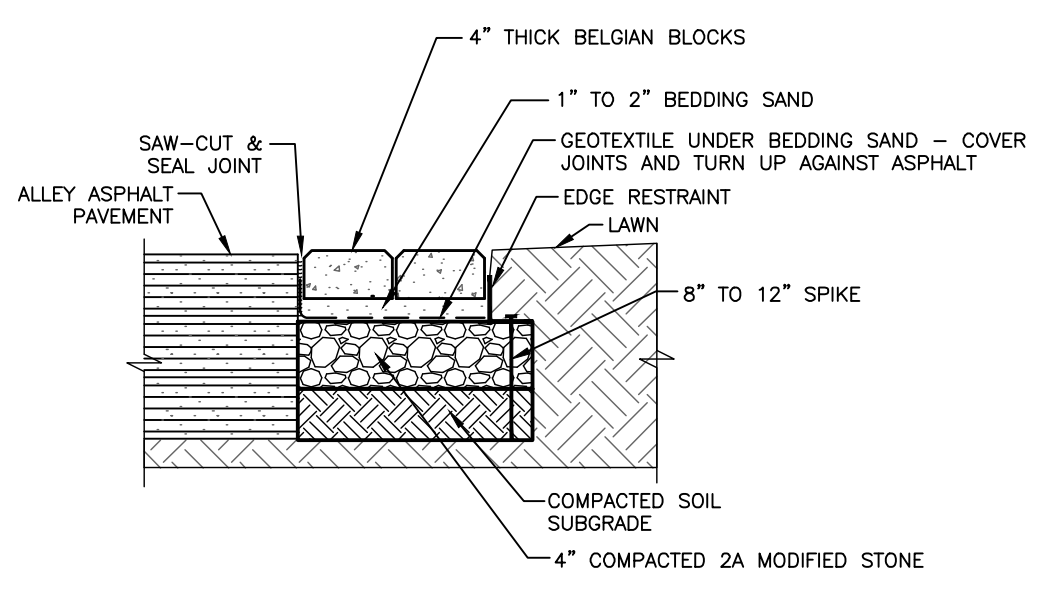
- NOTES
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURBS AND DEPRESSED CURBS; SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4\"/>

6\"/>



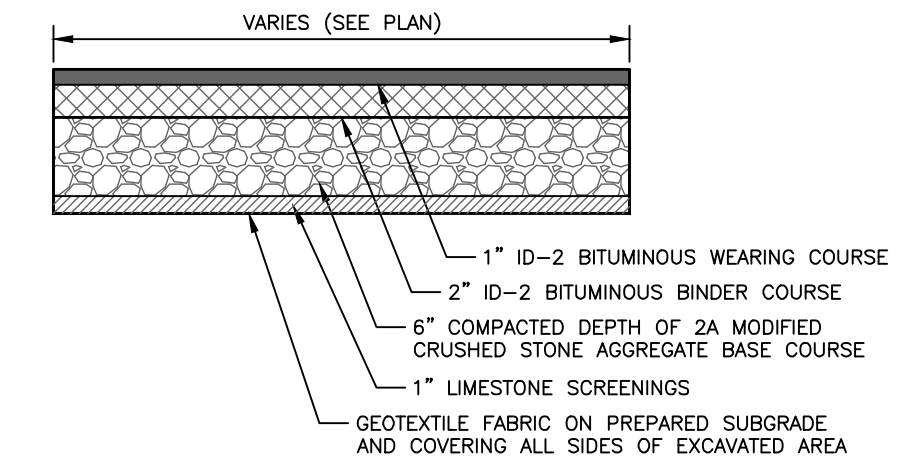
**TYPICAL 6-FOOT VINYL PRIVACY
FENCE DETAIL**
(NOT TO SCALE)

- NOTE:
1. THE FENCE INSTALLED FOR THIS PROJECT SHALL BE A NON-WHITE COLOR.

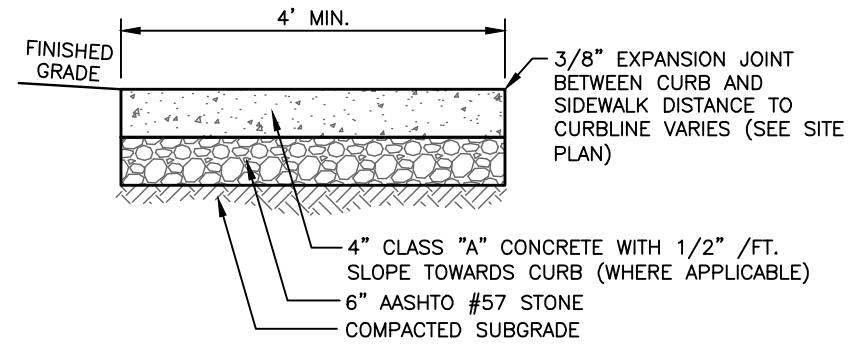


PATTON ALLEY PAVEMENT BORDER
(NOT TO SCALE)

- NOTE:
1. ALONG PATTON ALLEY, THE BLOCK BORDER SHALL BE 10\"/>



TYPICAL DRIVEWAY / PARKING LOT SECTION
(NOT TO SCALE)



TYPICAL SIDEWALK SECTION
(NOT TO SCALE)

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UP1: 1-8-147 | UPI: 1-8-147.1 | UPI: 1-8-148

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PA. act 172 of 1986 requires
three working days notice
Serial Numbers
20241660254

PENNSYLVANIA ACT 187 REQUIREMENTS:
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PROFESSIONAL
ENGINEER
SCOTT H. ZWIZANSKI
PE091752

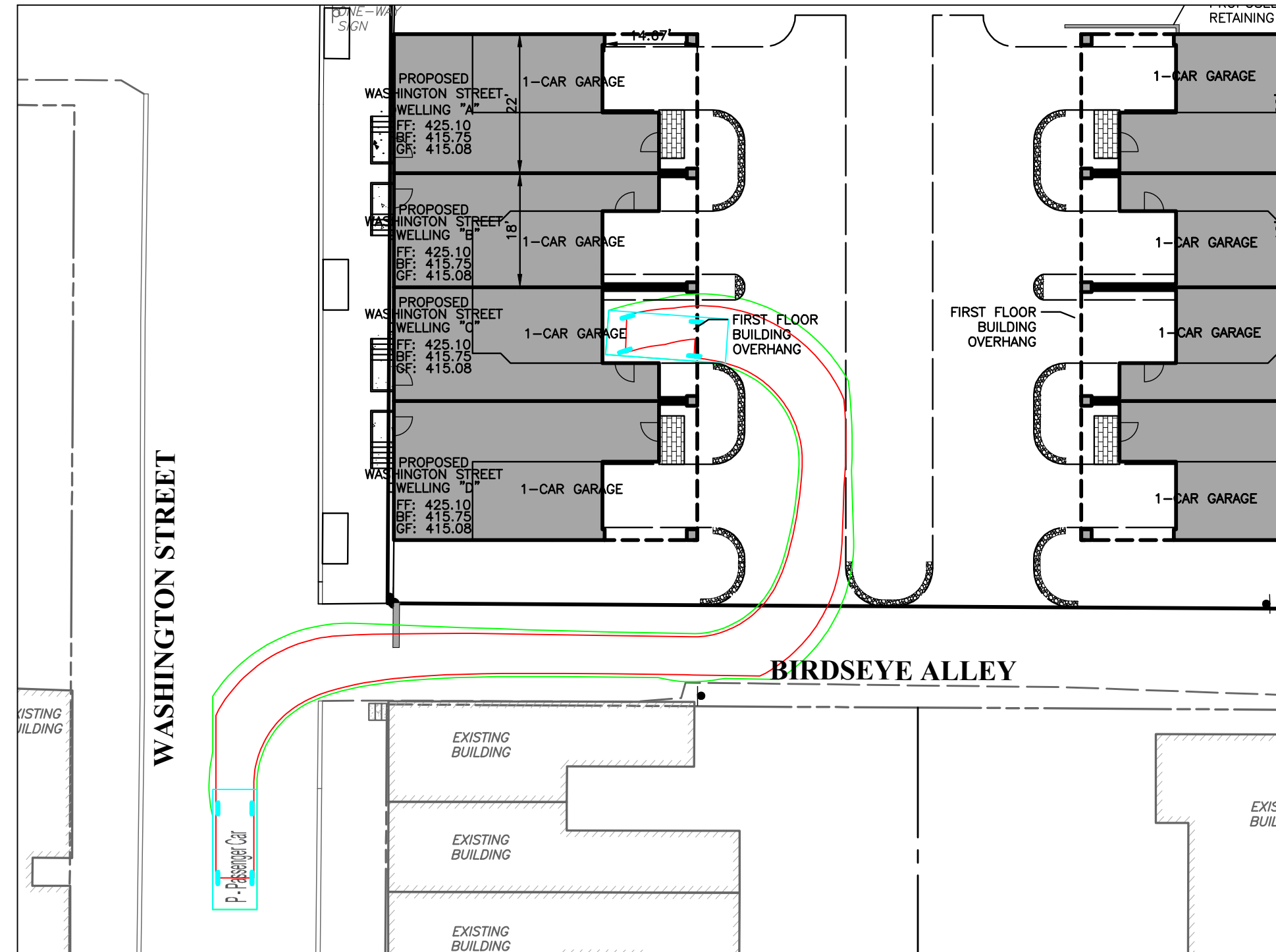
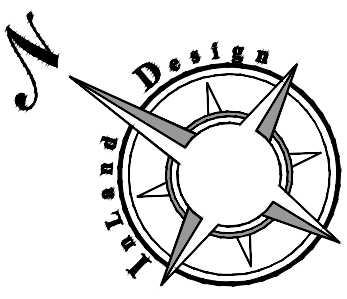
No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

**FINAL
LAND DEVELOPMENT PLAN**

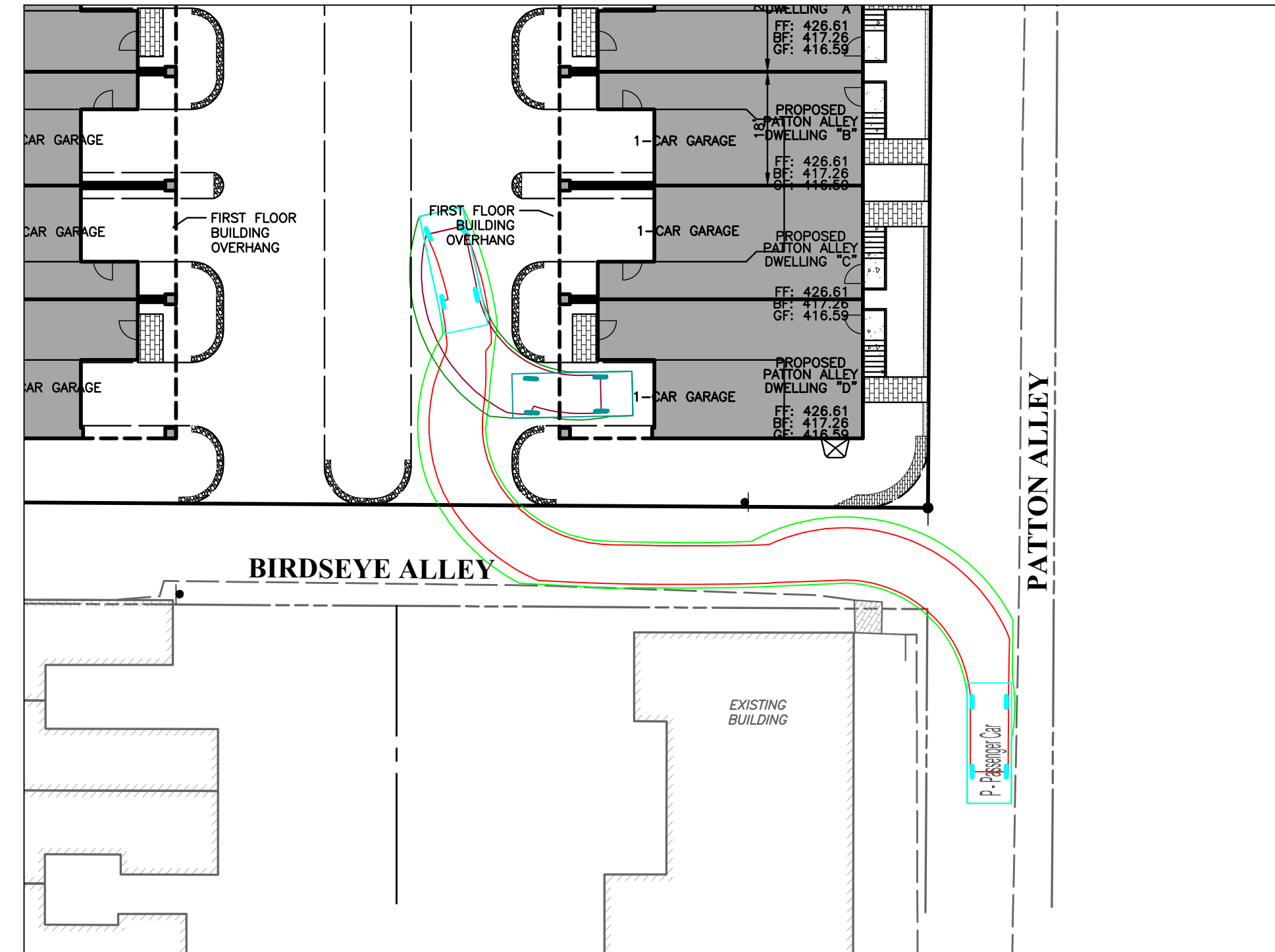
Date:
9/30/2024
Scale:
AS NOTED
Drawn by:
DWYN
Checked by:
SIJZ
Project No.
12308

**CONSTRUCTION DETAILS
FOR
AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA**

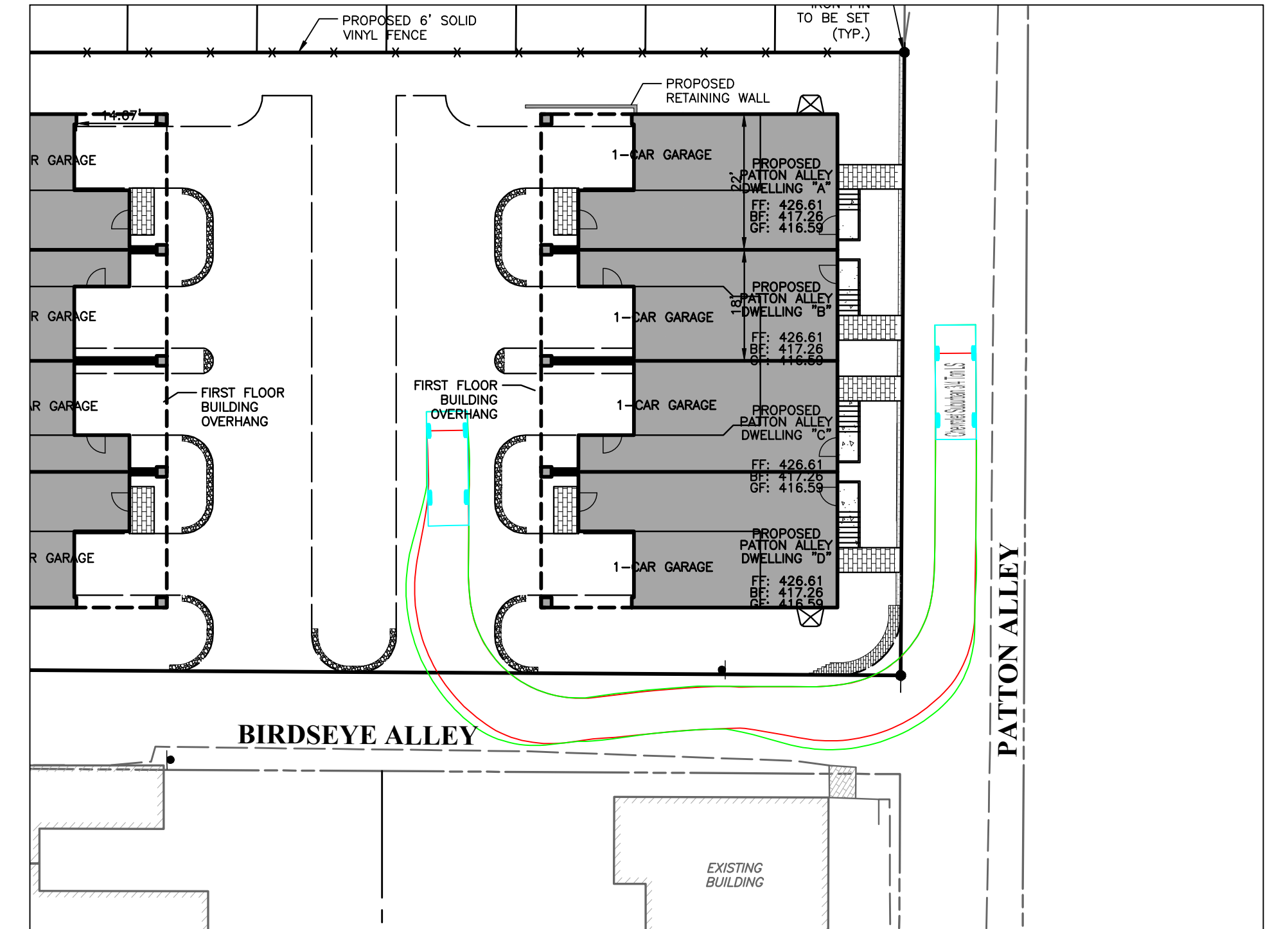
**SHEET
12
OF 14**



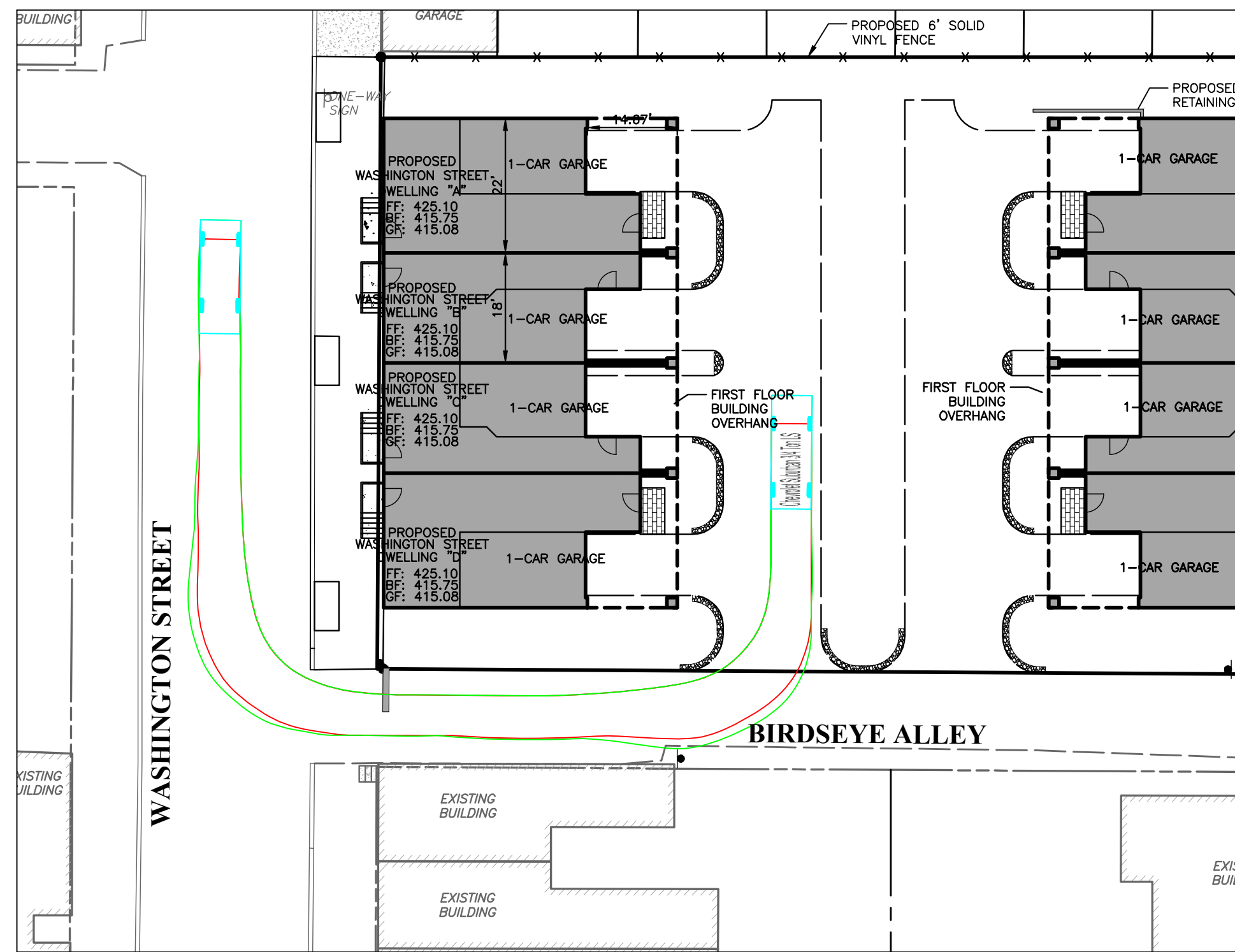
ENTERING SITE FROM WASHINGTON STREET



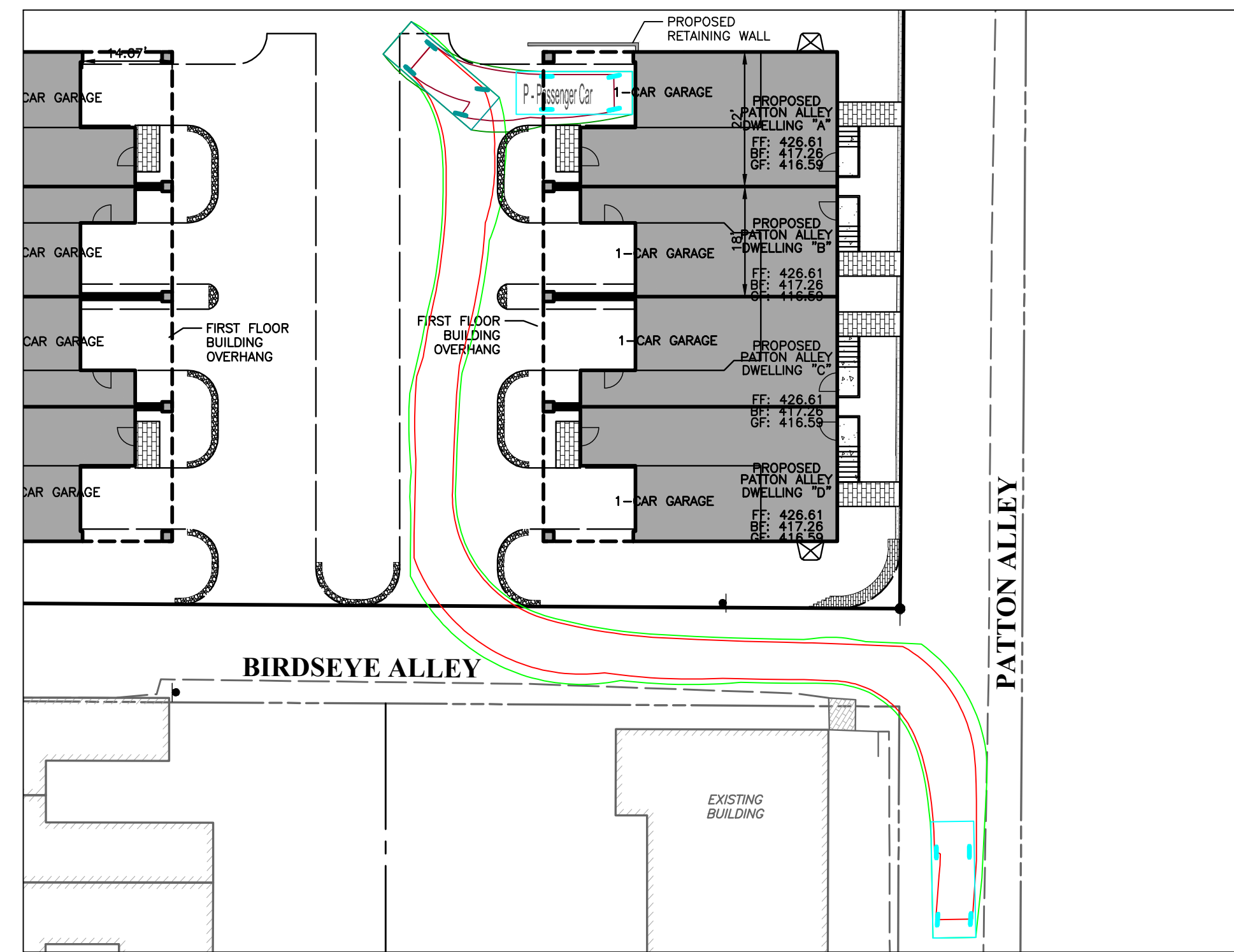
ENTERING SITE FROM NORTHBOUND PATTON ALLEY



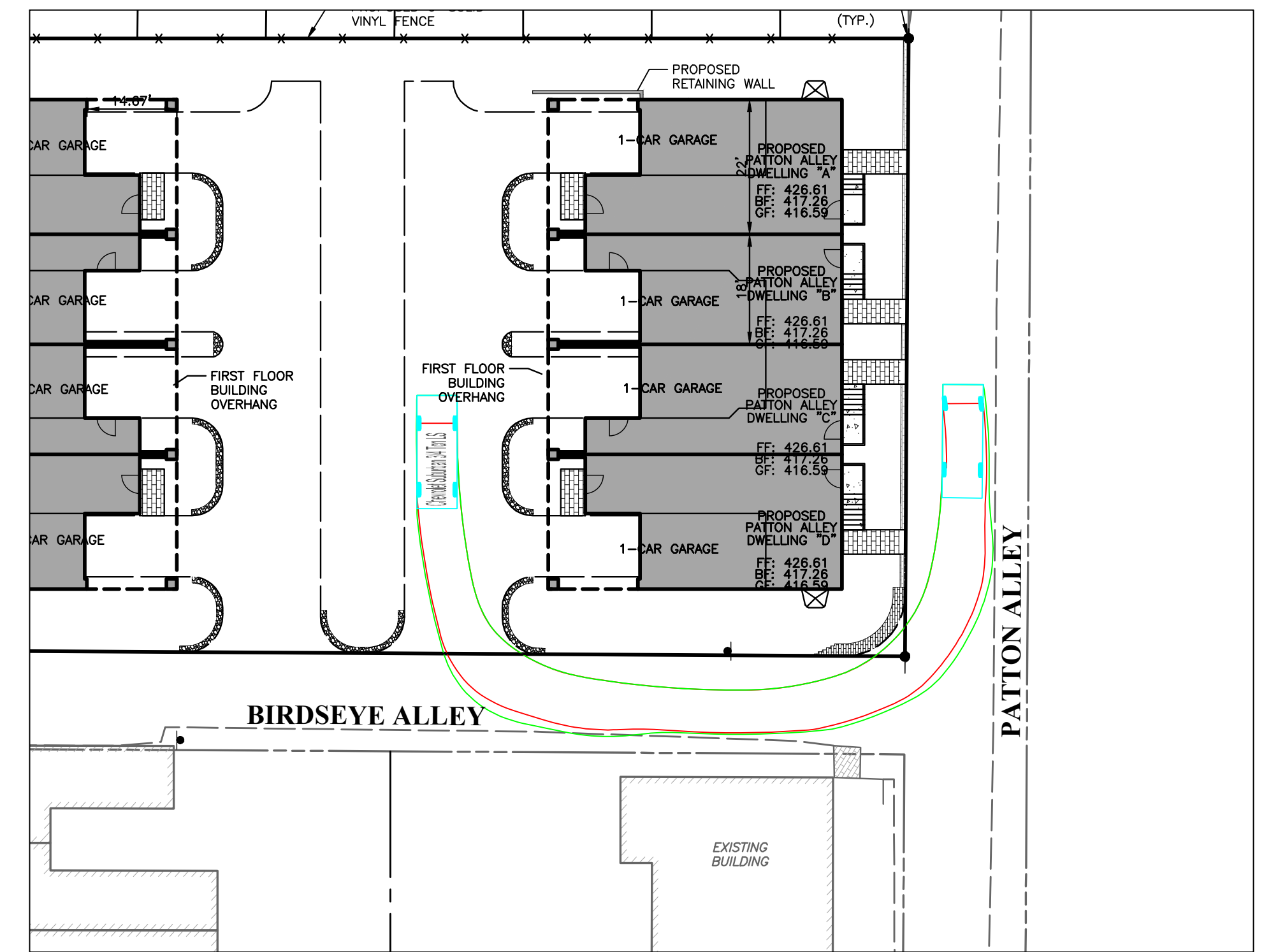
ENTERING SITE FROM SOUTHBOUND PATTON ALLEY



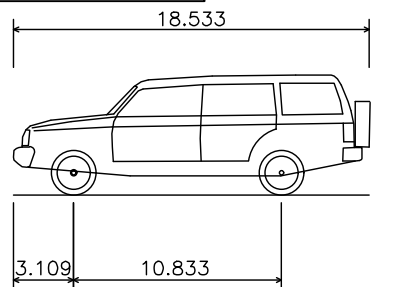
EXITING SITE TO WASHINGTON STREET



EXITING SITE TO SOUTHBOUND PATTON ALLEY



EXITING SITE TO NORTHBOUND PATTON ALLEY



Chevrolet Suburban 3/4 Ton LS
 Overall Length 18.533
 Overall Width 6.582
 Overall Body Height 6.582
 Min Body Ground Clearance 0.300
 Track Width 4.262
 Lock-to-lock time 22.500
 Curb to curb turning Radius 10.833

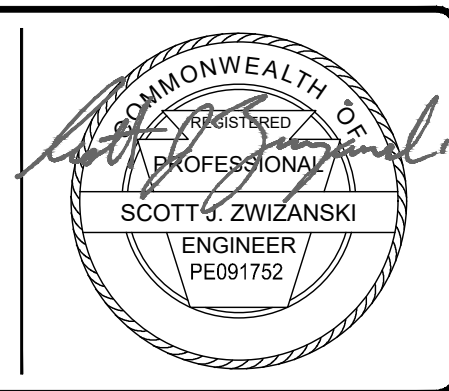
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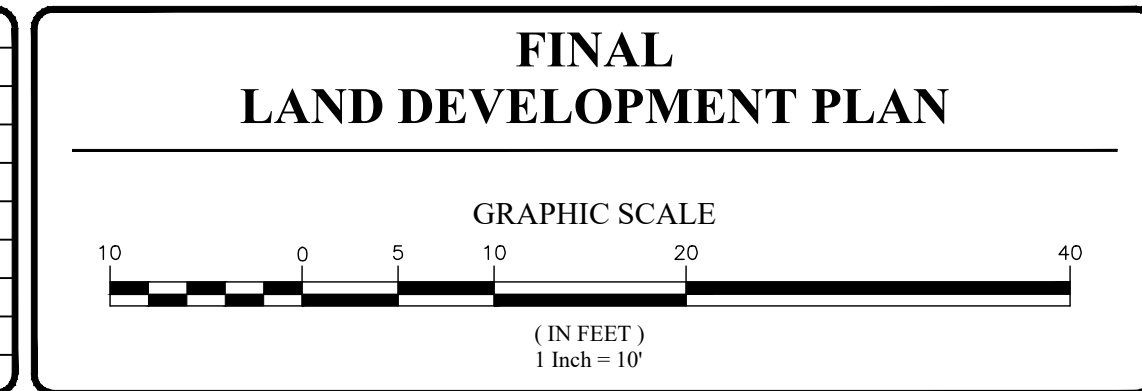
Pennsylvania One Call System
 PA. act 172 of 1986 requires three working days notice
 Serial Numbers
20241660254

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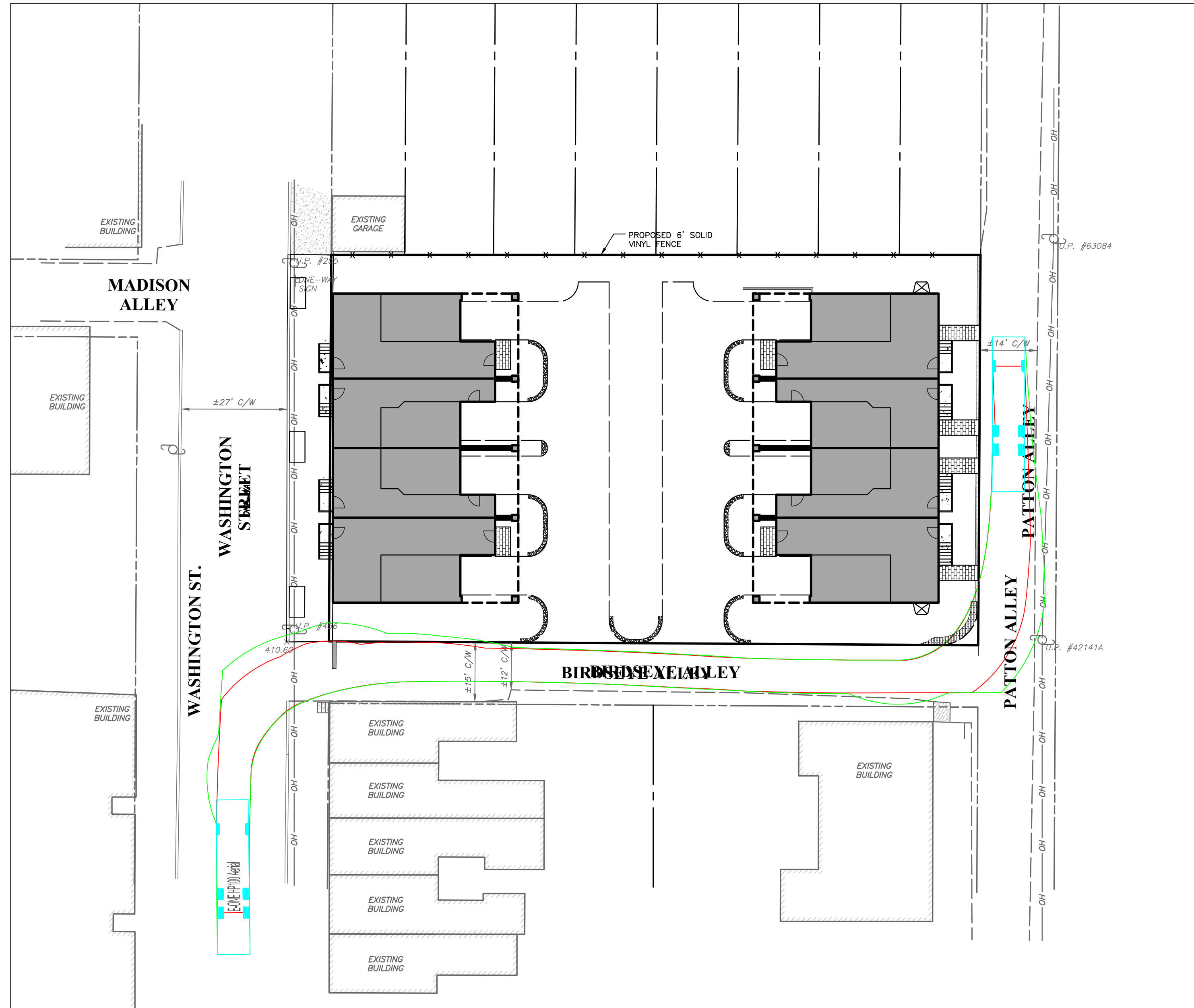
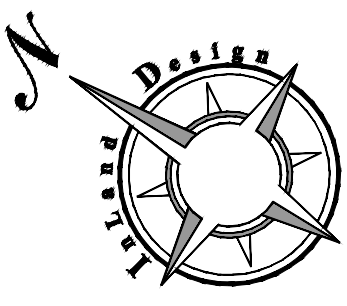
No.	Date	Description
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT



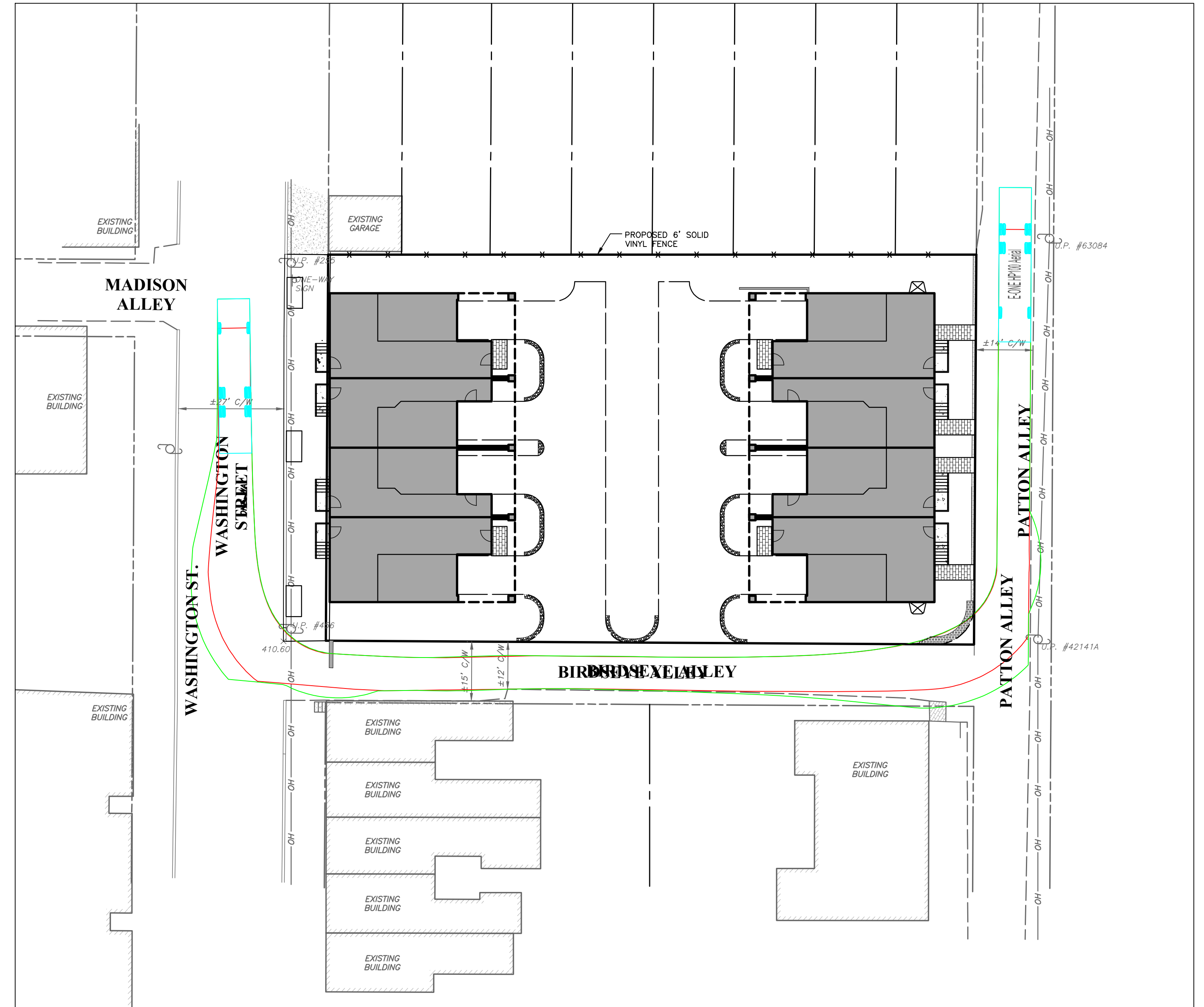
Date: 9/30/2024
 Scale: 1" = 10'
 Drawn by: DWN
 Checked by: SJZ
 Project No. **12308**

VEHICLE TURNING PLAN FOR AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET WEST CHESTER, PA, 19380
 WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

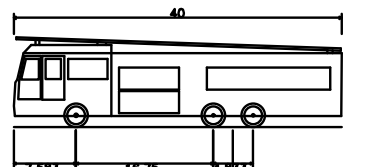
SHEET 13 OF 14



FIRE TRUCK ENTERING BIRDSEYE ALLEY FROM WASHINGTON ST.



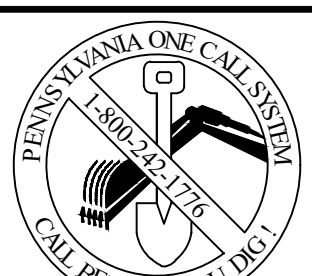
FIRE TRUCK ENTERING BIRDSEYE ALLEY FROM PATTON ALLEY



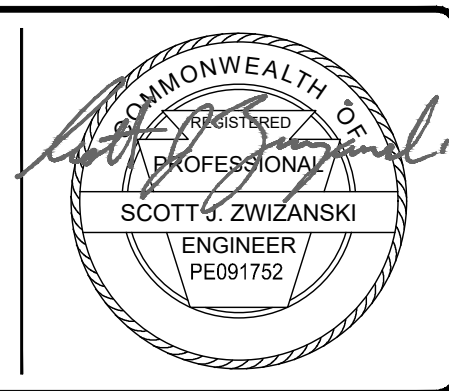
E-ONE HP100 Aerial
 Overall Length 40.000ft
 Overall Width 8.500ft
 Overall Body Height 11.000ft
 Min. Body Ground Clearance 3.250ft
 Track Width 6.250ft
 Lock-to-lock time 8.200
 Max Wheel Angle 45.00°

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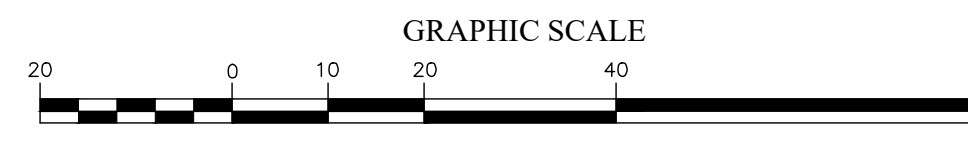
UP1: 1-8-147 | UPI: 1-8-147.1 | UPI: 1-8-148


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 COMMONWEALTH OF PENNSYLVANIA
 PROFESSIONAL ENGINEER
 SCOTT W. ZWIZANSKI
 ENGINEER
 PE091752

No.	Date:	Description:
1	12/16/2024	REVISED PER MUNICIPAL REVIEW LETTERS.
2	12/18/2024	ADDED PERVIOUS PAVING
3	4/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
4	6/2/2025	REVISED PER MUNICIPAL REVIEW LETTERS.
5	7/25/2025	REVISED PROPOSED BUILDING FOOTPRINT

FINAL LAND DEVELOPMENT PLAN
 GRAPHIC SCALE

 (IN FEET)
 1 inch = 20'

Date: 9/30/2024
 Scale: 1" = 20'
 Drawn by: DWN
 Checked by: SJZ
 Project No. **12308**

TRUCK TURNING PLAN FOR
AXLE SQUARE, LLC
210-214 WEST WASHINGTON STREET
WEST CHESTER, PA, 19380
 WEST CHESTER BOROUGH • CHESTER COUNTY • PENNSYLVANIA

SHEET
14
OF 14



Department of Building, Housing & Codes Enforcement
Regulations for the Protection of Public Health, Safety and Welfare

401 East Gay Street • West Chester, Pennsylvania 19380
 610-696-1773 • housing@west-chester.com

8/4/25

210-214 W. Washington Street
West Chester, Pa 19380

Owner: Scott J. Zwizanski

Zoning Pre-Determination

Building Dimensional Requirements

Description	Required	Proposed
Lot Area, Min. per dwelling unit	Median value of lots on the block face	16,883 square feet
Lot width, minimum Detached Semidetached Attached	40 feet 30 feet 20 feet	Single family attached 100'
Build-to-line Front yard Side yard, Min. Accessory Structures Rear yard, Min. Accessory Structures	Match existing adjacent setbacks Existing Adjacent, 10 feet Min. 5 feet 20 feet 5 feet	0.5 ft Washington/10.3 ft. Patton 10 ft. N/A N/A N/A
Height, Max.	35 feet	34.17 ft.
Impervious Coverage Lots over 5,000 Square Feet Lots between 5,000 sq/ft and 4000 sq/ft Lots less than 4,000 sq/ft.	50% Max 70% 80%	48.7 %
Building Coverage Lots over 5,000 Square Feet Lots between 5,000 sq/ft and 4000 sq/ft Lots less than 4,000 sq/ft.	35% Max. 45% Max. 45% Max.	45.5%
Lot Area, Min. per dwelling unit	Median value of lots on the block face	
Existing Nonconformity: Total existing building coverage of the three existing parcels combined is 88.6%(14,956 S.F.) The total proposed building coverage of the three existing parcels combined is 45.5% (6,804 S.F.). This is a reduction of 43.1% (6,446 S. F.)		

Zoning Data from Final Plans submitted 7/25/25.

The Owner, Developer and Architect have revised the plan to add building coverage over the access for the garage. This is to provide larger living spaces on the interior of each building. The additional cantilever results in Building coverage of 45%, over the maximum of 35% for a lot over 5,000 square feet.

Although the new plans show a significant reduction in multiple nonconformities, such as building coverage and impervious coverage, it does not meet the design standards for NC-2 Neighborhood Conservation District, Subsection 112-307, B (Building coverage, lot over 5,000 S. F.).

Conclusion:

The Owner, Developer and Architect would have two choices moving forward. They may alter the plans to meet current design requirements for this property or choose to appeal to the Zoning Hearing Board for relief from the Design and Dimensional requirements.

Sincerely,

Aaron Flook, Director

Borough of West Chester

610.696.1773/housing@west-chester.com

BOROUGH OF WEST CHESTER
CHESTER COUNTY, PENNSYLVANIA

RESOLUTION NO. _____

A RESOLUTION OF BOROUGH COUNCIL OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, APPROVING THE APPLICATION OF AXLE SQUARE, LLC FOR FINAL SUBDIVISION AND LAND DEVELOPMENT APPROVAL FOR EIGHT (8) SINGLE-FAMILY ATTACHED DWELLINGS LOCATED ON THREE EXISTING LOTS TO BE CONSOLIDATED AT 210, 212 AND 214 W. WASHINGTON STREET, IDENTIFIED AS CHESTER COUNTY TAX PARCEL NOS. 1-8-147.1, 1-8-147 AND 1-8-148 SUBJECT TO CERTAIN CONDITIONS OF APPROVAL STATED HEREIN.

WHEREAS, Axle Square, LLC (the "Applicant") is the owner of three parcels of property located at 210, 212, and 214 W. Washington Street in the Borough of West Chester (the "Borough") identified as Chester County Tax Parcel Nos. 1-8-147.1, 1-8-147 and 1-8-148 (collectively the "Property"); and

WHEREAS, the Property is bordered on the north by W. Washington Street, on the west by Birdseye Alley, on the south by Patton Alley, and on the east by residential dwellings; and

WHEREAS, the Property is situated within the Neighborhood Conservation NC-2 Zoning District (the "Zoning District"); and

WHEREAS, the Property is currently improved with a large building that was used as an automotive repair garage and two single-family attached dwellings attached to the automotive repair garage building; and

WHEREAS, Applicant proposes to reverse subdivide the three tax parcels and combine them into one lot containing 16,883 square feet or 0.39 acres, demolish the existing improvements, and build eight single-family attached dwellings in two rows of four dwellings along with common areas for shared driveways, sidewalks, open space, landscaping, and stormwater management facilities (the "Proposed Development"); and

WHEREAS, pursuant to Section 112-307.A of the Borough Zoning Ordinance (the "Zoning Ordinance") and by cross reference to Section 112-304.A, single-family attached dwellings are permitted by right in the NC-2 Zoning District; and

WHEREAS, on February 19, 2025, Applicant received preliminary subdivision and land development approval from Borough Council for the Proposed Development subject to various conditions set forth in Resolution No. 01-2025; and

WHEREAS, on or about April 2, 2025, Applicant submitted an Application for Final Subdivision and Land Development Approval (the "Application") pursuant to the Borough Subdivision and Land Development Ordinance (the "SLDO") and the Pennsylvania Municipalities Planning Code, 53 P.S. § 10101 *et seq.* (the "MPC") and a final subdivision and land development plan prepared by Inland Design titled "Final Land Development Plan for Axle Square, LLC", dated September 30, 2024, last revised April 2, 2025 (the "Final Land Development Plan");

WHEREAS, with the Application and Final Land Development Plan, Applicant also submitted the following plans and reports which shall collectively be referred to as the "Application Materials":

- (i) A Phase I Environmental Impact Assessment prepared by ePhase, dated August 23, 2024.
- (ii) Architectural Elevations of the single-family attached dwellings prepared by Marshall Sabatini dated April 25, 2025.
- (iii) Transportation Impact Assessment prepared by Rettew Associates, Inc. dated September 25, 2024, last revised March 26, 2025.
- (iv) Post Construction Stormwater Management Report and calculations from Maz Construction dated September 30, 2024, last revised April 2, 2025 ("Stormwater Report").
- (v) Landscape Rendering prepared by Inland Design dated April 1, 2025.
- (vi) Washington Street Building Height Calculation for Axle Square prepared by Inland Design dated April 2, 2025.
- (vii) Patton Alley Building Height Calculation for Axle Square prepared by Inland Design dated April 1, 2025.

WHEREAS, the Borough Traffic Engineer, Remington & Vernick Engineers, reviewed the Final Land Development Plan and the Application Materials and issued a review letter dated May 21, 2025 (the "Borough Traffic Engineer Review Letter"); and

WHEREAS, the Borough Engineer, Pennoni Associates, Inc., reviewed the Final Land Development Plan and the Application Materials and issued a review letter dated May 16, 2025 (the "Borough Engineer Review Letter"); and

WHEREAS, the Borough Planner, Thomas Comitta Associates, Inc., reviewed the Final Land Development Plan and the Application Materials and issued a Review Memorandum dated November 11, 2024, last updated June 23, 2025 (the "Borough Planner Review Memorandum"); and

WHEREAS, the Borough Zoning Officer, Michael Barbieri from Yerkes Associates, Inc. reviewed the Final Land Development Plan and the Application Materials and issued a review memorandum dated June 10, 2025 (the “Zoning Officer Review Letter”); and

WHEREAS, the Borough Planning Commission reviewed the Application Materials at the public meeting on May 27, 2025, and recommended to Borough Council that the Final Land Development Plan be approved subject to conditions set forth in a letter addressed to Borough Council dated June 4, 2025 (the “Planning Commission Recommendation Letter”); and

WHEREAS, at a public hearing on September 22, 2025, the Borough Zoning Hearing Board approved a variance from Zoning Ordinance Section 112-307.B to permit a total building coverage of 45.5% for the Proposed Development (the “Zoning Hearing Board Decision”); and

WHEREAS, Applicant submitted a Revised Final Land Development Plan on September 29, 2025, depicting the Proposed Development with building coverage of 45.5% as permitted by the Zoning Hearing Board Decision (the “Revised Final Plan”).

NOW, THEREFORE, BE IT RESOLVED that, pursuant to Section 508 of the MPC, 53 P.S. § 10508, the Borough Stormwater Management Ordinance (the “SWMO”), and the SLDO, Borough Council hereby grants Final Subdivision and Land Development Approval of the Revised Final Plan and the Application subject to compliance with the following conditions. Council also grants approval of the following waivers:

- A waiver from Section 97-27.F(7) of the SLDO to not provide a 75-foot clear sight triangle at the intersection of Birdseye Alley with Washington Street and Patton Alley.
- A waiver from Section 97-27.F(8) to not provide a minimum sight distance of 175 feet measured from the point 15 feet from the intersected pavement edge for the intersection of Birdseye Alley with Washington St. and Patton Alley.

Conditions of Approval

1. Except as expressly set forth in this Resolution to the contrary, the Proposed Development shall be in strict compliance with the Revised Final Plan and the Application Materials.
2. Applicant shall obtain all outside agency permits in order to develop the Property in accordance with the Revised Final Plan and the Application Materials.
3. Applicant shall comply with all outstanding comments in the Borough Engineer Review Letter to the satisfaction of the Borough.

4. Applicant shall comply with all outstanding comments in the Borough Zoning Officer Review Letter to the satisfaction of the Borough, except that the encroachment of the front stoops, planters, and tree wells into the street right of way of Washington Street and Patton Alley as depicted on the Revised Final Plan shall be permitted. The encroachments shall not exceed the dimensions depicted on the Revised Final Plan.
5. Applicant shall comply with the Planning Commission Recommendation Letter to the satisfaction of the Borough.
6. Applicant shall comply with any outstanding comments in the Borough Planner Review Memorandum to the satisfaction of the Borough, except for the comment regarding the encroachment of the front stoops, planters, and tree wells into the street right of way of Washington Street and Patton Alley which shall be permitted as set forth in Condition 4 hereinabove.
7. Applicant shall comply with any outstanding comments in the Borough Traffic Engineer Review Letter to the satisfaction of the Borough.
8. Applicant shall comply with any conditions of approval of the Zoning Hearing Board Decision to the satisfaction of the Borough.
9. Applicant shall design and construct the radius of the pavement at the corner of Birdseye Alley and Patton Alley to 10-feet with a 2-foot-wide Belgian block alley transition on the inside edge of the radius, as generally depicted on the Revised Final Plan. No trees or planting shall be installed on the inside radius to facilitate access by emergency vehicles. The final design shall be approved by the Borough Engineer.
10. The single-family attached dwellings shall be built substantially in compliance with the elevations prepared by Marshall Sabatini dated April 25, 2025. The final elevations shall be reviewed by the Borough Planning Commission and approved by Borough Council prior to the issuance of the first building permit for the Proposed Development.
11. Applicant shall secure from the Borough Wastewater Department all necessary sanitary sewer capacity for the Proposed Development including, without limitation, payment of the necessary tapping fees for such capacity pursuant to Chapter 89 of the Borough Code. No building permit shall be issued for any portion of the Proposed Development unless and until Applicant secures all necessary approvals for sanitary sewage disposal from the Proposed Development.
12. The Proposed Development shall be served by public water supply from Aqua Pennsylvania.

13. Applicant shall install the two streetlights on Washington Street as depicted on sheet 10 of 14 of the Revised Final Plan. The contractor who installs these lights shall coordinate the exact location with the Borough prior to installation. Such lighting shall promote a dark sky lighting effect through the installation and maintenance of light fixtures with lights pointing down, and lighting that is shielded to prevent lighting pointing up.
14. In accordance with Section 97-38.1.E, Applicant shall pay a fee in lieu of open space in the amount of \$1,474.00 per dwelling unit for a total of \$11,792.00.
15. Prior to the recording of the Revised Final Plan, Applicant shall revise the draft Declaration of Covenants, Conditions, Easements, Liens, and Restrictions for Axle Square in accordance with comments of the Borough Solicitor and as approved by Borough Council. The homeowners' association shall own and maintain all common elements including but not limited to driveways, stormwater management facilities, sidewalks, landscaping, streetlights, front stoops/steps, planters, plant material in the planters, and other common elements. The homeowners' association shall indemnify and hold harmless the Borough and maintain liability insurance for potential liability for encroachment of the stoops, steps, and planters in the street right-of-way. The policy shall be in an amount approved by the Borough and include an endorsement naming the Borough as additional insured. The approved Declaration shall be recorded contemporaneously with the Revised Final Plan.
16. Within thirty (30) days of the date of this Resolution, Applicant shall pay all required review fees and shall reimburse the Borough for the costs of its professional consultants, including, without limitation, solicitor, engineering, planning consultant and traffic consultant incurred during the review and approval processes related to the Application.
17. Applicant shall comply with all applicable federal, state, and local statutes, codes, ordinances, rules, and regulations and shall obtain all approvals, certificates, licenses and permits required with regard to the Proposed Development.
18. Prior to the release of final land development plans for recording, Applicant shall execute and deliver to the Borough the following documents in form customarily accepted by the Borough:
 - A. Land Development Agreement.
 - B. Financial Security Agreement (with financial security as determined pursuant to Section 509 of the MPC, 53 P.S. § 10509).
 - C. Stormwater Management Best Management Practices Operations and Maintenance Agreement.

RESOLVED, this _____ day of _____ 2025.

ATTEST:

**BOROUGH COUNCIL FOR THE
BOROUGH OF WEST CHESTER**

Sean Metrick, Secretary

Patrick McCoy, President

Nicole Scimone, Vice-President

Bernie Flynn, Member

Lisa Dorsey, Member

Sheila Vaccaro, Member

Brian McGinnis, Member

Bryan Travis, Member

Borough of West Chester, PA

§ 112-304. Permitted uses. [Amended 10-20-2021 by Ord. No. 10-2021; 7-19-2023 by Ord. No. 11-2023; 10-18-2023 by Ord. No. 16-2023; 11-20-2024 by Ord. No. 08-2024]

A. Principal uses. The uses listed below are permitted by right in the zoning districts as designated below.

Principal Uses		Zoning District									
		NC-1	NC-2	NC-3	MU	TC[1]	CS	ID	IS	PUC [1]	PUC [2]
1.	Agricultural use	X	X	X	X	X	X			X	
2.	Automotive repair						X	X			
3.	Automotive sales and service facilities						X				
4.	Automotive service stations						X	X			
5.	Banks					X					
6.	Billboard signs						X				
7.	Breweries							X			
8.	Car wash facilities						X				
9.	Clubs or lodges						X				
10.	Commercial parking lots						X				
11.	Community facilities					X					
12.	Community garden	X	X	X	X	X	X			X	
13.	Day care, adult								X		
14.	Day-care centers								X		
15.	Distilleries							X			

Principal Uses		Zoning District									
		NC-1	NC-2	NC-3	MU	TC[1]	CS	ID	IS	PUC [1]	PUC [2]
16.	Dormitories								X		
17.	Educational uses				X				X		
18.	Flex spaces				X						
19.	Growers/processors							X			
20.	Hospitals								X		
21.	Housing for the elderly								X		
22.	Laboratories							X			
23.	Light industrial				X			X			
24.	Live-work units				X						
25.	Manufacturing							X			
26.	Medical clinics								X		
27.	Mini storage								X		
28.	Multifamily			X			X	X			
29.	Municipal uses	X	X	X	X		X	X	X	X	X
30.	Nursing homes									X	
31.	Offices				X		X	X	X		
32.	Personal service shops						X	X			
33.	Processing								X		
34.	Public places of amusement				X						

Principal Uses		Zoning District									
		NC-1	NC-2	NC-3	MU	TC[1]	CS	ID	IS	PUC [1]	PUC [2]
35.	Public service facilities							X			
36.	Rail freight terminals								X		
37.	Religious uses						X			X	X
38.	Restaurants, licensed						X				
39.	Restaurants, unlicensed						X	X			
40.	Restaurants, fast-food							X			
41.	Restaurants, café, limited to Cafe I, Café Dist.						X				
42.	Restaurants, pub [2]						X	X			
43.	Retail stores, shops						X	X	X		X
44.	Single-family attached		X	X	X		X				
45.	Single-family detached	X	X	X	X		X				
46.	Single-family semidetached		X	X	X		X				
47.	Student homes			X	X						
48.	Two-family attached		X	X	X		X				
49.	Two-family detached		X	X	X		X				
50.	Two-family semidetached		X	X	X		X				
51.	Unified mixed-use developments							X			
52.	Warehousing								X		
53.	Wholesale							X			

Principal Uses		Zoning District									
		NC-1	NC-2	NC-3	MU	TC[1]	CS	ID	IS	PUC [1]	PUC [2]
54.	Wineries								X		
55.	Educational facilities									X	X
56.	Administrative and faculty offices									X	X
57.	Student unions									X	
58.	University food service facilities									X	X
59.	University bookstore facilities									X	X
60.	University health and counseling facilities									X	X
61.	Student services									X	X
62.	University physical plant facilities, including geothermal pump houses									X	
63.	Auditoriums									X	
64.	Residence halls									X	X
65.	Student housing									X	X
66.	Parking garages									X	X
67.	Surface parking lots									X	X
68.	Student recreation centers									X	
69.	University gymnasiums									X	
70.	Utility uses, facilities and structures									X	X

71.	Forestry									X	X
		Zoning District									
Principal Uses		NC-1	NC-2	NC-3	MU	TC[1]	CS	ID	IS	PUC [1]	PUC [2]
72.	Wireless communications facilities									X	
73.	Athletic facilities - intercollegiate competition use									X	
74.	A program or programs administered jointly with a third-party entity, where the primary purpose of the program is educational in nature; by way of example only, the psychology center									X	X

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BOROUGH OF WEST CHESTER
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 112 OF THE CODE OF THE BOROUGH OF WEST CHESTER, TITLED, "ZONING", SPECIFICALLY TO AMEND SECTION 112-314 TO LIST DIMENSIONAL REQUIREMENTS FOR THE PUC-1 PLANNED UNIVERSITY CAMPUS DISTRICT AND A NEW PUC-2 PLANNED UNIVERSITY CAMPUS DISTRICT; TO AMEND SECTION 112-304.A TO LIST PERMITTED USES FOR THE PUC-1 DISTRICT AND THE PUC-2 DISTRICT; AND TO AMEND THE ZONING MAP TO INCLUDE UPI NOS. 1-13-1, 1-13-2, AND 1-13-3 IN THE NEW PUC-2 DISTRICT.

BE IT ENACTED AND ORDAINED, and it is hereby enacted by authority of the Council of the Borough of West Chester that the Code of the Borough of West Chester, specifically, Chapter 112, titled, "Zoning", is hereby amended as follows:

SECTION 1. Section 112-314.B are amended to enumerate the dimensional requirements for the re-named PUC-1 District and a new "PUC-2 Planned University Campus District" and the parking requirements as follows:

B. Dimensional requirements. The following area and bulk regulations shall apply to all uses, land, buildings, and structures within the PUC District, which District shall be comprised of the PUC-1 Planned University Campus District and the PUC-2 Planned University Campus District.

(1) PUC-1 District.

(a) Minimum Perimeter Setback: 20 feet; provided, however, that the minimum perimeter setback from Sharpless Street shall be 30 feet.

(b) Minimum building and structure separation distance: 20 feet.

(c) Minimum setbacks for surface parking lots: 20 feet as provided in § 112-314.B(1) hereinabove, except that, where the PUC-1 District abuts a residential district or residential use (even if separated by a street), the minimum setback shall be 30 feet.

(d) Maximum impervious coverage in the PUC-2: 80%.

(e) Minimum green space in the PUC-1: 20%.

(f) Maximum building and structure height: 90 feet.

(2) PUC-2 District.

(a) Minimum Perimeter Setback:

[1] High Street: 20 feet.

[2] Rosedale Avenue: 30 feet.

[3] Sharon Alley: 10 feet.

[4] Linden Street: 20 feet.

(b) Minimum building and structure separation distance: 20 feet.

(d) Maximum impervious coverage: 75%.

(e) Minimum green space: 25%.

(f) Maximum building and structure height: 50 feet.

(g) Parking requirements.

[1] 65% of parking required for a principal use may be located off of the property on which the use is located provided that such parking is within 2,500 feet of the property; the balance of required parking (up to 35%) shall be located on the subject property.

[2] Student housing/residence hall uses shall require 0.5 parking spaces per bed.

SECTION 2. Section 112-304.A is amended to list permitted uses in the PUC-1 and PUC-2 Districts as provided in the revised chart enclosed herein and made a part hereof.

SECTION 3. Section 112, "Zoning Map" is amended to include a new zoning district titled "PUC-2 Planned University Campus District", which district shall include UPI Nos. 1-13-1, 1-13-2, and 1-13-3.

SECTION 4. Severability. The provisions of this Ordinance are severable, and if any article, section, subsection, clause, sentence or part thereof shall be held or declared illegal, invalid or unconstitutional by any court of competent jurisdiction, the decision shall not affect or impair any of the remaining articles, sections, subsections, clauses, sentences or parts thereof of this Ordinance. It is hereby declared to be the intent of the Borough Council that this Ordinance would have been enacted if such illegal, invalid, or unconstitutional article, section, subsection, clause, sentence, or part thereof had not been included herein.

SECTION 5. Repealer. All ordinances or parts of ordinances inconsistent herewith are hereby repealed to the extent of any such inconsistency.

SECTION 6. Effective Date. This Ordinance shall become effective upon enactment as by law provided.

ENACTED AND ORDAINED THIS ____ DAY OF _____, 202__.

**COUNCIL OF THE BOROUGH OF WEST
CHESTER**

ATTEST:

Sean Metrick, Secretary

By: _____
Patrick McCoy, President

APPROVED THIS ____ DAY OF _____, 202__.

Lillian L. Debaptiste, Mayor



College Arms

October 7, 2025

College Arms Current Conditions



W. Rosedale Ave & S. High St (South Building)



S. High St (North Buildings)



S. High St (East and North Buildings)



S. High St (Honors College)

College Arms Current Conditions



Linden Ave & S. High St
(Retail: Saxby's & Qdoba)



Linden Ave & Sharon Alley
(Qdoba and DUB-C Autism Program.)



Sharon Alley – Rear view
(North Building)

College Arms Current Conditions



- North Building: 60 beds – offline
- South Building: 15 beds - occupied
- East Building: 22 beds – occupied
- Repair Costs to Date: \$6.5 M
- Estimated Cost to repair Structural, Mechanical, and plumbing piping in North building only (60 beds): \$14.3 M.



College Arms Redevelopment Proposed Project

Proposed Project Overview

- ▶ University/Affiliate Managed Student Housing
 - ▶ 3 Buildings, 84 Apartments including 13 accessible apartments with entrances facing S. High Street
 - ▶ Up to 420 Upperclassmen Students
 - ▶ Residence Life Professional Office Onsite
 - ▶ Resident Assistants (RAs) Onsite
- ▶ Retail Space
 - ▶ Approximately 7,500 SF
 - ▶ Outdoor Café Seating
- ▶ University Administrative Space
 - ▶ Approximately 7,500 SF
- ▶ Welcome Center
 - ▶ Students and Parents Facing
 - ▶ Admission Support Space
 - ▶ Presentation/Multi-purpose Space
 - ▶ Apparel Store

























BOROUGH OF WEST CHESTER
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 112 OF THE CODE OF THE BOROUGH OF WEST CHESTER, TITLED, "ZONING", SPECIFICALLY TO AMEND SECTION 112-309.B TO REVISE THE DIMENSIONAL REQUIREMENTS IN THE TC TOWN CENTER DISTRICT.

BE IT ENACTED AND ORDAINED, and it is hereby enacted by authority of the Council of the Borough of West Chester that the Code of the Borough of West Chester, specifically, Chapter 112, titled, "Zoning", is hereby amended as follows:

SECTION 1. Section 112-309, titled, "TC Town Center District", subsection "B" shall be deleted, and the following shall be added:

Dimensional requirements.

Lot area, minimum	2,500 square feet
Lot width, minimum	20 feet
Building setback line/front yard, minimum	0 feet *
Side yard, minimum	0 feet
Rear yard, minimum	5 feet
Height, maximum	45 feet**
Impervious coverage, maximum	95%
Building coverage, maximum	90%

*The building setback line/front yard, minimum for buildings, structures, or parts thereof with a building height over 45 feet permitted in the HO-60 or HO-75 Height Option Overlay Districts shall be 10 feet.

**Except as may be permitted in the HO-60 or HO-75 Height Option Overlay Districts.

SECTION 2. Severability. The provisions of this Ordinance are severable, and if any article, section, subsection, clause, sentence or part thereof shall be held or declared illegal, invalid or unconstitutional by any court of competent jurisdiction, the decision shall not affect or impair any of the remaining articles, sections, subsections, clauses, sentences or parts thereof of this Ordinance. It is hereby declared to be the intent of the Borough Council that this Ordinance would have been enacted if such illegal, invalid, or unconstitutional article, section, subsection, clause, sentence, or part thereof had not been included herein.

SECTION 3. Repealer. All ordinances or parts of ordinances inconsistent herewith are hereby repealed to the extent of any such inconsistency.

SECTION 4. Effective Date. This Ordinance shall become effective upon enactment as by law provided.

ENACTED AND ORDAINED THIS ____ DAY OF _____, 2025.

**COUNCIL OF THE BOROUGH OF WEST
CHESTER**

ATTEST:

Sean Metrick, Secretary

By: _____
Patrick McCoy, President

APPROVED THIS ____ DAY OF _____, 2025.

Lillian L. Debaptiste, Mayor



BOROUGH OF WEST CHESTER PLANNING COMMISSION

October 3, 2025

Borough Council
Borough of West Chester
401 E Gay St, West Chester, PA 19380

RE: Build-to Ordinance

Members of Council,

The Planning Commission reviewed discussed and voted on a proposed ordinance amendment to revise dimensional requirements in the Town (TC) Center District at the PC voting session September 30, 2025.

***J. Cherry moved to recommend approval of the revised ordinance amendment for dimensional requirements in the Town Center (TC) District.
M. Clapp seconded.***

Public Comments

- CJ Frederick asked to confirm this would not be included in the URD ordinance amendment. T. Oeste confirmed and explained that it was originally included in the URD ordinance amendment simply for efficiency, but at the working session it was pulled out for clarity.

The motion passed with a vote of 5-0.

The vote was as follows:

Q. Birl-Yes, A. Burke-Absent, J. Cherry-Yes, M. Clapp-Yes, T. Dougherty-Yes, S. Mitten-Yes,

Please refer to PC meeting minutes for a more complete record of the PC's thoughts and concerns.
Please feel free to contact me if you have any questions.

Respectfully Submitted,

Jim Cherry
Chair, Borough of West Chester Planning Commission



August 29, 2025

West Chester Borough Attn: Wendy Mecke
401 East Gay Street
West Chester, PA 19380

**RE: 740 South Matlack Street
Zoning Hearing Board Application**

Wendy:

Enclosed please find a Zoning Hearing Board application regarding a residential property located at 740 South Matlack Street. There is a single-family residence existing on the property along with a driveway with a stacked parking area consisting of two rows of four parking spaces. Edward L. Woods and Anne R. Woods are the Applicant/Record Owner (Applicant) of the property. The Applicant currently utilizes the dwelling as a rental property as permitted by the Borough.

The Applicant filed for a Zoning/Grading Permit in September of 2024 and recently received a conditional approval. A Zoning Plan was prepared by our office dated September 12, 2024, and last revised January 14, 2025. A Grading Permit Plan was prepared by our office dated March 14, 2025. The plans depict improvements to the driveway to improve the parking configuration along with stormwater management controls for the improvements.

The purpose of this application is to pursue a Zoning Variance from Section 112-602.P.(2) of the Zoning Ordinance. This section states that “any such parking area shall be physically separated from any street by a raised-concrete or other approved curb, except where entrance or exist drives cross street lines.” This variance is being requested because the curb poses concerns for safety along with property damage that includes the curb itself and equipment when plowing snow.

The submission includes PDF copies of the following:

- Grading Permit Plan Set dated March 14, 2025
- Email from the Public Works Director dated July 15, 2025



Please contact me if you have any questions about the submission.

Sincerely,
HOWELL ENGINEERING, INC.

A handwritten signature in black ink, which appears to read "Chris Daily". The signature is fluid and cursive, written over the printed name.

Christopher M. Daily, P.E.
Principal Engineer

Chris Daily

From: Donald Edwards <DEdwards@west-chester.com>
Sent: Tuesday, July 15, 2025 10:45 AM
To: Ramsey Reiner; Chris Daily
Cc: Wendy Mecke; Don Anderson; Kathy Brooks; edwoods72; Sean Metrick
Subject: RE: 740 South Matlack Street

Ramsey,

I'm requesting that this matter be placed on the Public Works Committee agenda for August (see Code section below). We can't have isolated curbs on streets that could be buried with snow that are hit by plows. People and equipment could be hurt.

I copied Sean Metrick on this email.

§ 95-13 Curb cuts; referral to Borough Council.

[Added 10-20-1993 by Ord. No. 21-1993^[1]]

The borough's Director of Public Works shall have the right to refer any application for a curb cut for its review when, in the judgment of the borough's Director of Public Works, such curb cut n safety, pedestrian safety, stormwater, zoning or other ancillary impact. The Borough Council ma traffic impact studies, stormwater runoff studies and such other information as it deems nece request. The applicant shall prepare such studies and documentation at the applicant's cost. C reviewed by the Borough Zoning Officer for conformance with the requirements of the b Development and Zoning Ordinances.

[1] *Editor's Note: This ordinance also provided for the repeal of former § 95-13, Approval of Director of P*

Thanks,

Don Edwards, Public Works Director
West Chester Borough
401 East Gay Street
West Chester, PA 19380
dedwards@west-chester.com



From: Ramsey Reiner <rreiner@west-chester.com>
Sent: Tuesday, July 15, 2025 10:35 AM
To: Chris Daily <cdaily@knowhowell.com>
Cc: Donald Edwards <DEdwards@west-chester.com>; Wendy Mecke <WMecke@west-chester.com>; Don Anderson <DAnderson@west-chester.com>; Kathy Brooks <KBrooks@west-chester.com>; edwoods72 <edwoods72@yahoo.com>
Subject: RE: 740 South Matlack Street

Because this is a two-family home, the zoning officer interprets the code to require the following: From §112-603.B.(1) - The following types of dwelling units shall provide two off-street parking spaces per dwelling unit: single-family detached, single-family detached mobile home, single-family semidetached, single-family attached, two-family detached, two-family semidetached and two-family attached.

The zoning also states: Any such parking area shall be physically separated from any street by a raised-concrete **or other approved curb**, except where entrance or exit drives cross street lines.

The options would be to find another approved curb amenable to all parties involved, or this project would require a variance to remove the curb in its entirety.

Let me know how I can help. Unfortunately, we have to abide by the zoning and rules thereof, so I don't have wiggle room on this issue.

Ramsey Reiner
Director of Parking Services/Interim Director of Building & Housing
Borough of West Chester
401 E. Gay St
West Chester, PA 19382
rreiner@west-chester.com

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From: Chris Daily <cdaily@knowhowell.com>
Sent: Monday, July 14, 2025 3:42 PM
To: Ramsey Reiner <rreiner@west-chester.com>
Cc: Donald Edwards <DEdwards@west-chester.com>; Wendy Mecke <WMecke@west-chester.com>; Don Anderson <DAnderson@west-chester.com>; Kathy Brooks <KBrooks@west-chester.com>; edwoods72 <edwoods72@yahoo.com>
Subject: RE: 740 South Matlack Street

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good afternoon Ramsey,

I just wanted to provide some background on the project at 740 S. Matlack Street. We prepared grading permit plans to improve the driveway/parking area associated with the residence. The initial submission to the borough did not show a curb along Mechanics Alley. The Borough's zoning officer reviewed the plan and issued a comment stating that a curb is required along the alley in accordance with Section 112-602.P. of the Zoning Ordinance. This section requires a curb whenever an off-street parking area has a required capacity of three or more vehicles.

The rental license classifies the property as a single-family/two-family dwelling. The minimum required parking spaces for a single-family/two-family dwelling is two spaces per Section 112-603.B.(1) which falls below the three-space threshold that would require curbing. We presented these details to the Zoning Officer to avoid the installation of curb. However, he disagreed with that interpretation which is why curbing is now shown on the latest plan.

I understand that Public Works would prefer no curb along the alley, which my client would agree with. However, we have grading permit approval with the condition that a permit be issued by Public Works for the proposed work. Please advise on the best way to proceed with the project.

Thank you,
Chris



Christopher M. Daily, P.E.

Principal Engineer
Howell Engineering

Office: 610-918-9002

Cell: 610-291-2735

[Request A Quote](#) | [KnowHowell.com](#)

1250 Wrights Lane,
West Chester, PA 19380

From: edwoods72 <edwoods72@yahoo.com>

Sent: Monday, July 7, 2025 6:12 AM

To: Chris Daily <cdaily@knowhowell.com>

Subject: Fwd: 740 South Matlack Street

Begin forwarded message:

From: Ramsey Reiner <rreiner@west-chester.com>

Date: July 3, 2025 at 3:42:27 PM EDT

To: Donald Edwards <DEdwards@west-chester.com>, Wendy Mecke <WMecke@west-chester.com>

Cc: Don Anderson <DAnderson@west-chester.com>, Kathy Brooks <KBrooks@west-chester.com>, edwoods72@yahoo.com

Subject: RE: 740 South Matlack Street

The plans show curbing, so we would expect the construction to follow the plan. I am confused as to why this was submitted with curbing and approved and is now being asked for review. If zoning requires curbing, this would need a variance and a new submittal of plans.

Ramsey Reiner

Director of Parking Services/Interim Director of Building & Housing

Borough of West Chester

401 E. Gay St

West Chester, PA 19382

rreiner@west-chester.com

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From: Donald Edwards <DEdwards@west-chester.com>

Sent: Tuesday, July 1, 2025 1:22 PM

To: Ramsey Reiner <rreiner@west-chester.com>; Wendy Mecke <WMecke@west-chester.com>

Cc: Don Anderson <DAnderson@west-chester.com>; Kathy Brooks <KBrooks@west-chester.com>; edwoods72@yahoo.com

Subject: 740 South Matlack Street

Ramsey/Wendy,

We were asked to look at a property owner possibly curbing along the alley for South Matlack Street. As shown in the photos below, there is no existing curb. Even Megill's new homes don't have curb along the alley. I understand that the permit for 740 South Matlack requires a curb along the alley. I suggest that this permit requirement be removed.





Don Edwards, Public Works Director
West Chester Borough
401 East Gay Street
West Chester, PA 19380
dedwards@west-chester.com



GENERAL NOTES

- 1. RECORD OWNER/APPLICANT AND MAILING/SITE ADDRESS: EDWARD L. WOODS, III & ANNE R. DIPESO N/A/ ANNE R. WOODS 740 SOUTH MATLACK STREET WEST CHESTER, PA 19382

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

ONE CALL NOTE NO SCALE

ACT 287 SERIAL NUMBER: 20250730780 HOWELL ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC.

- UTILITIES NOTICED COMPANY: WHOLESTREAM ENTERPRISE/WHOLESALE ADDRESS: 4005 N RODNEY PARKWAY RD LITTLE ROCK, AR 72212

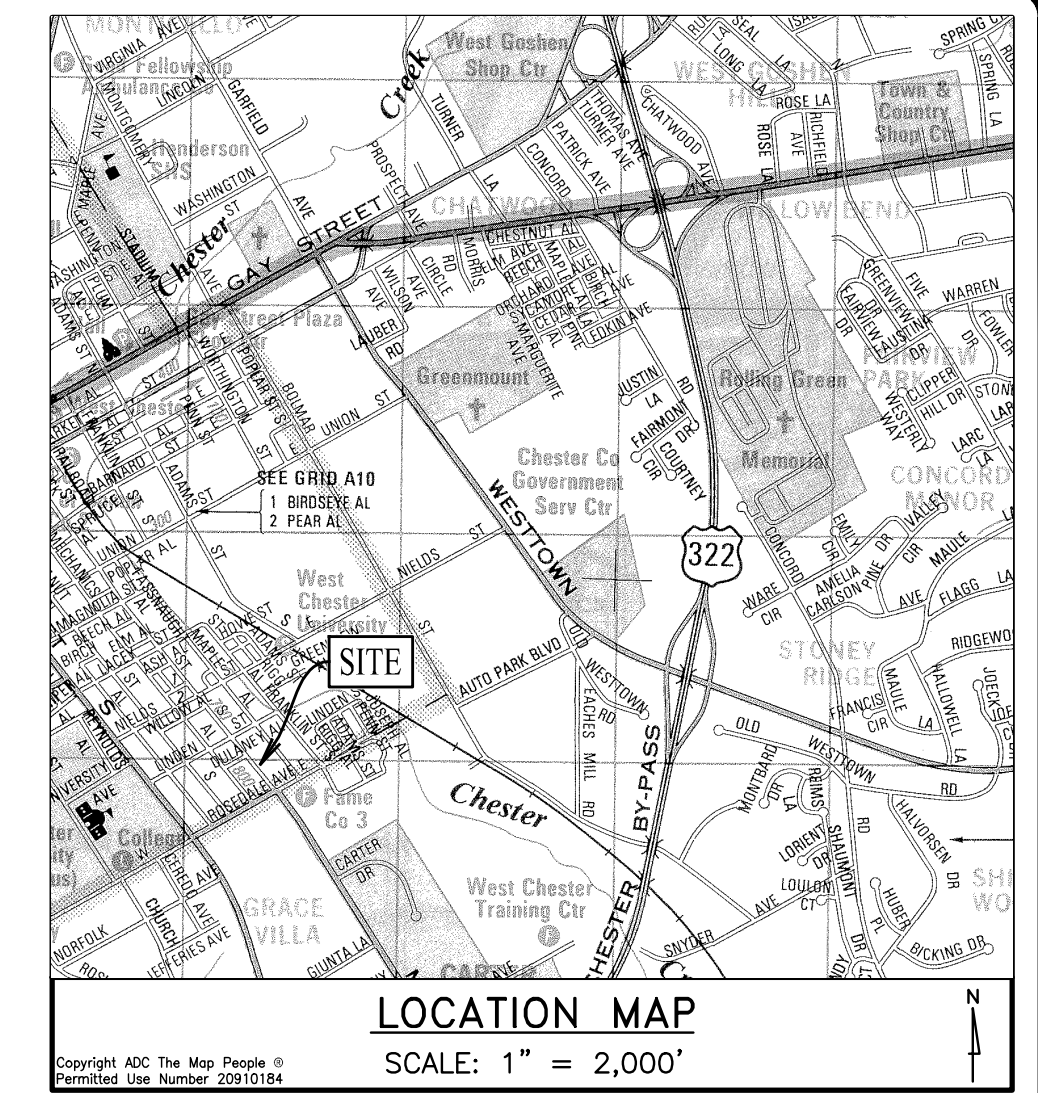
STORMWATER NOTE:

REFERENCE THE STORMWATER MANAGEMENT REPORT PREPARED FOR 740 S. MATLACK ST., AS PREPARED BY HOWELL ENGINEERING, DATED MARCH 14, 2025 FOR STORMWATER MANAGEMENT CALCULATIONS ASSOCIATED WITH THIS PROJECT.

RECEIVING SURFACE WATERS

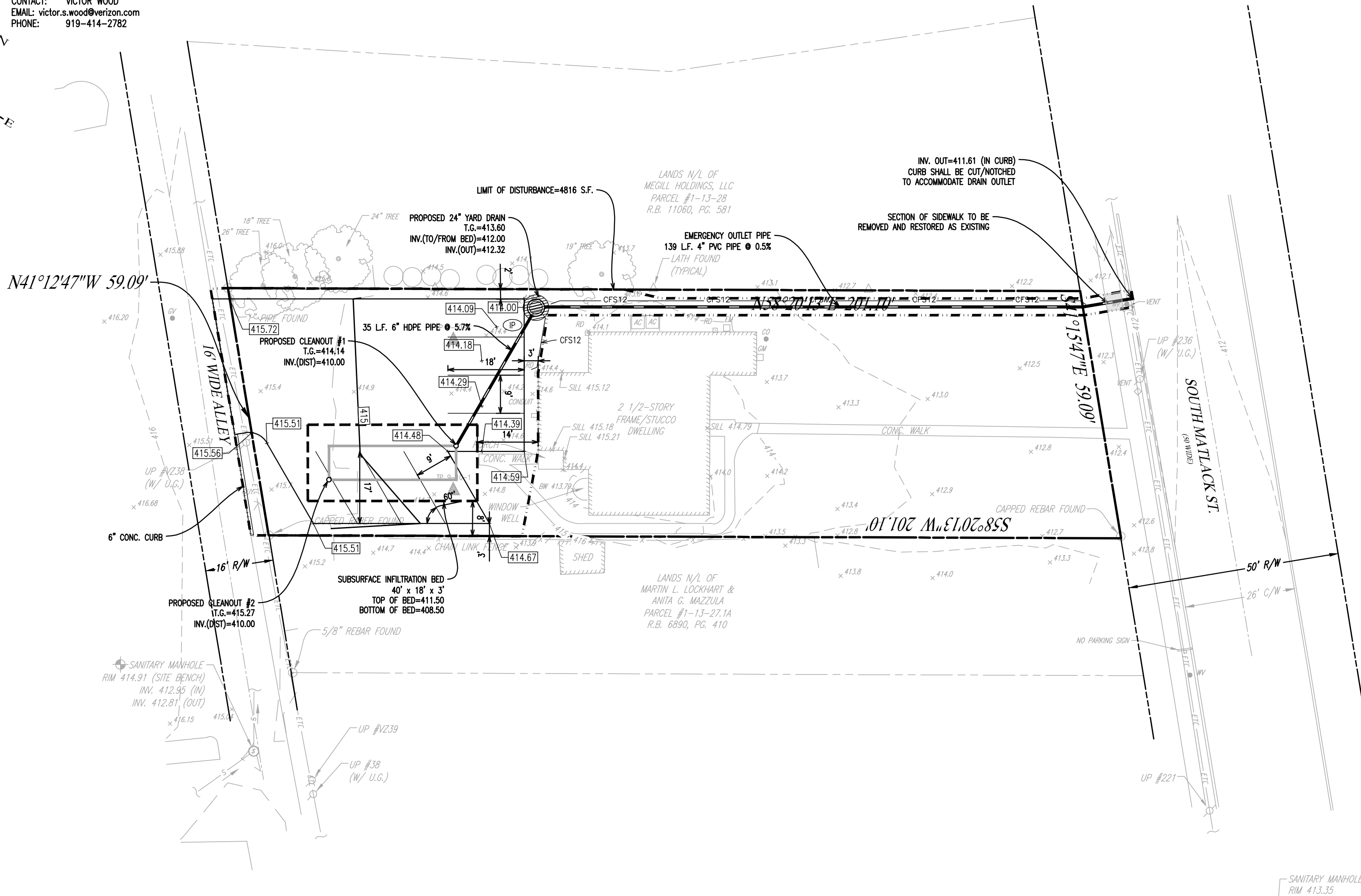
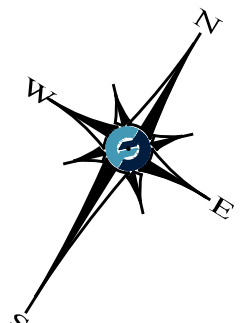
*THE PENNSYLVANIA TITLE 25, CHAPTER 93 CLASSIFICATION FOR THE RECEIVING WATERS OF THE COMMONWEALTH

GOOSE CREEK IN THE CHESTER CREEK WATERSHED: A TROUT STOCKING (TSF) AND MIGRATORY FISHES (MF) WATER COURSE



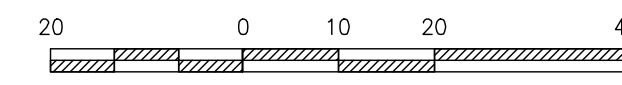
CONSTRUCTION SEQUENCE:

- 1. STAKE LIMITS OF DISTURBANCE. LIMITS OF DISTURBANCE MUST BE STAKED PRIOR TO THE START OF ANY EARTH DISTURBANCE.



GRADING PERMIT PLAN

SCALE: 1"=20'



SOIL TYPE(S)

UHB - URBAN LAND - GLADSTONE COMPLEX, 0 TO 8 PERCENT SLOPES

LEGEND

- EX. PROPERTY LINE ---242--- EXISTING CONTOUR
PROP. PROPERTY LINE ---[242]--- PROPOSED CONTOUR
EX. RIGHT-OF-WAY ---X 123.00--- EXISTING SPOT ELEV.

EROSION CONTROL LEGEND

- LIMIT OF DISTURBANCE
---12CFS--- 12" COMPOST FILTER SOCK
---OCF--- ORANGE CONSTRUCTION FENCE
---RCE--- STABILIZED ROCK CONSTRUCTION ENTRANCE
---IP--- INLET PROTECTION

Table with 2 columns: IMPERVIOUS TABULATION (ZONING) and EXISTING IMPERVIOUS. Rows include DWELLING (1,595 S.F.), DRIVEWAY (1,509 S.F.), WALKWAY (467 S.F.), CONCRETE (69 S.F.), WALL (19 S.F.), TOTAL EXISTING (3,659 S.F.).

ZONING DATA TABULATION

WEST CHESTER BOROUGH ZONING ORDINANCE NC-2 NEIGHBORHOOD CONSERVATION 2 SECTION 208-26 AREA, BULK AND HEIGHT REGULATIONS RELATED TO DWELLINGS

Table with 3 columns: REQUIRED, EXISTING, PROPOSED. Rows include MIN. LOT AREA, MIN. LOT WIDTH, MIN. FRONT YARD, MIN. REAR YARD, MAX. IMPERVIOUS COVERAGE, MAX. BUILDING COVERAGE.

STORMWATER MANAGEMENT OPERATION & MAINTENANCE STATEMENT

UNDER AND SUBJECT, NEVERTHELESS, TO THE FOLLOWING CONDITIONS AND RESTRICTIONS: FOLLOWING THE CONSTRUCTION OF THE DWELLING AND OTHER EARTHMOVING ACTIVITIES, THE PROPERTY OWNER SHALL CONSTRUCT THE PERMANENT STORMWATER MANAGEMENT FACILITIES AS SHOWN ON THE STORMWATER MANAGEMENT PLAN PREPARED BY HOWELL ENGINEERING, DATED MARCH 14, 2025 AND APPROVED BY WEST CHESTER BOROUGH.

INFILTRATION BED MAINTENANCE AND OPERATION:

INSPECTION: UNDERGROUND INFILTRATION SYSTEMS SHALL BE INSPECTED BY THE HOMEOWNER QUARTERLY AND AFTER RAINFALL EVENTS (1"). INSPECTION ITEMS SHALL INCLUDE THE CONDITION OF THE INSPECTION PORTS AND ANY VISIBLE CONNECTIONS, SEDIMENT ACCUMULATION OR STANDING WATER IN THE YARD DRAIN AND ANY SETTLING OR BREAKOUTS ALONG THE LENGTH OF THE SYSTEM.

PROPERTY OWNER ACKNOWLEDGEMENT

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE BOROUGH, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR BOROUGH (AS APPLICABLE) FOR DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF REVISED FEATURES.

ENGINEER CERTIFICATION

I, CHRISTOPHER M. DALY, P.E., ON THIS DATE 03/14/2025, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF WEST CHESTER STORMWATER MANAGEMENT ORDINANCE.

INFILTRATION TESTING NOTE

INFILTRATION TESTING PERFORMED BY HOWELL ENGINEERING. HOWELL ENGINEERING MAKES NO GUARANTEES, REPRESENTATIONS OR WARRANTIES ON INFILTRATION CAPABILITY OF THE SOILS OTHER THAN IN THE IMMEDIATE AREAS THAT HAVE BEEN TESTED AT THE TIME OF TESTING.

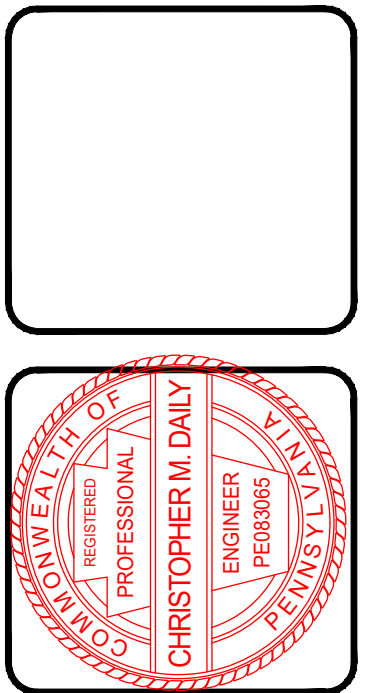
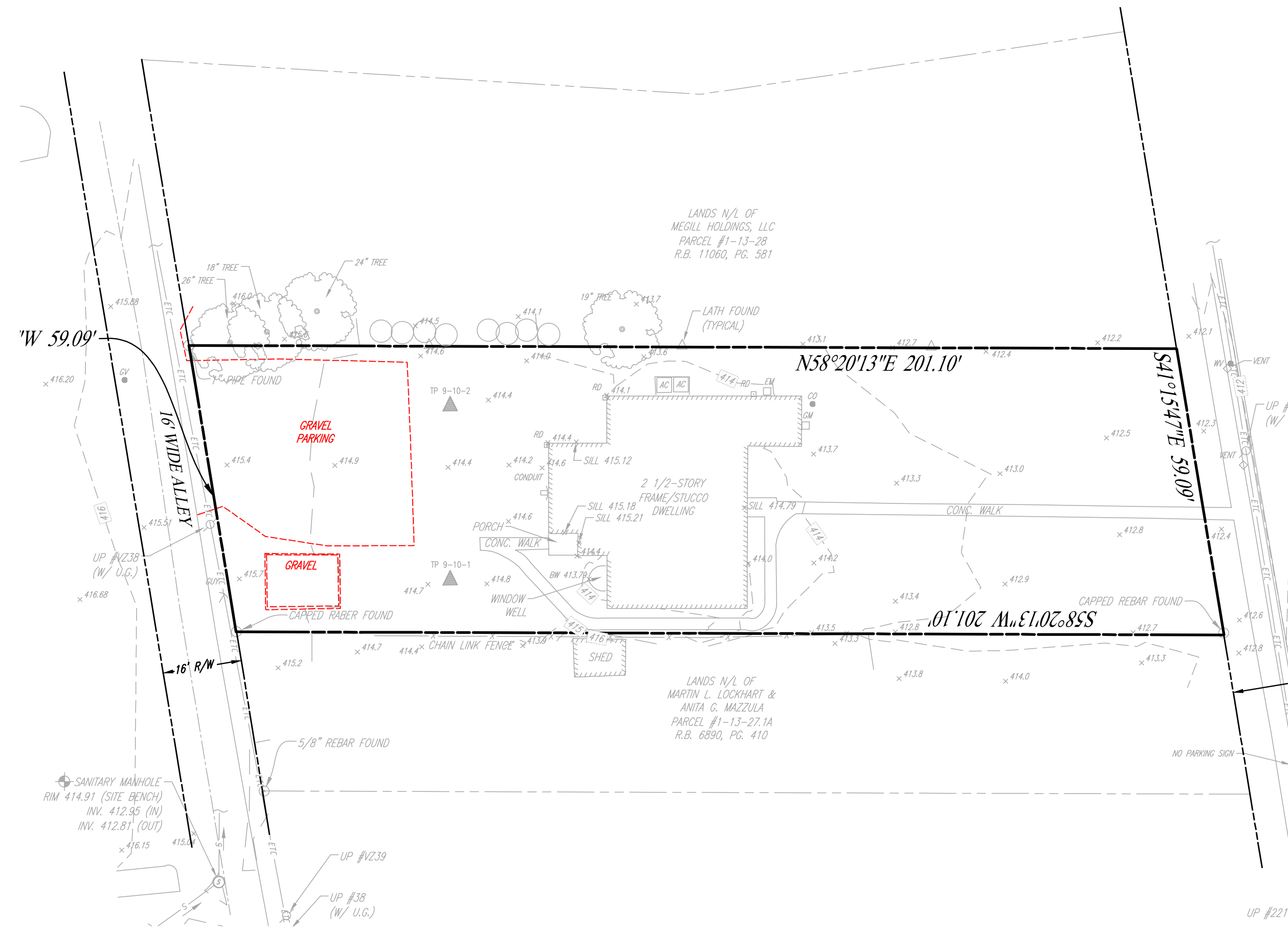
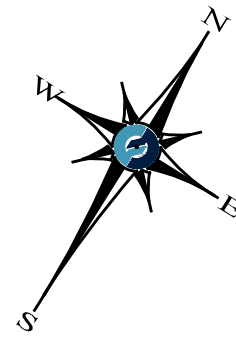


Table with 3 columns: NO., DATE, DESCRIPTION. Rows 1-8.

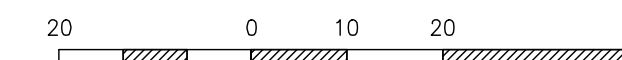
GRADING PERMIT PLAN information: CLIENT: EDWARD WOODS III, PROJECT: 740 S. MATLACK ST., LOCATION: 740 S. MATLACK ST., WEST CHESTER BOROUGH, CHESTER COUNTY, PA.

DATE: 03/14/2025, SCALE: 1"=20', DRAWN BY: GPF, CHECKED BY: CMD, PROJECT NO.: 4997, PLOTTED: 03/14/2025, DRAWING NO.: C01.1, SHEET 01 of 04.

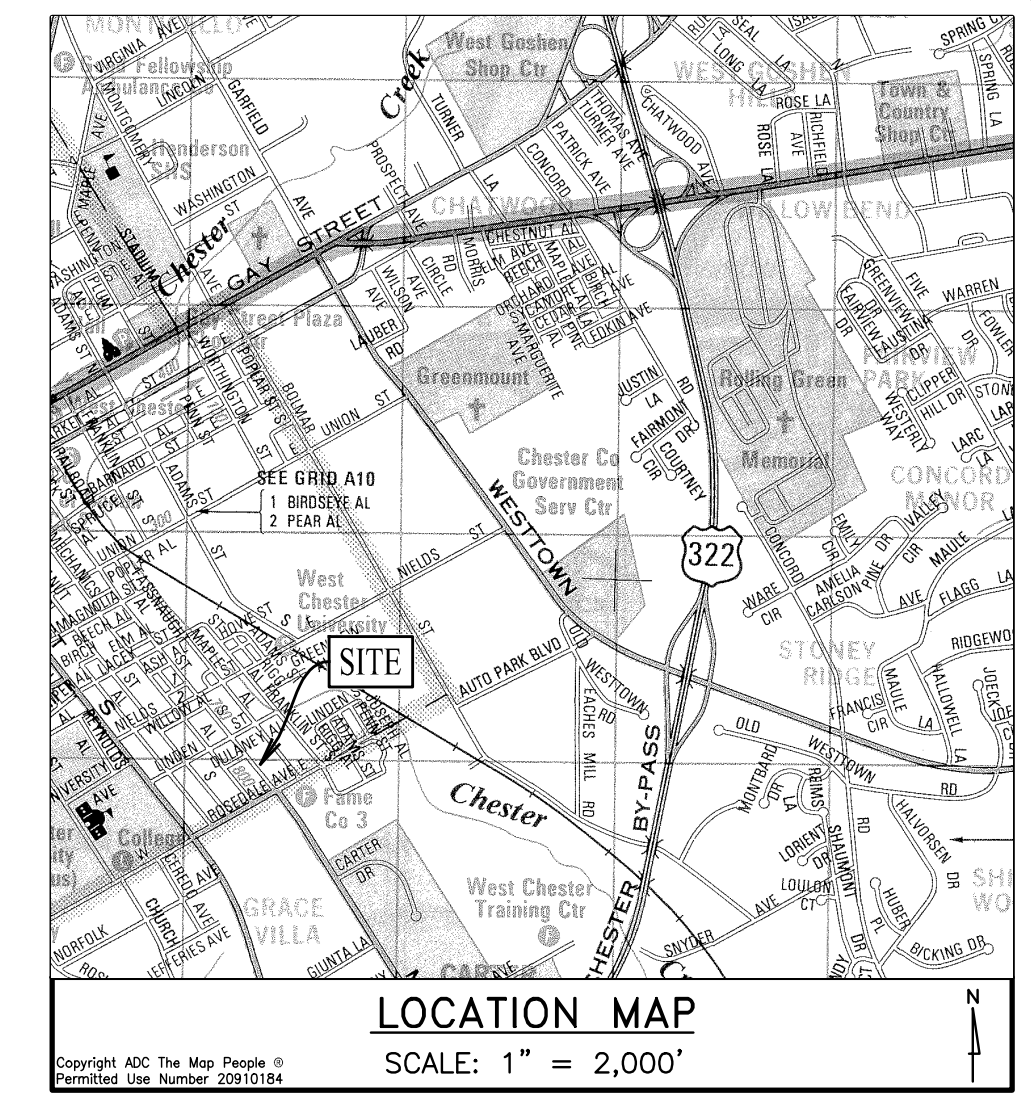


EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: 1" = 20'

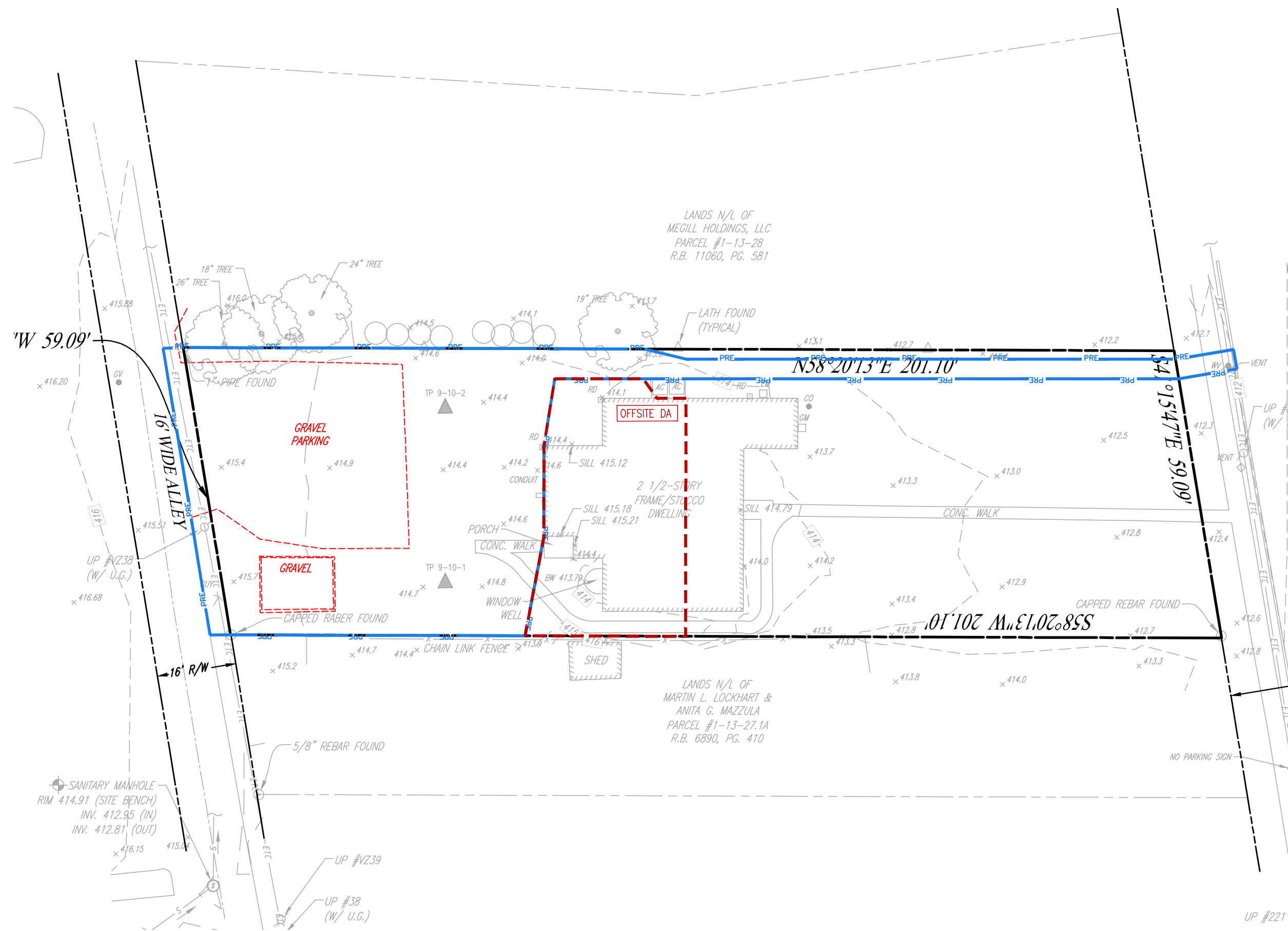


GRAPHIC SCALE
1 inch = 20 feet



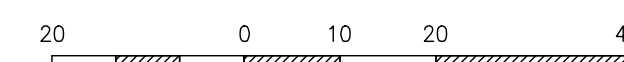
LOCATION MAP

SCALE: 1" = 2,000'

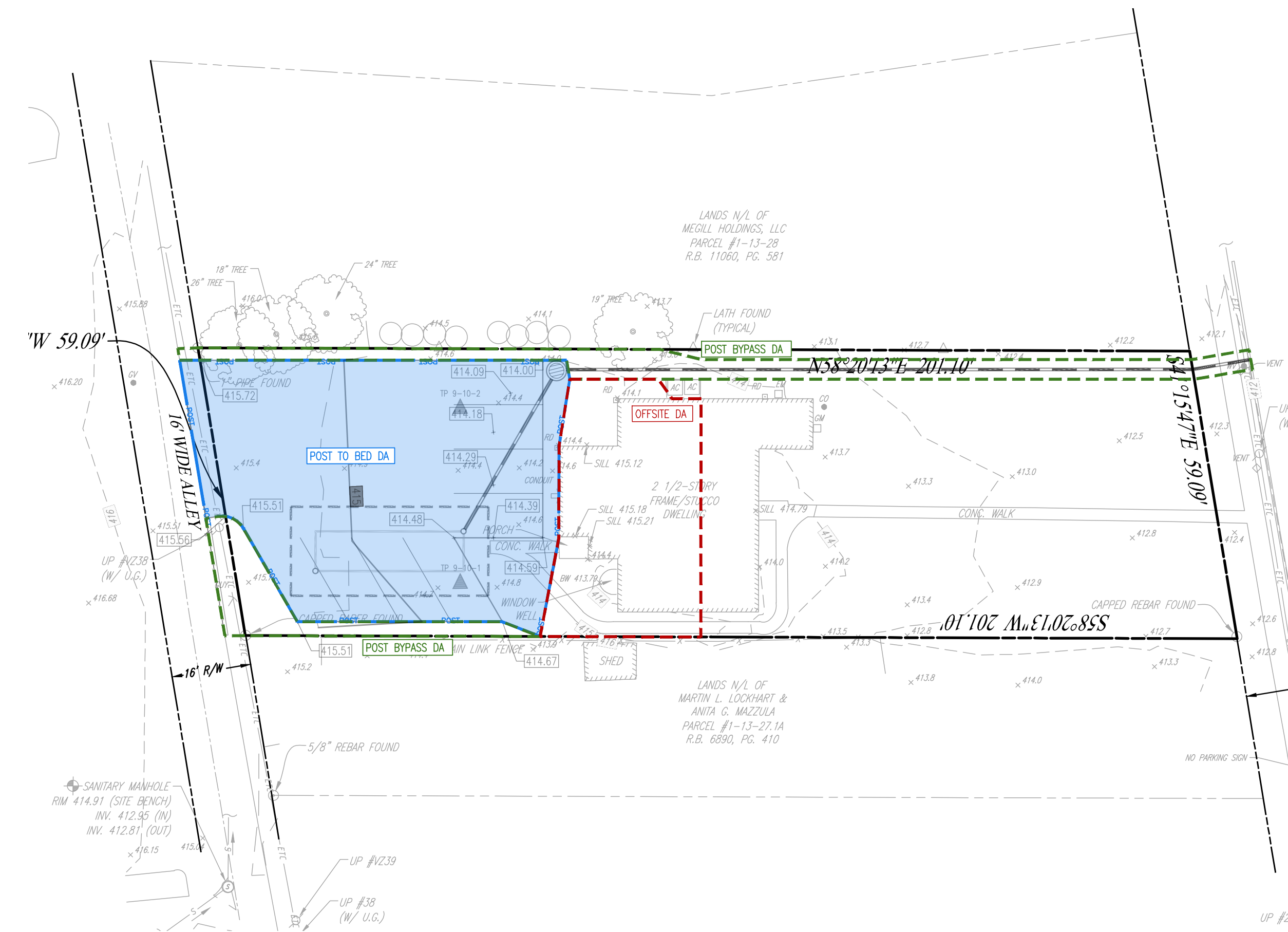


PRE-DEVELOPMENT DRAINAGE AREA

SCALE: 1" = 20'



GRAPHIC SCALE
1 inch = 20 feet

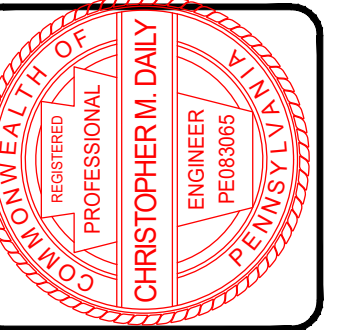


POST-DEVELOPMENT DRAINAGE AREA

SCALE: 1" = 20'



GRAPHIC SCALE
1 inch = 20 feet



REV.	DATE	DESCRIPTION
8		
7		
6		
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4		
3		
2		
1		

GRADING PERMIT	
DRAINAGE AREA PLAN	
CLIENT:	EDWARD WOODS III
PROJECT:	740 S. MATLACK ST.
LOCATION:	740 S. MATLACK ST.
	WEST CHESTER BOROUGH, CHESTER COUNTY, PA

DATE:	03/14/2025
SCALE:	1"=20'
DRAWN BY:	GPF
CHECKED BY:	CMD
PROJECT NO.:	4997
CAD FILE:	4997 PL.dwg
PLOTTED:	03/14/2025
DRAWING NO.:	C01.2
SHEET:	02 of 04

STORMWATER INFILTRATION BED CONSTRUCTION SPECIFICATIONS

1. PRIOR TO ANY SITE DISTURBANCE, THE PROPOSED INFILTRATION BED LOCATION SHALL BE PROTECTED FROM DISTURBANCE/COMPACTION WITH ORANGE CONSTRUCTION FENCING.
2. PRIOR TO CLEARING, GRUBBING AND BED CONSTRUCTION, PERIMETER SEDIMENT CONTROL DEVICES MUST BE INSTALLED. ONCE PERIMETER CONTROLS ARE IN PLACE, AREA OF INSTALLATION SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
3. HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE PROPOSED LOCATION OF THE INFILTRATION BED TO MINIMIZE COMPACTION OF THE SOIL. EXCAVATION OF THE INFILTRATION FACILITY SHALL BE PERFORMED BY EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE INFILTRATION FACILITY.
4. THE BOTTOM AND SIDES OF ALL INFILTRATION BEDS SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE SCARIFIED TO A DEPTH OF SIX (6) INCHES.
5. 100% OF THE SITE MUST BE UNIFORMLY STABILIZED PRIOR TO THE INFILTRATION BED RECEIVING SITE RUNOFF.
6. ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY THAT IS FREE OF FINES WILL BE PERMITTED. ALL STONE TO BE USED FOR INFILTRATION DEVICES SHALL BE CLEAN WASHED AASHTO #57 PER THE PA BMP MANUAL.
7. THE TOP, BOTTOM, AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH A NONWOVEN GEOTEXTILE FABRIC OR APPROVED EQUAL. USE A MINIMUM 12-INCH OVERLAP BETWEEN FABRIC PIECES.
8. IF ANY UNFORESEEN ISSUES ARE ENCOUNTERED DURING THE CONSTRUCTION OF THE SUBSURFACE INFILTRATION BED INCLUDING BUT NOT LIMITED TO GROUNDWATER, AN ALTERNATIVE DESIGN SHALL BE FORWARDED TO THE TOWNSHIP ENGINEER FOR CONSIDERATION AND APPROVAL PRIOR TO INSTALLATION OF THE SYSTEM.

STORMWATER INFILTRATION NOTES

1. COMPACTION IS TO BE MINIMIZED IN THE AREAS DESIGNATED FOR INFILTRATION.
2. INFILTRATION BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED THE INFILTRATION BED, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
3. ALL STONE FOR THE CONSTRUCTION OF THE STONE INFILTRATION BED SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
4. THE BOTTOM OF THE INFILTRATION BED SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.

EROSION AND SEDIMENTATION CONTROL NARRATIVE

THE PURPOSE OF THIS NARRATIVE AND THE EROSION CONTROL ASPECTS OF THE PLANS ARE TO PREVENT THE ACCELERATED EROSION OF EXPOSED SITE SOILS DURING CONSTRUCTION AND TO RETAIN ON SITE ALL SEDIMENT PRODUCED BY CONSTRUCTION ACTIVITIES. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO THE FOLLOWING NOTES, SEQUENCE OF CONSTRUCTION, AND EROSION AND SEDIMENT CONTROL DETAILS SHOWN ON THE PLAN.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE PERMITTEE(S) SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS AND RELATED ITEMS INCLUDED WITHIN THESE PLANS UNTIL THE SITE IS PERMANENTLY STABILIZED.
2. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS RESTORED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
3. STORMWATER RUNOFF FROM UNSTABILIZED AREAS DURING THE CONSTRUCTION PROCESS IS TO BE RESTRICTED FROM ENTERING THE ON-LOT INFILTRATION BED.
4. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SWALES AND DISTURBED SLOPES 3:1 OR GREATER.
5. TEMPORARY AND PERMANENT GRASSES OR OTHER SUITABLE STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDES OF ALL EARTHEN BASINS WITHIN 15 DAYS OF CONSTRUCTION.

MAINTENANCE DURING CONSTRUCTION:

1. AREAS THAT CONTAIN SOD SHALL BE CHECKED VERY CAREFULLY TO ENSURE THAT JOINT BETWEEN THE SOD STRIPS ARE TIGHT AND SECURE. WHERE JOINT SEPARATION IS IN EVIDENCE, A CAREFUL INSPECTION OF EACH JOINT SHALL BE MADE TO DETERMINE WHETHER THE JOINTS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE BOLLED UP, THE SUBSURFACE SHALL BE FILLED AND GRADED AS REQUIRED, AND THE SOD STRIPS SHALL BE RE-LAID WITH TIGHT JOINTS AND PEGGING.
2. SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS HAD A CHANCE TO ROOT PROPERLY.
3. THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT MONTHLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE DONE.
4. AFTER SLOPES AND SWALES ARE ESTABLISHED, WEEKLY INSPECTIONS SHALL BE MADE TO DETERMINE THE DURABILITY OF THE STABILIZATION MEASURES. AN INSPECTION OF ALL FACILITIES WILL BE MADE AFTER EVERY STORM TO DETERMINE THEIR RESISTANCE TO DRIVING RAIN.
5. SHOULD UNFORESEEN SOIL EROSION TAKE PLACE DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ADEQUATE STEPS TO RESOLVE THE SITUATION IN ORDER TO PROTECT THE ADJACENT ROADWAY AND PROPERTIES.

SEED MIX SPECIFICATIONS

GRASS SEED: ALL SEED SHALL BE FRESH, NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INVITATION FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALED STANDARD CONTAINERS, BEARING THE WARRANTY OF THE SUPPLIER AND CERTIFYING AS TO THE KIND, PERCENT BY WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN THE PERCENTAGES OF VARIETIES AND SHALL BE OF THE QUALITY INDICATED BY THE PERCENTAGES OF PURITY AND GERMINATION INDICATED ON THE LIST FURNISHED WITH THE APPLICABLE PLAN. SEED MIX SHALL BE AS SPECIFIED. SPREAD AT THE RATE OF 4 LBS. PER 1000 SQ. FT. MINIMUM FOR SLOPES 3:1, IF GREATER, USE 5 LBS. PER 1000 SQ. FT.

PERMANENT SEEDING DATES MARCH 1 TO JUNE 1, AND AUGUST 1 TO OCTOBER

NAME	GRASS SEED	
	PARTS BY WEIGHT	% PURITY GERMINATION
KENTUCKY BLUE GRASS	35%	95% 85%
PENSTAR OF PENNINE	35%	95% 90%
PERENNIAL RYEGRASS	15%	95% 85%
PENNLAWN RESCUE	15%	90% 80%
ANNUAL RYEGRASS	15%	90% 80%

VARIETIES: MULCH: SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT MOLDY OR ROTTEN, AND SHALL BE APPLIED AT ALL CRITICAL SLOPE AREAS AT A RATE OF 3 TONS PER ACRE.

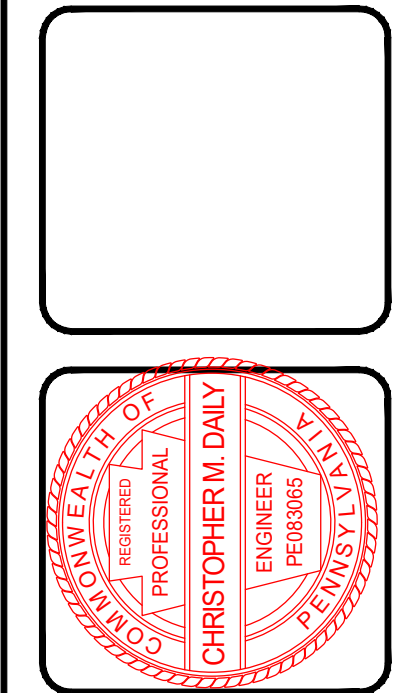
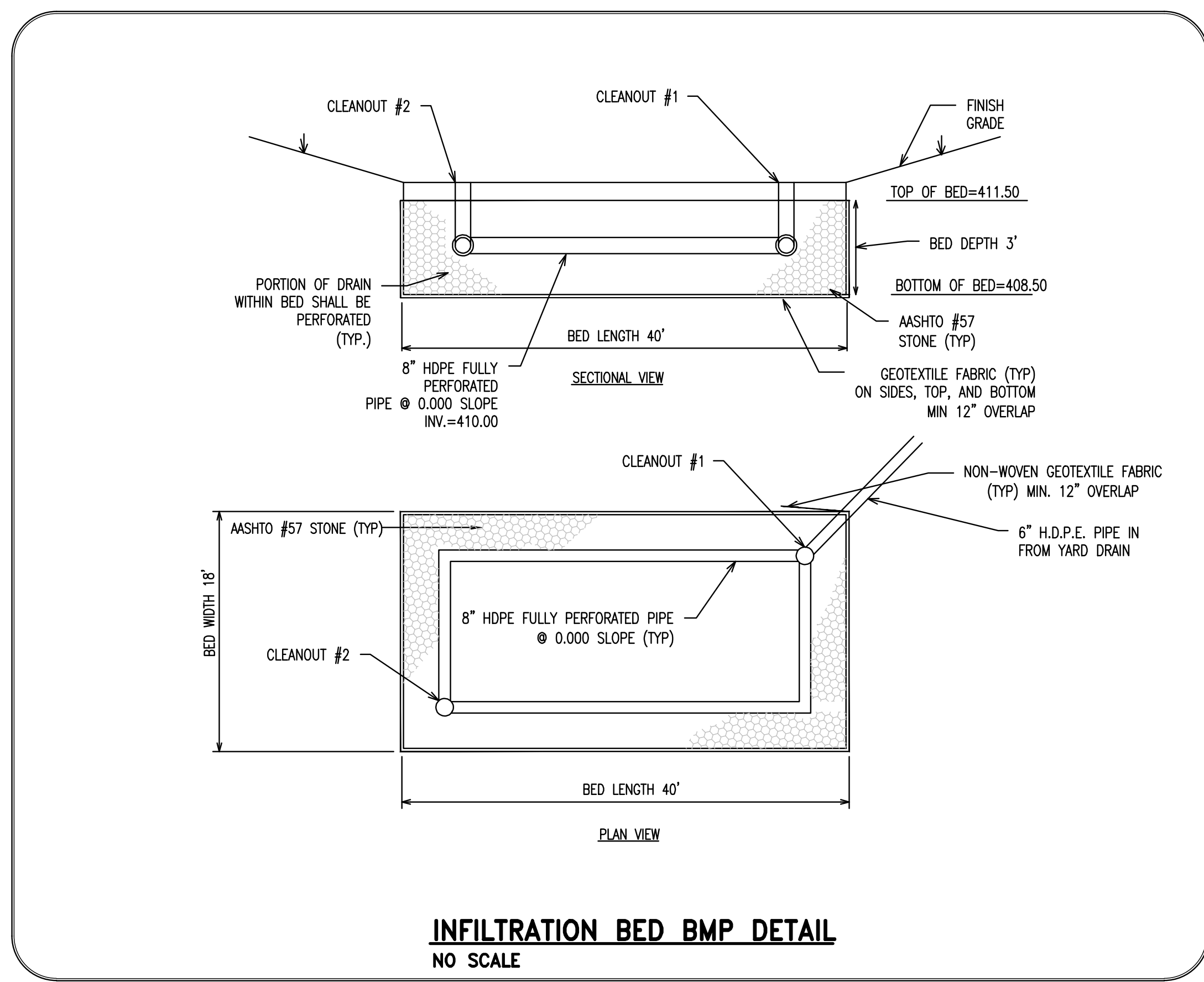
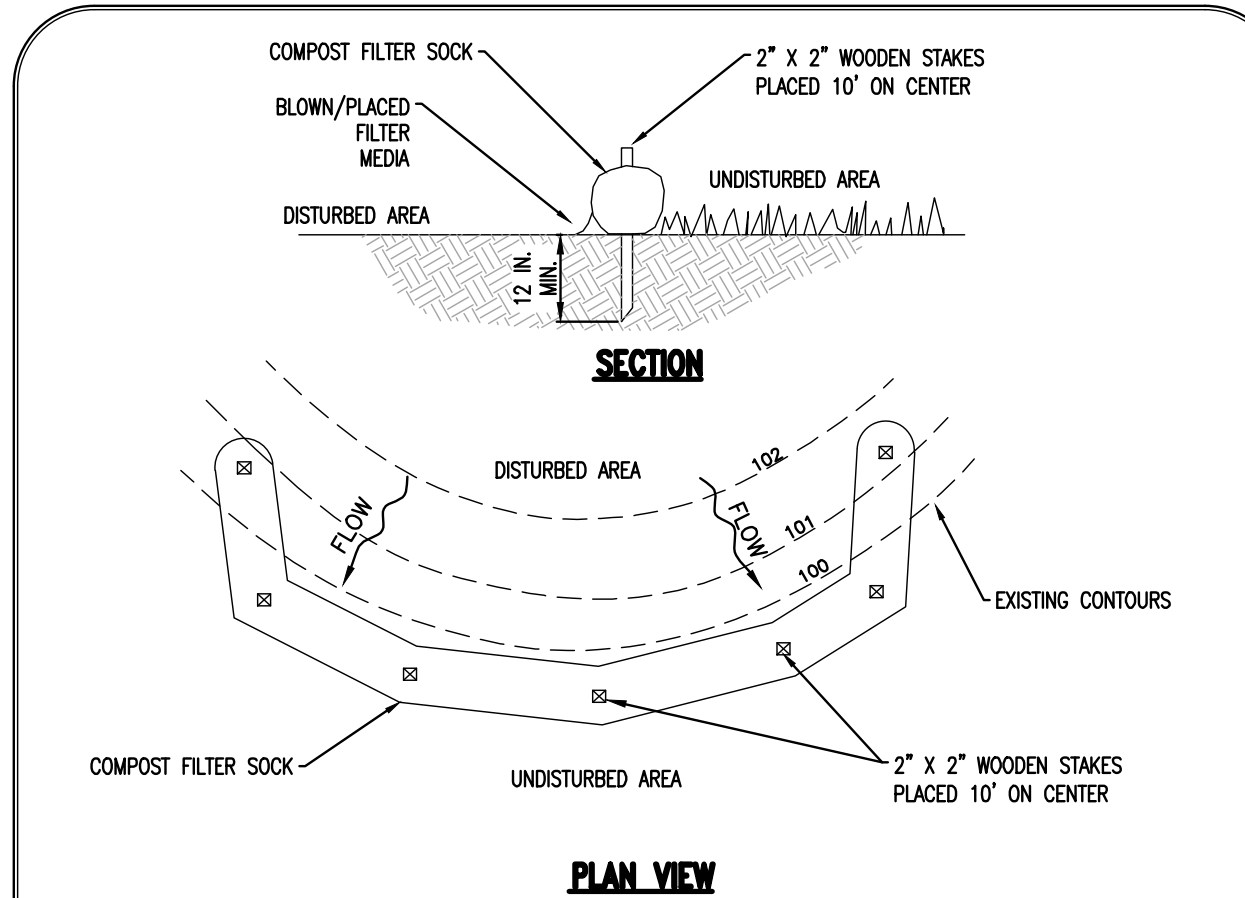
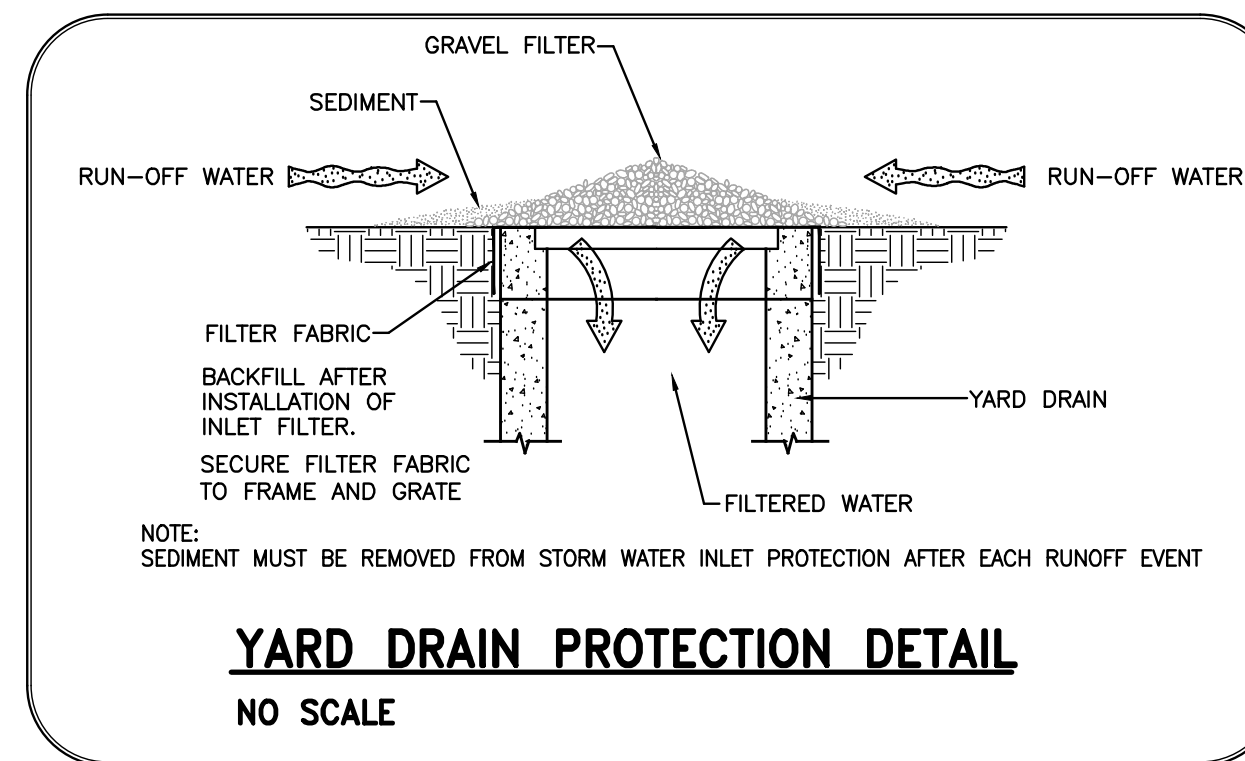
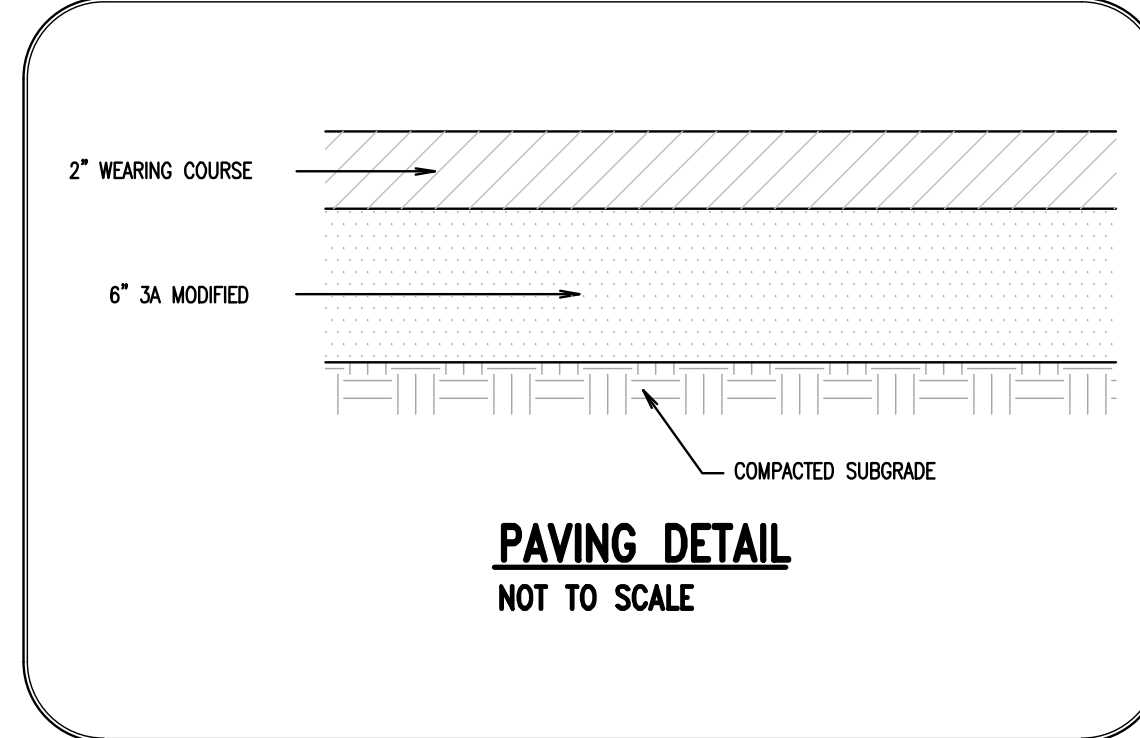
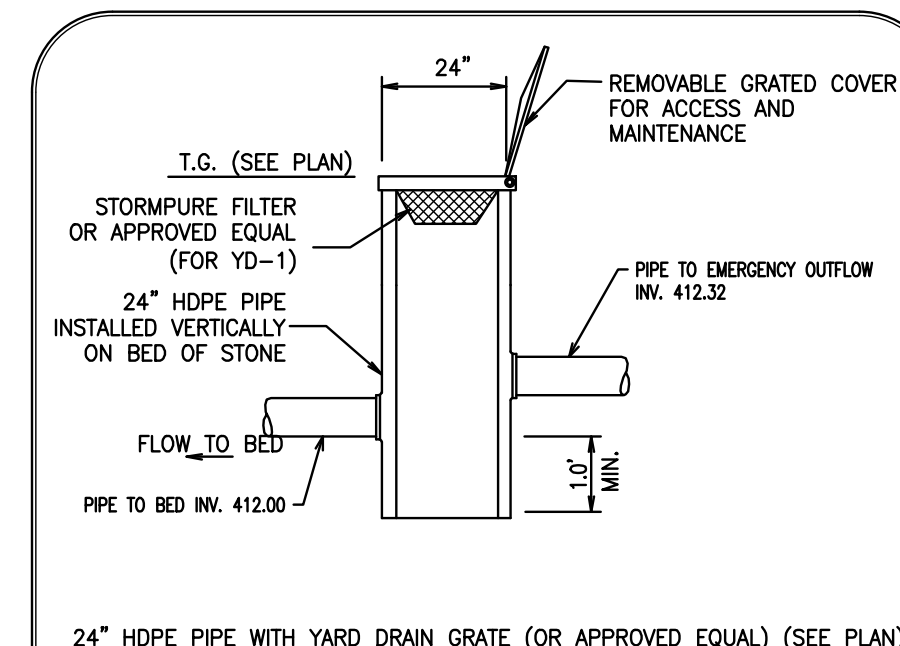
KENTUCKY BLUEGRASS SOD (IF CALLED FOR): SOD SHALL BE GROWN UNDER SUPERVISION OF THE BUREAU OF PLANT INDUSTRY PENNSYLVANIA DEPARTMENT OF AGRICULTURE OR SHALL BE COMPOSED OF ONLY GLUE TAG CERTIFIED SEED.

TEMPORARY SEEDING DATE: ANYTIME
 TEMPORARY SEEDING: SHALL BE ANNUAL RYEGRASS AT 40 LBS. PER ACRE. SITE PREPARATION - APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE PLUS FERTILIZER AT THE RATE OF 50-50 PER ACRE OF WORK IN WHERE POSSIBLE. AFTER SEEDING, MULCH WITH HAY OR STRAW AT A RATE OF 3 TONS PER ACRE.

HYDROSEEDING:
 -SHALL BE LIME, FERTILIZER, GRASS SEEDS, LEGUME SEEDS AND INOCULANT MIXED WITH WATER AND APPLIED AS SLURRY, AT A RATE OF 1000 GALLONS PER ACRE.
 -LIME: UP TO 4000 LBS. LIMESTONE PER ACRE MIXED WITH 1000 GALLONS OF WATER PER ACRE.
 -FERTILIZER: AT RATE OF 50-100 PER ACRE.
 -INOCULANT: USE 5 TIMES RATE RECOMMENDED ON THE PACKAGE WHEN SEEDING WITH A HYDROSEEDER.

SEEDING AND MULCHING NOTES

1. ANY UNDISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE SEEDED AND MULCHED WITH A PERMANENT SEED MIXTURE AND MULCH.
2. DIVERSIONS, CHANNELS, SEDIMENTATION BASINS, SEDIMENT TRAPS, AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY.
3. HAY OR STRAW MULCH MUST BE APPLIED AT A RATE OF AT LEAST 3.0 TONS PER ACRE
4. GRADED AREAS TO TEMPORARILY SEEDED AND MULCHED IMMEDIATELY FOLLOWING EARTH MOVING PROCEDURES. SEED SHALL BE ANNUAL RYE GRASS APPLIED AT A RATE OF 3 LBS. PER 1000 SQ. FT.
5. ESTABLISH PERMANENT SEEDING AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETE. PERMANENT SEEDING SHALL BE SOX PENNLAWN BED FESCUE, 10% PENNINE PERENNIAL RYEGRASS AND 90% KENTUCKY BLUEGRASS APPLIED AT THE RATE OF 3.5 LBS. PER 1000 SQ. FT.



REV.	DATE	DESCRIPTION
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2		
1		

GRADING PERMIT NOTES AND DETAILS
 CLIENT: EDWARD WOODS III
 PROJECT: 740 S. MATLACK ST.
 LOCATION: 740 S. MATLACK ST. WEST CHESTER BOROUGH, CHESTER COUNTY, PA

DATE:	03/14/2025
SCALE:	NTS
DRAWN BY:	GPF
CHECKED BY:	CMD
PROJECT NO.:	4997
CAD FILE:	4997 PL.dwg
PLOTTED:	03/14/2025
DRAWING NO.:	C01.3
SHEET:	03 of 04



Borough of West Chester

401 East Gay Street ▪ West Chester, Pennsylvania ▪ 19380

Telephone: 610-692-7574 ▪ Facsimile: 610-436-0009

www.west-chester.com

ZONING HEARING BOARD APPLICATION

APPEAL # **1036**

DATE RECEIVED **09/26/2025**

Property (real estate) Location 124 East Chestnut Street

Zoning District: NC-2

Tax Parcel: 1-5-356

I / We (name) David H. Knoebel Of 124 E Chestnut Street request the scheduling of a hearing on it/my/our APPEAL (Application) to the West Chester Borough Zoning Hearing Board on the following grounds: (choose one or more):

Special Exception to the Borough of West Chester Zoning Ordinance of 2021 (cite Ordinance Sections), specifically:

Variance to the Borough of West Chester Zoning Ordinance of 2021 (cite Ordinance Sections), specifically:

112-307.B (side-yard setback).

Applicant seeks a variance to allow an accessory garage to be constructed on the Property.
See attached narrative.

Appeal a decision of the Zoning Officer, Specifically, the following:

Other _____

Application Received By: W. Mecke

NOTICE

Please see the Borough's website for the Fee Schedule for Zoning Fees. Zoning Fees are not refundable upon the Zoning Hearing scheduling and holding a hearing. A hearing will be scheduled only upon submission of a complete Application and payment of the applicable fee.

Date: 09/26/2025



Borough of West Chester

401 East Gay Street ■ West Chester, Pennsylvania ■ 19380

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- A) The description of the Property (real estate located in West Chester Borough) including acreage (square feet), current improvements and use:

_____The Property is located between E. Chestnut Street and E. Prescott Alley. The Property is 0.08 acres. _____

_____The Property is improved with a single-family dwelling, nearly 2,300 s.f. of living space, and four (4) bedrooms. _____

- B) a) Does the Applicant own the Property? (X) Yes () No

b) If "NO", who is the Owner of the Property? _____

c) If not the Owner, what is your legal authority (e.g. – equitable owner, tenant, etc.) for filing this Application on behalf of Owner? _____

- C) I/We believe that the Zoning Hearing Board should approve this request because: (Please include the grounds for appeal or reasons both with respect to the law and fact in support of your relief request for the Appeal or Special Permit including any documents supporting your request).

(X) See Attached Narrative

- D) Has any Exception or Variance. You may also attach your explanation in a separate narrative on a previous application or appeal been filed on with this Property?

() Yes (X) No

(E) PLOT PLAN REQUIREMENTS (Supporting Documents)

A Plot Plan of the Property must be submitted as part of this Application. The plot plan shall contain a description of this Property (lot) and show all of the information as follows:

1. Length of all Property (lot) lines.
2. Approximate acres or square feet of Property.
3. Show location of all buildings/structures on Property, their outside dimensions, the distances between buildings and the Property's boundaries.



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4. If this application is for new buildings or additions to present buildings, show these proposed buildings/additions giving outside dimensions and the distances between any new structures and existing buildings plus distances between any proposed buildings and the Property's boundaries.
5. Show any existing roads or driveways on the Property and the location of any new drives (if any) you plan to construct.
6. Show location and sizes of all existing parking spaces on the Property and additionally, if any, parking spaces you plan to construct.

NOTE: This Application must be completed in full and submitted with Supporting Documents. Two (2) copies of the Application, the Plot Plan and any supporting documents are required as part of your submission. Please also submit the Application and Supporting Documents in a PDF to Housing@west-chester.com

The Applicant certifies that the above statements contained in this Application and Supporting Documents submitted are true and correct to the best of its/my/our knowledge and belief.

David H. Knoebel

 Name of Applicant(s)


 Signature Attorney-in-Fact Robert M. Tucker

 Name of Applicant(s)

 09-26-2025

 Date

124 E. Chestnut Street

 Address of Applicant
 (610) 840-0233

 Phone Number
 bnagle@macelree.com
 rtucker@macelree.com

Brian Nagle and Robert Tucker

 Attorney (If Represented)
 MacElree Harvey, Ltd.
 17 W. Miner St., West Chester, PA 19381

Email Address (if any)

Address

Phone or Email

Borough Use Only

Zoning Hearing Board Fee: \$500- Check No.: 375 Date Received: 9/26/2025

Received By: W. Mecke
Borough Employee



Borough of West Chester

401 East Gay Street ▪ West Chester, Pennsylvania ▪ 19380

Telephone: 610-692-7574 ▪ Facsimile: 610-436-0009

www.west-chester.com

Zoning Officer Review:

Signature: _____

Date: _____

BEFORE THE WEST CHESTER BOROUGH ZONING HEARING BOARD

IN RE: APPLICATION FOR DIMENSIONAL VARIANCE RELIEF

NARRATIVE IN SUPPORT OF APPLICATION

I. Introduction

David H. Knoebel (“**Applicant**”) files this application for certain real property located at and known as 124 E. Chestnut Street, West Chester, PA (being UPI No. 1-5-356) (“**Property**”). The Property is 0.08 +/- acres and is located in the NC-2 Zoning District of West Chester Borough (“**Borough**”).

Applicant plans to demolish the existing garage and construct a new, 25'-0" deep garage that will fit a full-size truck, a car, and allow additional storage. The existing garage is structurally unsound and needs to be replaced. Parking is an issue in the area, so a new garage to provide parking for at least one vehicle is necessary. The garage will also have a second story for office space with a half bathroom (“**Improvements**”).

The Improvements are shown on a Site Plan prepared by Hays Architecture and dated March 11, 2025. The Site Plan is attached to the Application.

II. Variance Relief

A. Section 112-307.B – (Side-Yard, Accessory Structure).

West Chester Borough Ordinance Section 112-307.B provides that accessory structures, like the proposed garage, have a 5' side-yard setback. The Site Plan shows the proposed garage is located 4'-5" from the side-yard.

Accordingly, Applicant seeks a variance from Section 112-307.B of the Zoning Ordinance allow the proposed garage to be located within the side-yard setback. The variance request could be considered *de minimis*. In any event, the requested variance

will not alter the essential character of the neighborhood, or the NC-2 District, nor will it substantially or permanently impair the use or development of neighboring properties or be detrimental to the public welfare. The requested variance will represent the minimum variance that will afford Applicants relief and will represent the least modification possible of Section 112-307.B of the Zoning Ordinance.

B. Continuation of Non-Conformity.

The Property is nonconforming as to: lot area; lot width; and accessory building side-yard setback. The Applicant will demonstrate at the hearing that the nonconformities are not being enlarged, and he is permitted to continue using the Property with the existing nonconformities. The continuation of the nonconformities permitted by and consistent with Zoning Ordinance § 112-810(E)(F).

C. Section 112-602.J.

In a review letter dated April 15, 2025, Yerkes Associates, Inc. noted that Applicant must demonstrate compliance with Section 112-602.J of the Zoning Ordinance, which states: "Every parking area shall be designed so that its use does not constitute a nuisance, hazard or unreasonable impediment to traffic." Applicant will demonstrate compliance with this Section of the Zoning Ordinance at the hearing on this applicant.

III. Conclusion

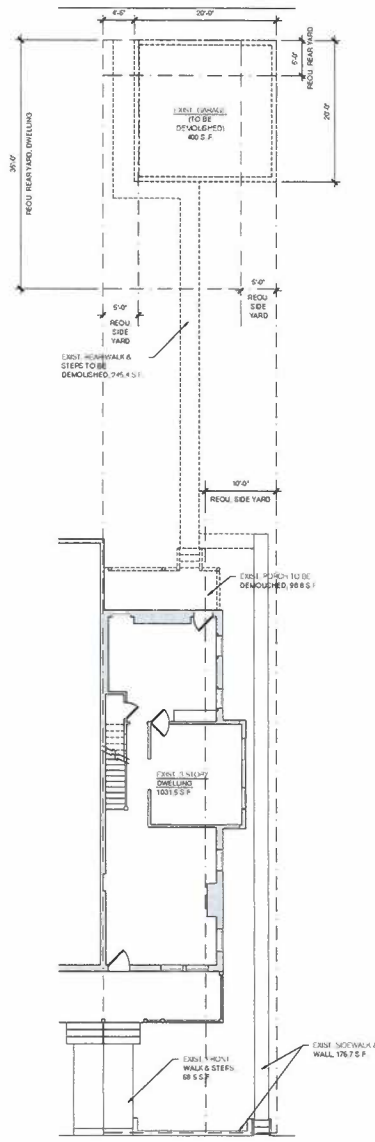
Applicant will present testimony and evidence in support of this Application at the time of the hearing. Applicant respectfully requests that the relief sought herein be granted, in addition to any other such relief as the Board may deem necessary to effectuate Applicant's proposal.

Respectfully submitted,

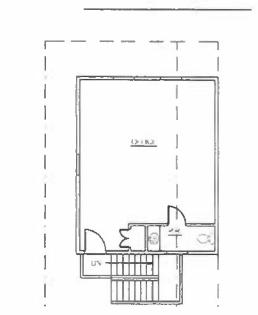
MacELREE HARVEY, LTD.

Date: September 26, 2025

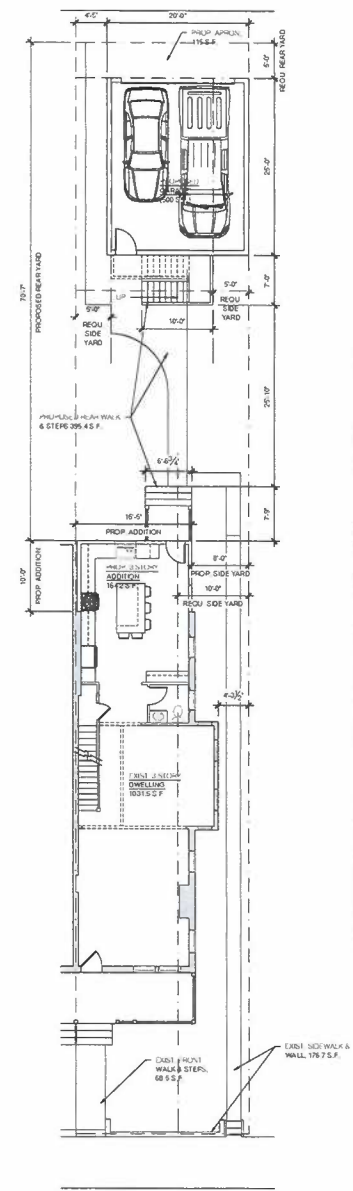
By: /s/ Robert M. Tucker
Brian L. Nagle, Esquire
Robert M. Tucker, Esquire
MacElree Harvey, Ltd.
Attorney for Applicant



1 EXISTING SITE PLAN
1/8" = 1'-0"



2 PROP. GARAGE SECOND FLOOR PLAN
1/8" = 1'-0"



3 PROPOSED SITE PLAN
1/8" = 1'-0"



ZONING NOTES

OWNER: DAVE KNOEBEL
34 MICHAEL LANE
WEST CHESTER, PA 19380
MAP # 1-6-256
PARCEL # 0166 0366000
ZONING DISTRICT INFORMATION:
ZONING DISTRICT: NC-2

LOT AREA	REQUIRED MINIMUM VALUE OF LOTS ON BLOCK/FACE	EXISTING	PROPOSED
LOT WIDTH, MIN.	30 FT. 0" @ 20'	30 FT. 0" @ 20'	24' 0"
BUILD TO LINES/FRONT YARD SIDE YARD, MIN.	5 FT. 0" @ 10' 0"	NO CHANGE	NO CHANGE
ACCESSORY SIDE YARD, MIN.	3 FT. 0" @ 20' 0"	4' 3" @ 12'	4' 3" @ 12'
REAR YARD, MIN.	30 FT. 0" @ 20' 0"	75'	75'
ACCESSORY REAR YARD, MIN.	3 FT. 0" @ 20' 0"	10' 0"	10' 0"
HEIGHT, MAX.	30 FT. 0" @ 20' 0"	37' 0"	37' 0"
HEIGHT, ACCESSORY	N/A	11' 0" @ 20'	25' 0"
IMP. COVERAGE	80%	53.0%	85.1%
BUILDING COVERAGE	40%	40.0%	40.0%

EXISTING IMPERVIOUS COVERAGE CALCULATION

EXISTING BUILDINGS	1530.3 S.F.
EXIST. FRONT SIDEWALK & STEPS	68.5 S.F.
EXIST. REAR WALK & WALL	176.7 S.F.
EXIST. REAR WALK & STEPS	204.4 S.F.
TOTAL	2080.9 S.F.

PROPOSED IMPERVIOUS COVERAGE CALCULATION

EXIST. IMPERVIOUS	2080.9 S.F.
REAR WALK & STEPS (DEMO)	-244.4 S.F.
EXIST. GARAGE (DEMO)	-400.0 S.F.
EXIST. PORCH (DEMO)	-98.8 S.F.
PROPOSED GARAGE	500.0 S.F.
PROPOSED GARAGE APPROX.	1110.0 S.F.
PROPOSED ADDITION	164.2 S.F.
PROP. REAR WALK & STEPS	204.4 S.F.
TOTAL	2451.3 S.F.

EXISTING BUILDING COVERAGE CALCULATION

EXISTING DWELLING	1331.3 S.F.
EXISTING REAR PORCH	88.8 S.F.
EXISTING GARAGE	400.0 S.F.
TOTAL	1820.1 S.F.

PROPOSED BUILDING COVERAGE CALCULATION

EXIST. BLDG. COVERAGE	1820.1 S.F.
EXIST. REAR PORCH (DEMO)	-88.8 S.F.
EXISTING GARAGE (DEMO)	-400.0 S.F.
PROPOSED ADDITION	164.2 S.F.
PROPOSED GARAGE	500.0 S.F.
TOTAL	1995.7 S.F.

TOTAL PROPOSED ADDIT IMPERVIOUS 430.4 S.F. (NO STORAGE WATER REQUIRED)

SYMBOLS LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	EXIST. SIDE WALK & STEPS	[Symbol]	EXIST. SIDE WALK & STEPS
[Symbol]	EXIST. SIDEWALK WALL	[Symbol]	EXIST. SIDEWALK WALL
[Symbol]	EXIST. SIDE WALK & STEPS	[Symbol]	EXIST. SIDE WALK & STEPS
[Symbol]	EXIST. SIDE WALK & STEPS	[Symbol]	EXIST. SIDE WALK & STEPS
[Symbol]	EXIST. SIDE WALK & STEPS	[Symbol]	EXIST. SIDE WALK & STEPS
[Symbol]	EXIST. SIDE WALK & STEPS	[Symbol]	EXIST. SIDE WALK & STEPS

HAYS
ARCHITECTURE
ELLE HAYS, AIA NCARB
114 WALNUT STREET
MORTON, PA 19070
CELL. 610.724.6405

PROJECT:
**ADDITIONS AND
RENOVATIONS**
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380

CLIENT:
DAVE KNOEBEL
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380
(484) 723-9233
dave_knoebel@outlook.com

PHASE:
**PRELIMINARY
ZONING
REVIEW**

DWG. TITLE:
SITE PLAN

DRAWN BY: SPH
DATE:
MARCH 11, 2025
REV. 1: MOVE GARAGE
JUNE 3, 2025
REV. 2:
REV. 3:
DWG. NO.:

SK-1

HAYS
ARCHITECTURE
ELLIE HAYS, AIA NCARB
114 WALNUT STREET
MORTON, PA 19070
CELL 610.724.6405

PROJECT:
ADDITIONS AND RENOVATIONS
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380

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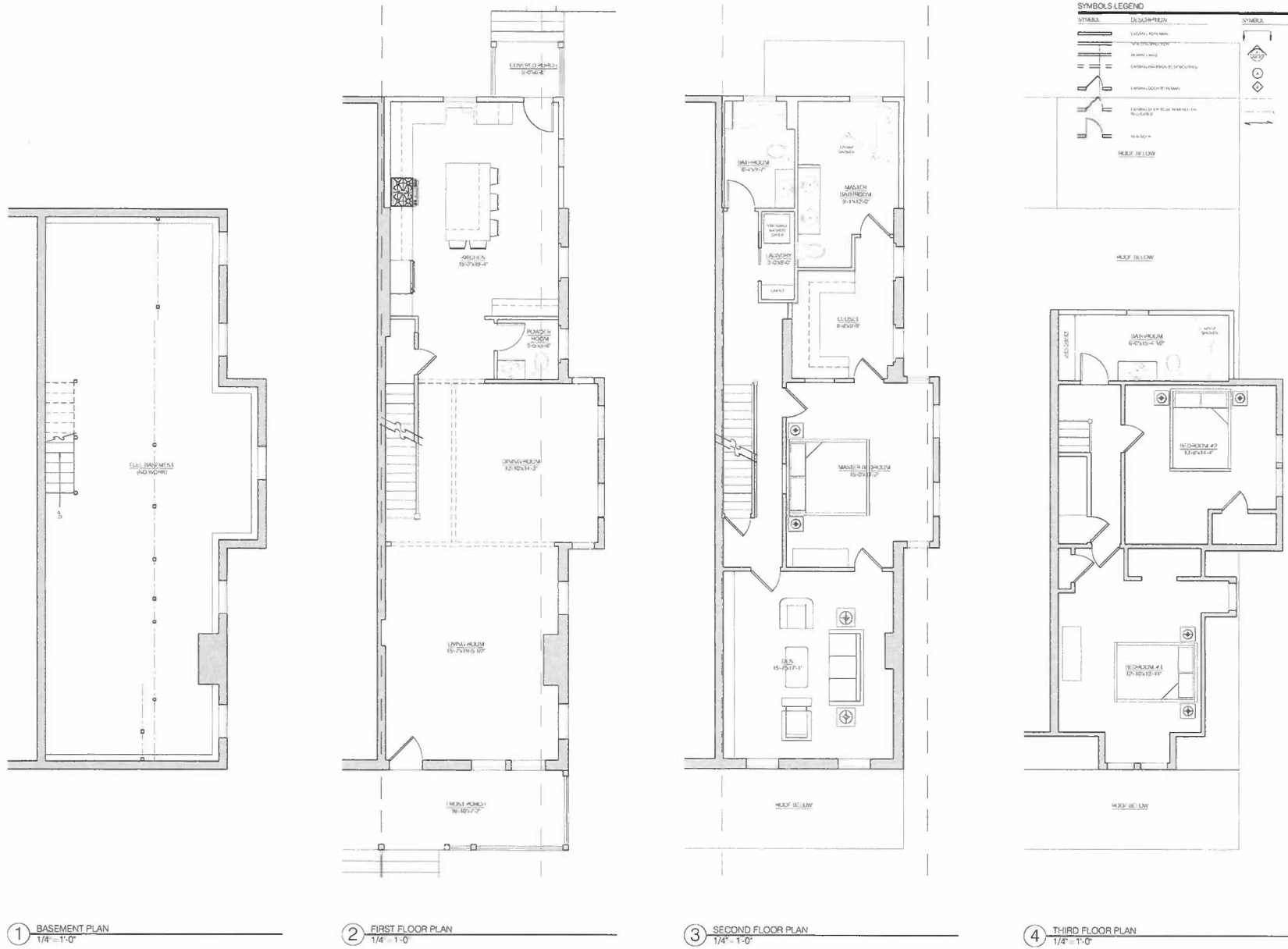
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PRELIMINARY ZONING REVIEW

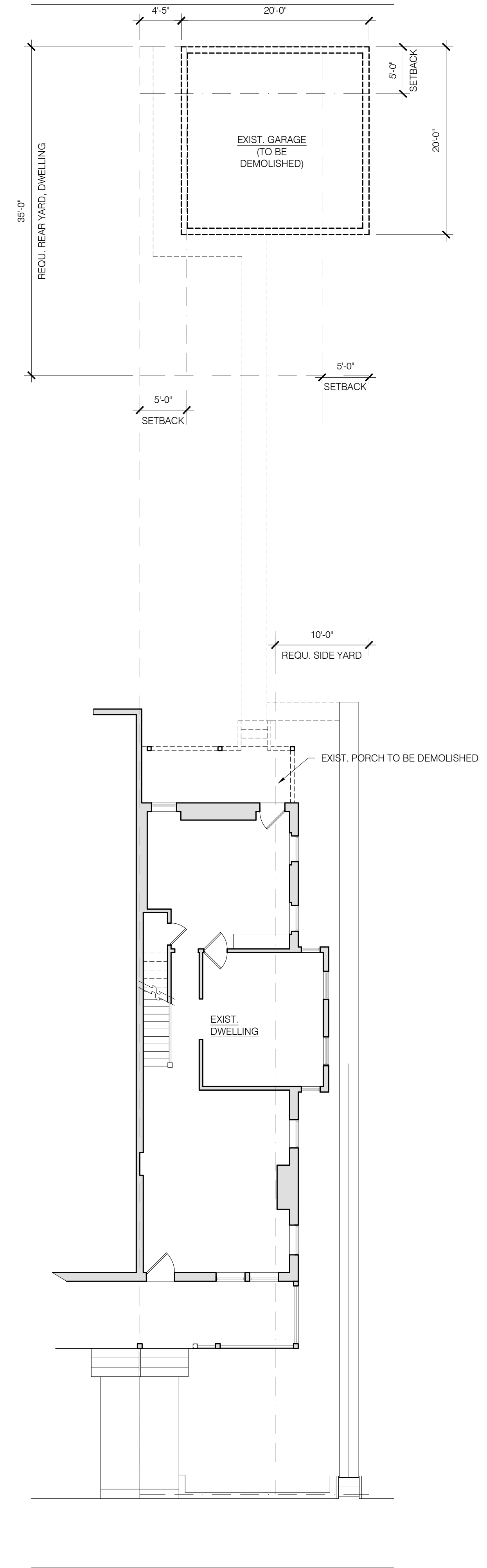
DWG. TITLE:
PLANS

DRAWN BY: BRP
ISSUE DATE:
MARCH 11, 2025
REV. 1: HOVE GARAGE
JUNE 3, 2025
REV. 2:
REV. 3:

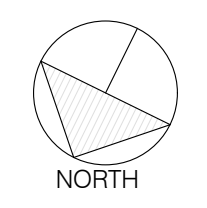
DWG. NO.:

SK-2

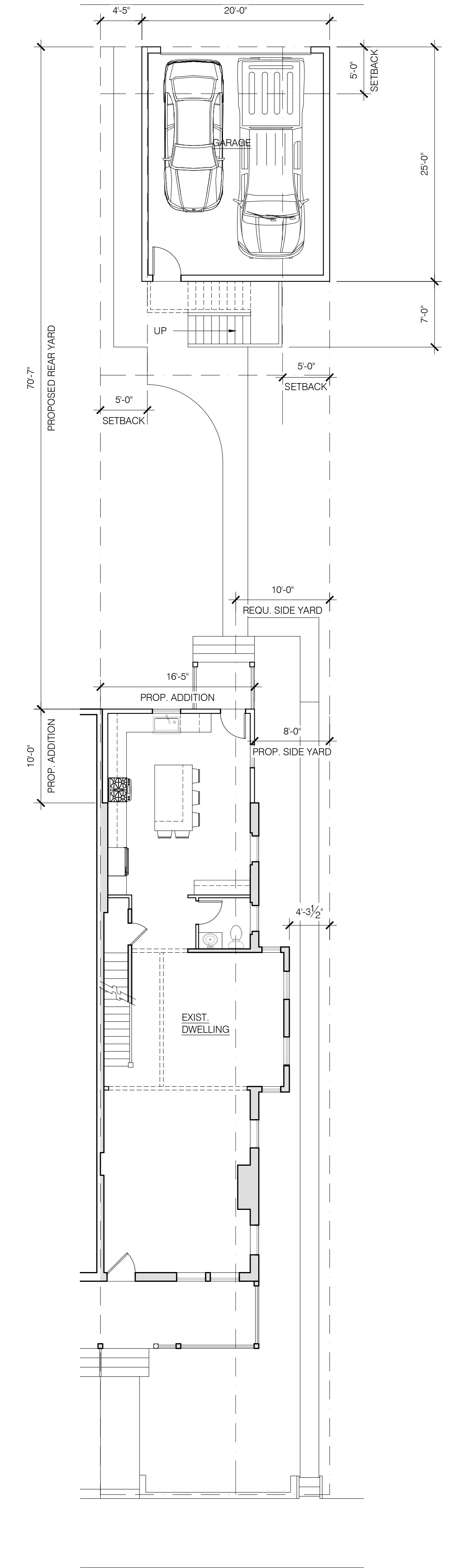
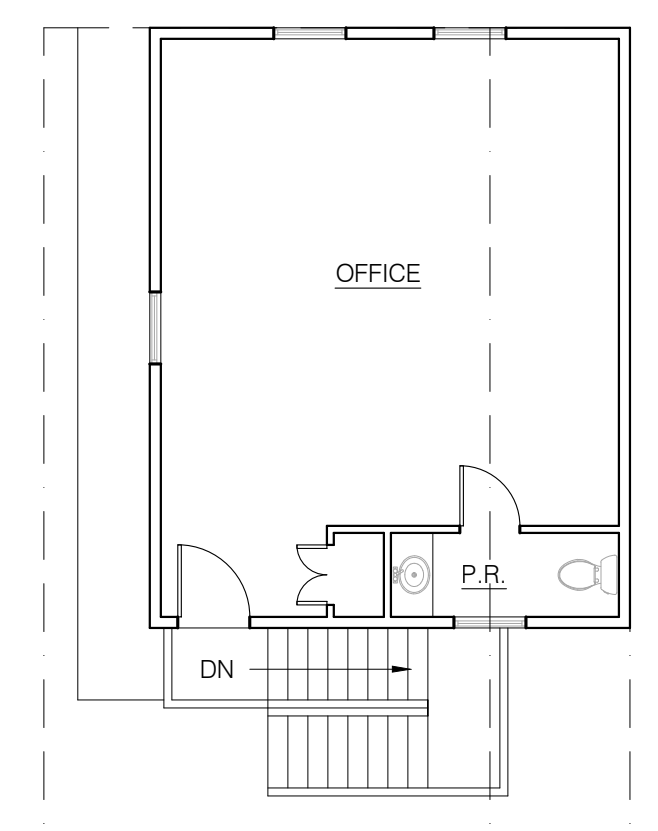




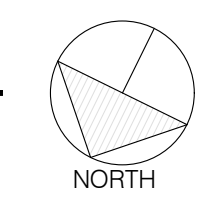
1 EXISTING SITE PLAN
1/8" = 1'-0"



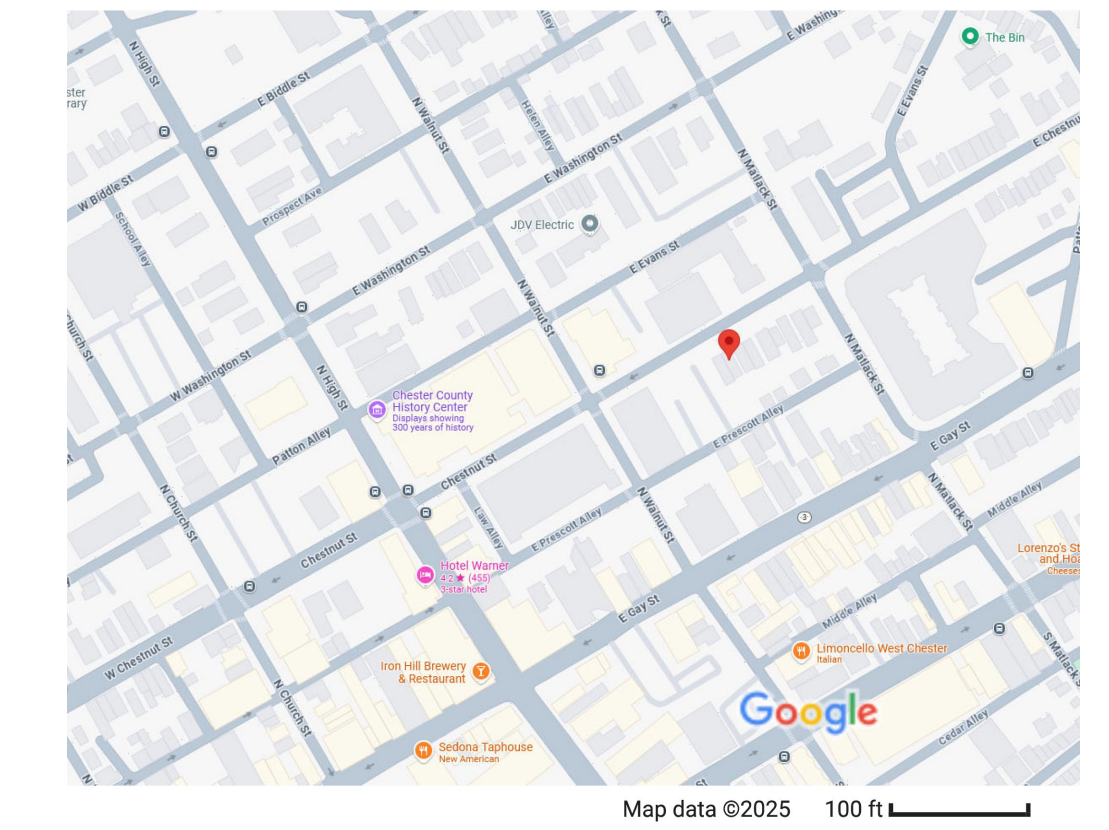
2 PROP. GARAGE SECOND FLOOR PLAN
1/8" = 1'-0"



3 PROPOSED SITE PLAN
1/8" = 1'-0"



LOCATION (N.T.S.)



ZONING NOTES

OWNER: DAVE KNOEBEL
34 MICHAEL LANE
WEST CHESTER, PA 19380

MAP#: 1-5-356
PARID#: 0105 03560000

ZONING CODE INFORMATION:
ZONING DISTRICT: NC-2

LOT AREA	REQUIRED MEDIAN VALUE OF LOTS ON BLOCK FACE	EXISTING 3767.5 S.F.	PROPOSED 3767.5 S.F.
LOT WIDTH, MIN.	30 FT.	24'-8"	24'-8"
BUILD-TO LINEFRONT YARD	MATCH EXISTING	NO CHANGE	NO CHANGE
SIDE YARD, MIN.	EX ADJACENT, 10 FT.	4'-3 1/2"	4'-3 1/2"
ACCESSORY SIDE YARD, MIN.	5 FT.	4'-5 10/16"	4'-5 10/16"
REAR YARD, MIN.	35 FT.	74'-7"	70'-7"
ACCESSORY REAR YARD MIN.	5 FT.	0'-0"	0'-0"
HEIGHT, MAX.	35 FT.	37'-7"	37'-7"
HEIGHT, ACCESSORY	NA	11'-10"	25'-0"
IMP. COVERAGE	80%	53.7%	65.3%
BUILDING COVERAGE	45%	40.6%	45.0%

EXISTING IMPERVIOUS COVERAGE CALCULATION

EXISTING BUILDINGS	1530.2 S.F.
EXIST. FRONT SIDEWALK & STEPS	67.3 S.F.
EXIST. SIDE WALK & WALL	192.2 S.F.
EXIST. REAR WALK & STEPS	232.1 S.F.
TOTAL	2021.8 S.F.

PROPOSED IMPERVIOUS COVERAGE CALCULATION

EXIST IMPERVIOUS	2021.8 S.F.
REAR WALK & STEPS (DEMO.)	-232.1 S.F.
EXIST GARAGE (DEMO)	-400.0 S.F.
PROPOSED GARAGE	500.0 S.F.
PROPOSED ADDITION	164.0 S.F.
PROP. REAR WALK & STEPS	405.8 S.F.
TOTAL	2459.5 S.F.

EXISTING BUILDING COVERAGE CALCULATION

EXISTING DWELLING	1130.2 S.F.
EXISTING GARAGE	400.0 S.F.
TOTAL	1530.2 S.F.

PROPOSED BUILDING COVERAGE CALCULATION

EXISTING DWELLING	1130.2 S.F.
EXIST. PORCH (DEMOLISH)	-87.5 S.F.
PROPOSED ADDITION	164.0 S.F.
PROPOSED GARAGE	500.0 S.F.
TOTAL	1696.7 S.F.

TOTAL PROPOSED ADDIT. IMPERVIOUS 437.7 S.F. (NO STORMWATER REQUI)

PROJECT:
ADDITIONS AND RENOVATIONS
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380

CLIENT:
DAVE KNOEBEL
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380
(484) 723-9233
dave_knoebel@outlook.com

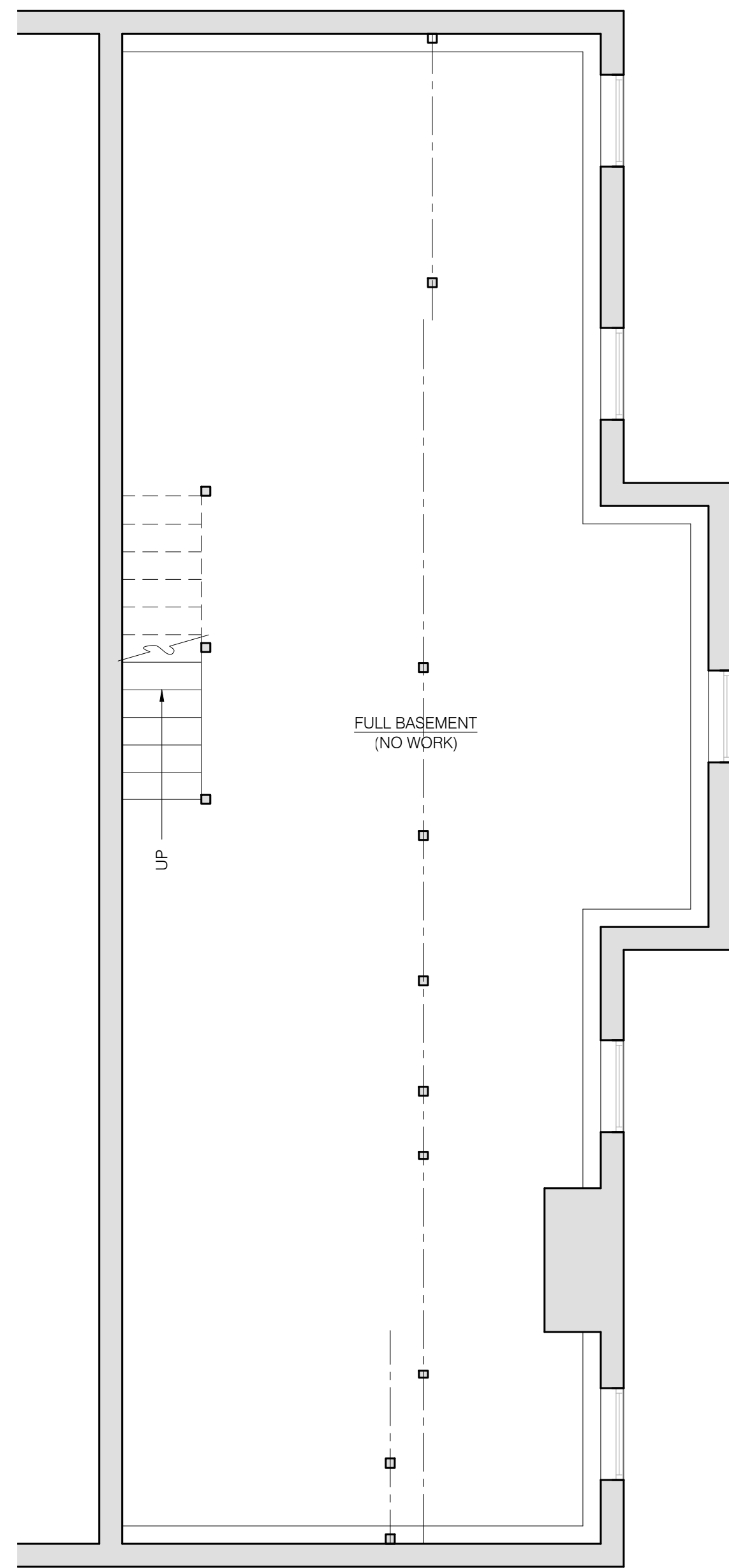
PHASE:
PRELIMINARY ZONING REVIEW

DWG. TITLE:
SITE PLAN

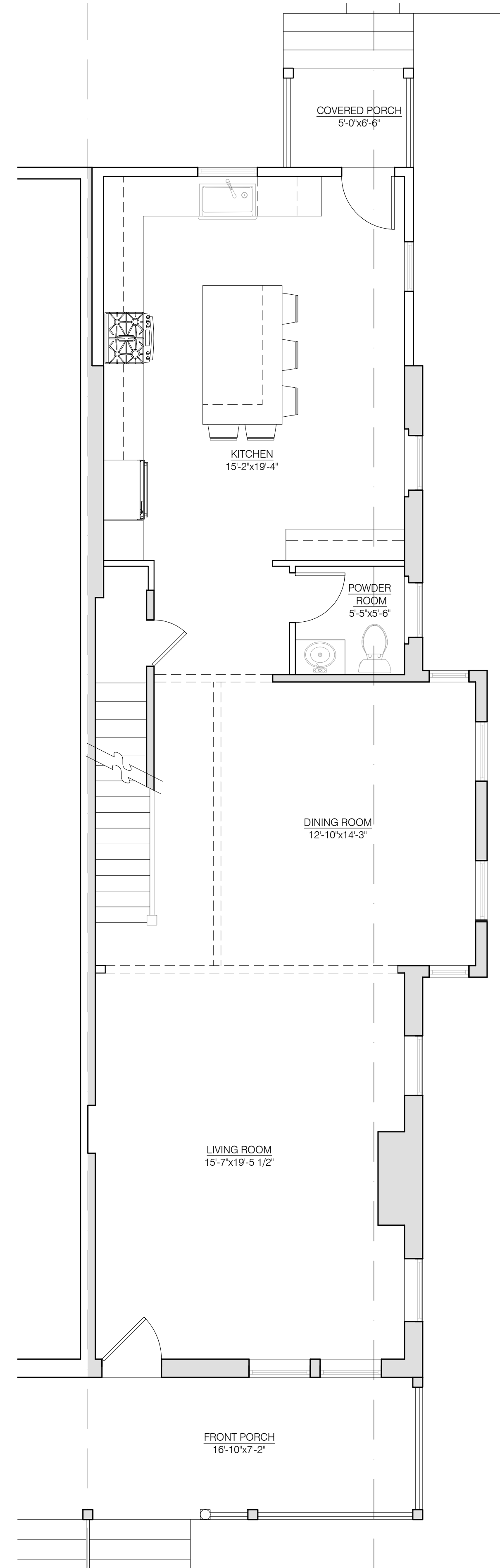
DRAWN BY: ERH
ISSUE DATE:
MARCH 11, 2025
REV. 1:
REV. 2:
REV. 3:

DWG. NO.:

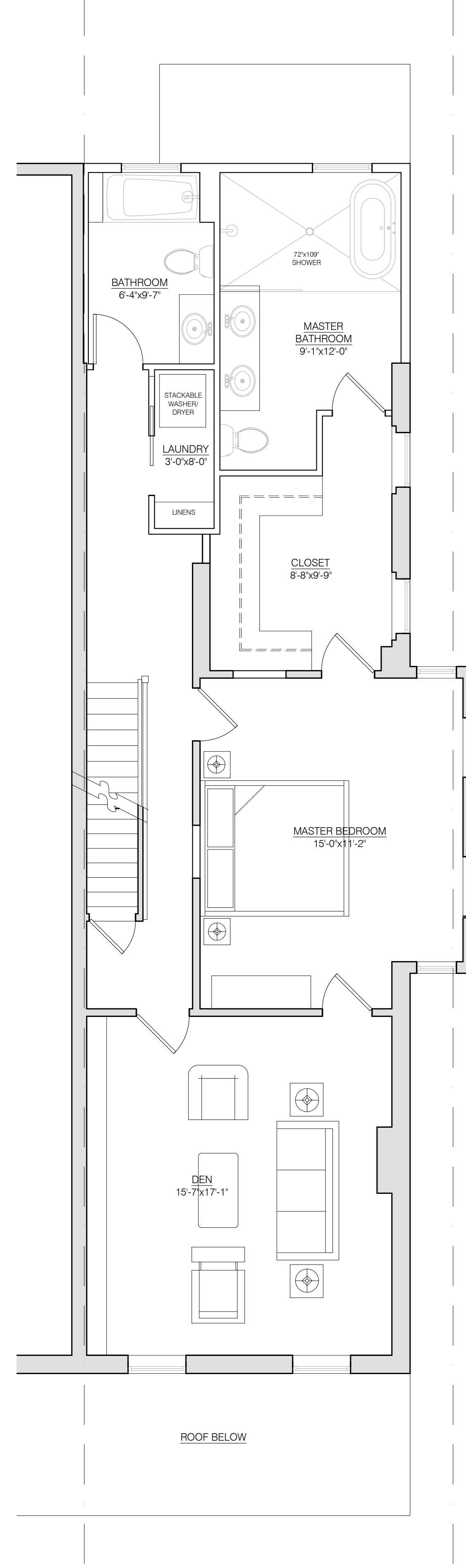
SK-1



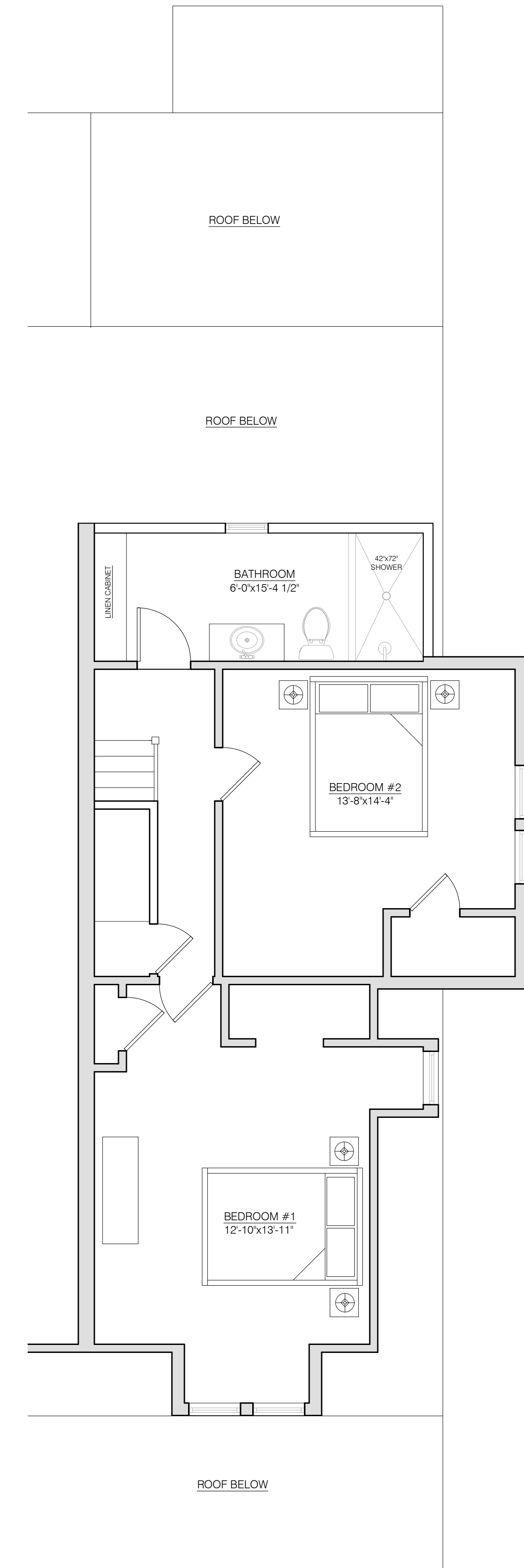
1 BASEMENT PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



3 SECOND FLOOR PLAN
1/4" = 1'-0"



4 THIRD FLOOR PLAN
1/4" = 1'-0"

PROJECT:
ADDITIONS AND RENOVATIONS
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380

CLIENT:
DAVE KNOEBEL
124 E. CHESTNUT ST.
WEST CHESTER, PA 19380
(484) 723-9233
dave_knoebel@outlook.com

PHASE:
PRELIMINARY ZONING REVIEW

DWG. TITLE:
PLANS

DRAWN BY: ERH
ISSUE DATE: MARCH 11, 2025
REV. 1:
REV. 2:
REV. 3:

DWG. NO.:

DATE APPLICATION RECEIVED: 09/15/2025

APPLICATION NUMBER: 2025-29

PROPERTY ADDRESS: 225 East Market St.

APPLICANT'S EMAIL: [REDACTED]

Note: All projects must have the appropriate sections completed in its entirety and attached to this form. *Only attach the applicable sections.* The application number will be assigned by the Building & Housing Department.

- 1) This application is for (check all appropriate boxes):
- Section #1 - Sign
 - Section #2 - Canopy or Awning
 - Section #3 - Repair, replacement or alteration from original
(please supply photos or elevations of original)
 - Section #4 - Addition
(supply architectural elevations and site drawings, as well as photos of the existing structure)
 - Section #5 - New Construction
(supply architectural elevations and site drawings, as well as photos of buildings next to and around the site)
 - Section #6 - Demolition
- 2) Please indicate which items you are submitting with your application form. Do not submit originals, since they will be kept by the HARB for its official archives:
- Color or B/W Sketches
 - Old or Historic Photographs
 - Plot or Site Plans
 - Architectural Elevations
 - Photographs of the current existing site showing where changes are to be made, location of buildings and streetscape.

All sketches, elevations, and plans must be signed by the preparer(s)

The owner of this property and the applicant agree to conform to all applicable findings of the Borough of West Chester Historical and Architectural Review Board.

Applicant's name (print): Maureen N. Helms 8-26-25

Applicant's Signature:

Maureen N. Helms

Date:

8-26-25

Owner's Name (print): Steven Seymour

Owner's Signature:

[Signature]

Date:

8-5-25

Note: Check with the Building and Housing office of the Borough of West Chester to see if you need a building permit as well as a Certificate of Appropriateness **before** you begin your project

DATE APPLICATION RECEIVED: 09/15/2025
APPLICATION NUMBER: 2025-29

SECTION #1 - SIGNS

(Attach a separate Section #1 for each of the signs you want to install)

Instructions: Provide color or black and white sketches of each sign and its message. Also show the proposed location and proportion to building façade. Attach photos of the streetscape and adjacent buildings.

Location of project: 225 East Market St.

Name of business: Wild Horse Salon

Applicant's name: Maureen W. Helms

Applicant's address: [REDACTED]

Applicant's phone number: [REDACTED] Applicant's email: [REDACTED]

Owner's name: Vanquard Real Estate Solutions LLC

Owner's address: [REDACTED]

Owner's telephone number: [REDACTED]

1) Are you replacing an existing sign? yes

2) How many signs do you wish to install? 1

3) On how many facades? 1 Front Side Back

4) Hanging Sign Building-mounted Other

5) Give a thorough description of sign: Round wooden sign 2' Round w/ stacked text and bracket above the door, roughly 9' from bottom to the ground

6) Is there new illumination? no Fixture Type? Bracket wooden
How will it be mounted? Bracket

7) Sign Dimensions: Height: 2' x Width: 2' x Depth: 9'

8) If a hanging sign, what is the height from the sidewalk to the bottom of the sign? 9'
(Borough Code requires 8'-0 minimum to bottom of sign)

9) How will this sign be mounted? Bracket
(please note: any attachment to a masonry façade must be done through the mortar joints, NOT into the masonry).

10) If a hanging sign, describe the hanging bracket: metal

11) If a hanging sign, is this an existing bracket: No

12) Colors: metal bracket wooden sign

13) Message: Wild Horse Salon

14) Lettering style: please note that the historic preference is for any "serif" type: print

Please be sure to attach sample of sign wording in chosen lettering style

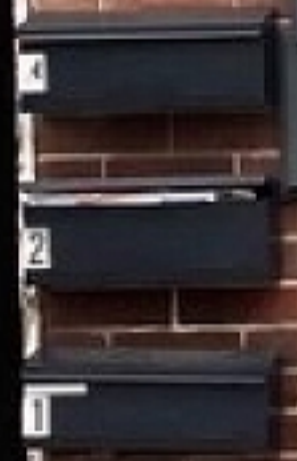
Design



in



225



Main Contacts Contractors Submittals Details Workflow Fees Conditions Inspections Other Requirements Notes

Current processing time is 1 day (In review 1 day)

Project Name: Add Note

Project Description:
This is a design change from sign approved under HARB application #2025-21

Permit Number:	COA-25-0019	Applicant:	Alonzo Adams
Initial Application Number:	REFERENCE-25-0897	Primary Contact:	Alonzo Adams ?
Permit Type:	CERTIFICATE OF APPROPRIATENESS- SIGNS	Primary Contractor:	Goshen Signs ?
Status:*	<input type="text" value="UNDER REVIEW"/>	Last Activity:	09/15/2025 08:17
Process State:	Technically Complete	Last Inspection Date:	
Parent Permit:	<input type="text"/>	Initiated:	<input type="text" value="09/13/2025"/> 📅
Assigned To:	User <input type="text"/>	Submitted:*	<input type="text" value="09/13/2025"/> 📅 🕒 Application is 3 days old
Fast Track:	<input type="checkbox"/>	Completed:	<input type="text" value="09/15/2025"/> 📅 ✅ 4 of 4 submittals received, 4 of 4 submittals accepted.
Applied for Online:	<input checked="" type="checkbox"/>	Approved:	<input type="text"/> 📅 🗨️ 0 of 3 (0%) steps approved.
		Ready:	<input type="text"/> 📅 ✅ \$0.00 paid (100%), \$0.00 due.
		Issued:	<input type="text"/> 📅
		Finalized:	<input type="text"/> 📅 ✅ No inspections.
		Closed:	<input type="text"/> 📅 ✅ \$0.00 deferred fees due.
		Expires:	<input type="text" value="03/14/2026"/> 📅 Exp Override: <input type="checkbox"/>


Site Address: 🔍 Verify Address and Coordinates

Site City: Latitude:

State: Site Zip: Longitude:

Contact

Contact Phone Numbers Email Addresses Details Secure Details Points of Contact Portal Accounts

 Replace Photo

Contractor: Active:

First Name: Middle Name: Last Name:

Display Name: ✎

Primary Phone: Primary Email:

Portal Access Code:

Mailing Address: Edit Address

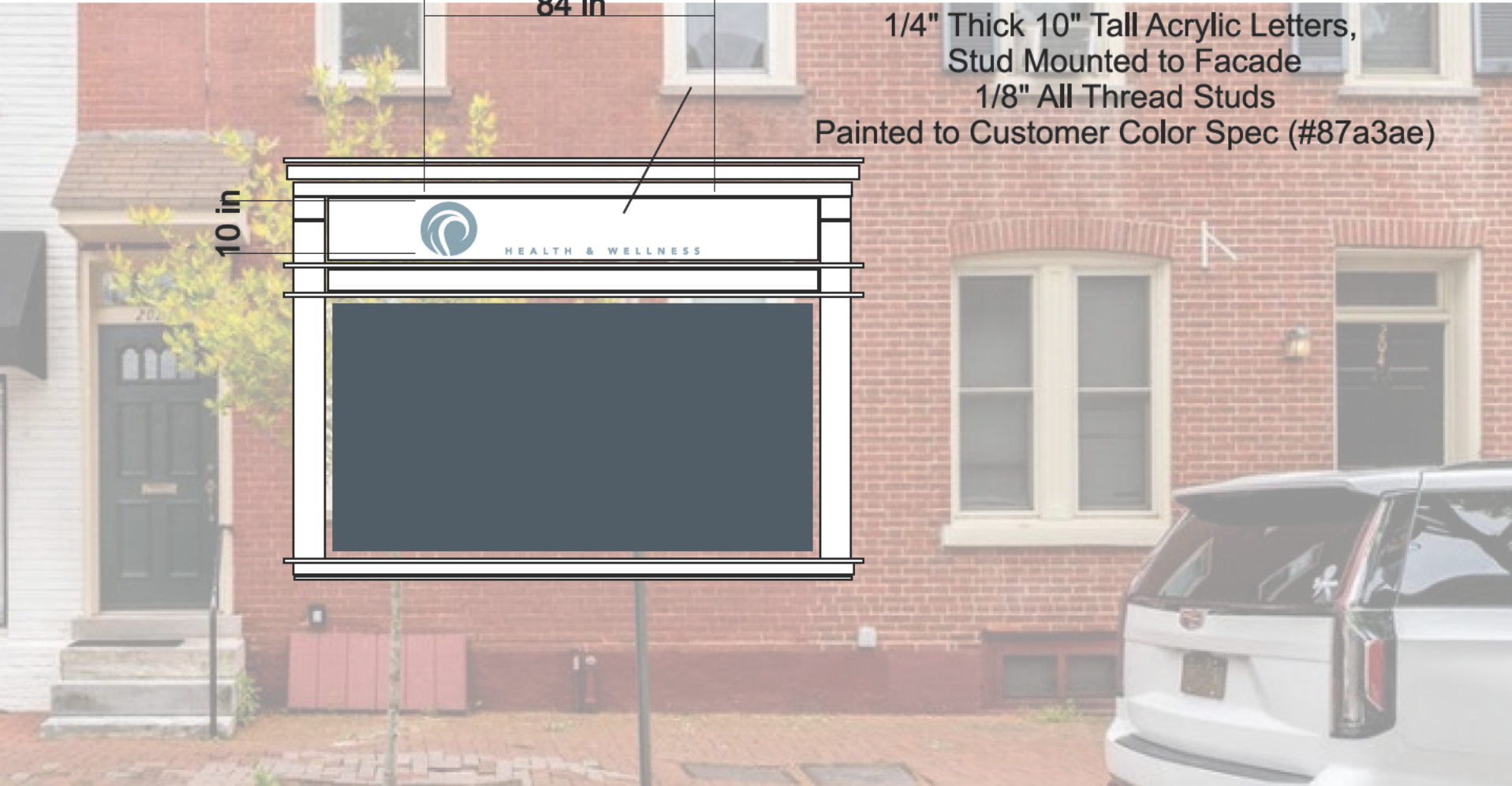
Physical Address: Edit Address Copy Mailing Address

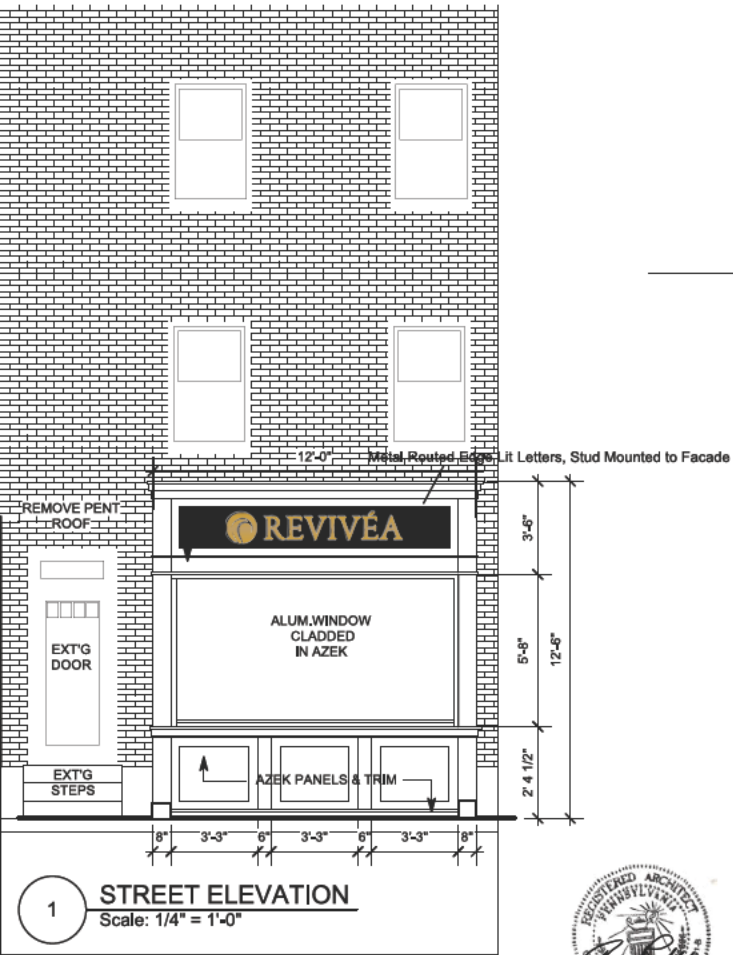
Save Reset Close Delete Audit Convert to Contractor Associations

Permit #: COA-25-0019	Status: UNDER REVIEW	Contact: Alonzo Adams	Site Address: 202 W GAY ST
Type: CERTIFICATE OF APPROPRIATENESS- SIGNS	Project Name: Halo Lit Sign	Contractor: Goshen Signs	WEST CHESTER, PA 19380

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Sign
LOCATION OF PROJECT:*	202 W. Gay Street
NAME OF BUSINESS:*	Revivea
ARE YOU REPLACING AN EXSISTING SIGN:*	No
HOW MANY SIGNS DO YOU WISH TO INSTALL:*	1
HOW MANY FACADES WILL SIGN DISPLAY ON:*	Front
HANGING SIGN:	No
BUILDING MOUNTED:	Yes
OTHER:	
IF OTHER PLEASE SPECIFY:	
GIVE A THOROUGH DESCRIPTION OF SIGN:	Metal Gold
IS THERE NEW ILLUMINATION:	Yes
FIXTURE TEXT:	Revivea
SIGN DIMENSION HEIGHT:	10
SIGN DIMENSION WIDTH:	84
SIGN DIMENSION DEPTH:	

ORIGINAL SUBMISSION #2025-21



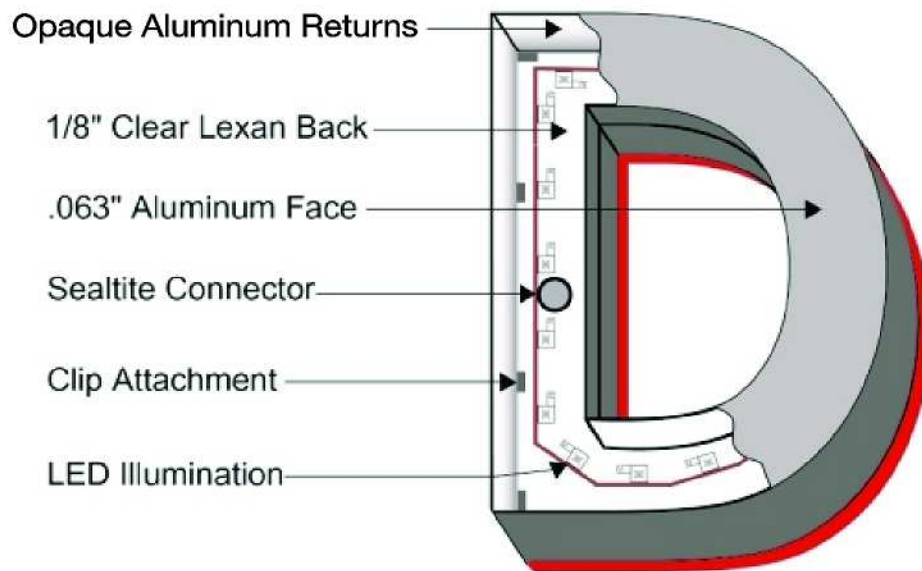


SK1 HARB 06 13 25

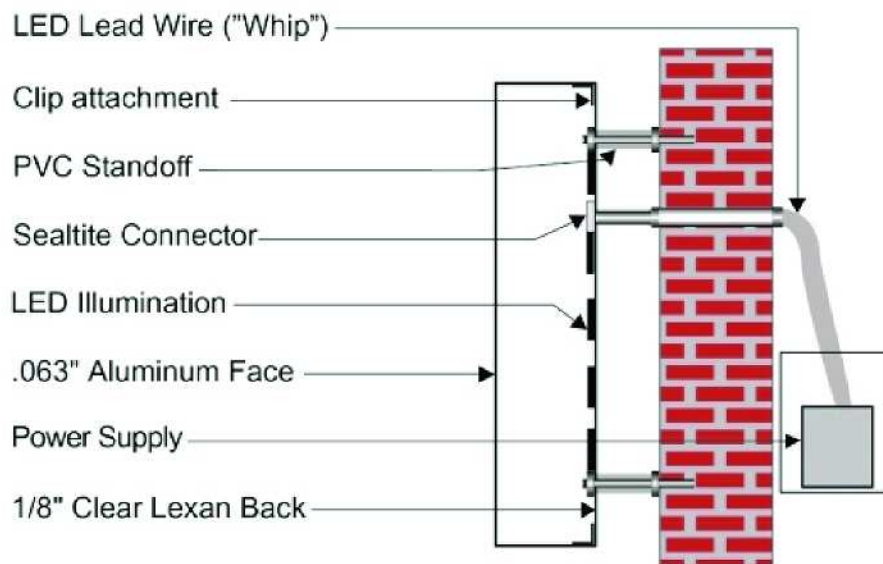


Reverse Lit Channel Letter Diagram

Spacer Mounted Halo lit channel letters



FRONT VIEW



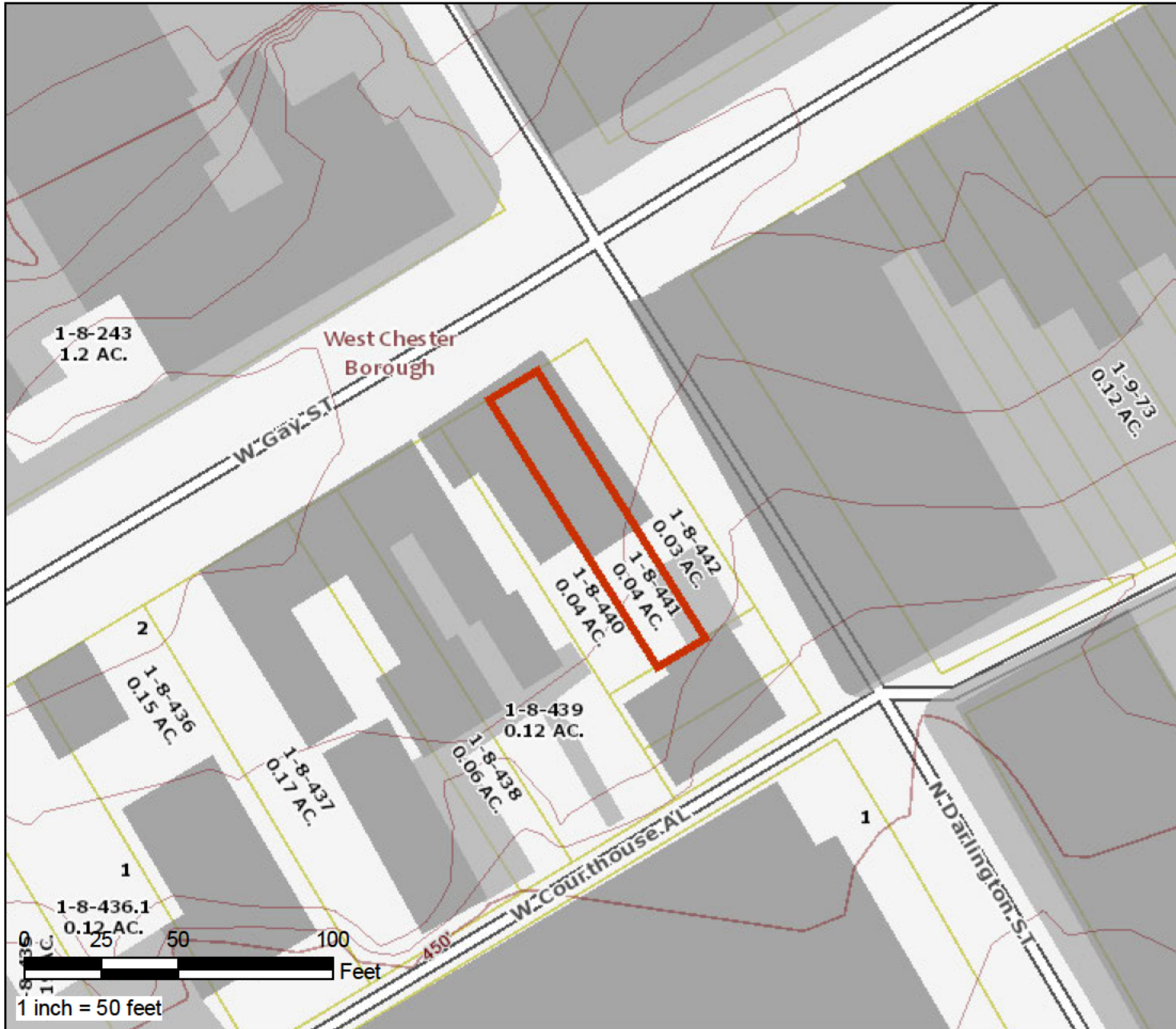
SIDE VIEW



202



202 Site/Grade



COUNTY OF CHESTER
PENNSYLVANIA



Find Address Information

PARID: 0108 044 10000
 UPI: 1-8-441
 Owner1: UPTOWN VENTURE GROUP LLC
 Owner2:
 Mail Address 1: 18 WILSON AVE
 Mail Address 2: WEST CHESTER PA
 Mail Address 3:
 ZIP Code: 19382
 Deed Book: 11087
 Deed Page: 890
 Deed Recorded Date: 07/28/2023
 Legal Desc 1: SS OF W GAY ST
 Legal Desc 2: LOT & APTS
 Acres: 0.0375
 LUC: R-20
 Lot Assessment: 30710
 Property Assessment: 47820
 Total Assessment: 78530
 Assessment Date: 12/15/2023 7:39:35 AM
 Property Address: 202 W GAY ST
 Municipality: WEST CHESTER
 School District: West Chester Area

Map Created:
 Tuesday, March 19, 2024



County of Chester

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 County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at www.chesco.org/gis.

Main Contacts Contractors Submittals Details Workflow Fees Conditions Inspections Other Requirements Notes

Application not yet complete

Project Name: Add Note

Project Description:

Permit Number: COA-25-0020 Applicant: Piotrowski, Victoria

Initial Application Number: REFERENCE-25-0906 Primary Contact: Piotrowski, Victoria

Permit Type: CERTIFICATE OF APPROPRIATENESS- SIGNS Primary Contractor:

Status: **COMPLETENESS REVIEW** Last Activity: 09/15/2025 15:13

Process State: Pending Last Inspection Date:

Parent Permit:

Assigned To: User

Fast Track:

Applied for Online:

Initiated: 09/15/2025

Submitted: 09/15/2025 Application is 1 day old

Completed: 4 of 4 submittals received, 3 of 4 submittals accepted.

Approved: 0 of 3 (0%) steps approved.

Ready: \$0.00 paid (100%), \$0.00 due.

Issued:

Finalized: No inspections.

Closed: \$0.00 deferred fees due.

Expires: 03/14/2026 Exp Override:

Site Address

Site Address: Verify Address and Coordinates

Site City: Latitude:

State: Site Zip: Longitude:

Contact

Contact Phone Numbers Email Addresses Details Secure Details Points of Contact Portal Accounts

Contractor: No Active:

First Name: Middle Name: Last Name:

Display Name: ✎

Primary Phone:

Portal Access Code:

Replace Photo

Mailing Address: Edit Address

Physical Address: Edit Address Copy Mailing Address

Save Reset Close Delete Audit Convert to Contractor Associations

Permit #: COA-25-0020	Status: COMPLETENESS REVIEW	Contact: Piotrowski, Victoria	Site Address: 16 S CHURCH ST
Type: CERTIFICATE OF APPROPRIATENESS- SIGNS	Project Name: Vera Studios	Contractor:	WEST CHESTER, PA 19382

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Sign
LOCATION OF PROJECT:*	16 S Church St
NAME OF BUSINESS:*	Vera Studios
ARE YOU REPLACING AN EXSISTING SIGN:*	Yes
HOW MANY SIGNS DO YOU WISH TO INSTALL:*	1
HOW MANY FACADES WILL SIGN DISPLAY ON:*	Front
HANGING SIGN:	Yes
BUILDING MOUNTED:	Yes
OTHER:	No
IF OTHER PLEASE SPECIFY:	
GIVE A THOROUGH DESCRIPTION OF SIGN:	Rectangular black sign with elegant white let
IS THERE NEW ILLUMINATION:	No
FIXTURE TEXT:	Vera Studios
SIGN DIMENSION HEIGHT:	20
SIGN DIMENSION WIDTH:	36
SIGN DIMENSION DEPTH:	1

VERA

STUDIOS



MERRY BRIGHTE
ENGLAIS - SPRAY TAN
WAXING SKINCARE
PIZZAS MASSAGE THERAPY

Remedi Skincare Studio Here! open daily 11:00 - 4:00

16

14



16 S Church St



© 2024 Google

© 2024 Google



© 2024 Google

tea by hesty
WELLNESS & SPA

Jaffa
DAY SPA





time by kristy

Chillax
DAY SPA

SOLUNA
MASSAGE SPA
OPEN NOW

DATE APPLICATION RECEIVED: 09/15/2025

APPLICATION NUMBER: 2025-29

PROPERTY ADDRESS: 225 East Market St.

APPLICANT'S EMAIL: [REDACTED]

Note: All projects must have the appropriate sections completed in its entirety and attached to this form. *Only attach the applicable sections.* The application number will be assigned by the Building & Housing Department.

- 1) This application is for (check all appropriate boxes):
- Section #1 - Sign
 - Section #2 - Canopy or Awning
 - Section #3 - Repair, replacement or alteration from original
(please supply photos or elevations of original)
 - Section #4 - Addition
(supply architectural elevations and site drawings, as well as photos of the existing structure)
 - Section #5 - New Construction
(supply architectural elevations and site drawings, as well as photos of buildings next to and around the site)
 - Section #6 - Demolition
- 2) Please indicate which items you are submitting with your application form. Do not submit originals, since they will be kept by the HARB for its official archives:
- Color or B/W Sketches
 - Old or Historic Photographs
 - Plot or Site Plans
 - Architectural Elevations
 - Photographs of the current existing site showing where changes are to be made, location of buildings and streetscape.

All sketches, elevations, and plans must be signed by the preparer(s)

The owner of this property and the applicant agree to conform to all applicable findings of the Borough of West Chester Historical and Architectural Review Board.

Applicant's name (print): Maureen N. Helms 8-26-25

Applicant's Signature: Maureen N. Helms Date: 8-26-25

Owner's Name (print): Steven Seymour

Owner's Signature: [Signature] Date: 8-5-25

Note: Check with the Building and Housing office of the Borough of West Chester to see if you need a building permit as well as a Certificate of Appropriateness **before** you begin your project

DATE APPLICATION RECEIVED: 09/15/2025
APPLICATION NUMBER: 2025-29

SECTION #1 - SIGNS

(Attach a separate Section #1 for each of the signs you want to install)

Instructions: Provide color or black and white sketches of each sign and its message. Also show the proposed location and proportion to building façade. Attach photos of the streetscape and adjacent buildings.

Location of project: 225 East Market St.

Name of business: Wild Horse Salon

Applicant's name: Maureen W. Helms

Applicant's address: [REDACTED]

Applicant's phone number: [REDACTED] Applicant's email: [REDACTED]

Owner's name: Vanavard Real Estate Solutions LLC

Owner's address: [REDACTED]

Owner's telephone number: [REDACTED]

1) Are you replacing an existing sign? yes

2) How many signs do you wish to install? 1

3) On how many facades? 1 Front Side Back

4) Hanging Sign Building-mounted Other

5) Give a thorough description of sign: Round wooden sign 2' Round w/ stacked text and bracket above the door, roughly 9' from bottom to the ground

6) Is there new illumination? Fixture Type? Bracket wooden
How will it be mounted? Bracket

7) Sign Dimensions: Height: 2' x Width: 2' x Depth: _____

8) If a hanging sign, what is the height from the sidewalk to the bottom of the sign? 9'
(Borough Code requires 8'-0 minimum to bottom of sign)

9) How will this sign be mounted? Bracket
(please note: any attachment to a masonry façade must be done through the mortar joints, NOT into the masonry).

10) If a hanging sign, describe the hanging bracket: metal

11) If a hanging sign, is this an existing bracket: No

12) Colors: metal bracket wooden sign

13) Message: Wild Horse Salon

14) Lettering style: please note that the historic preference is for any "serif" type: print

Please be sure to attach sample of sign wording in chosen lettering style

Application Numbers: [2025-29](#)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 225 E. Market Street

1) **Date of HARB Review:** *September 25, 2025*

2) **Applicant's Proposal:** *Sign*

3) **Findings:**

The applicant, Maureen Helms, was present and described the proposed sign as follows:

- *Provide a new round projecting, 24-inch diameter double-sided, hanging sign above the building's front entrance. The sign will hang from a new bracket mounted on the storefront frieze panel.*
- *The sign will be made of wood, and the traditional style bracket will be metal.*
- *Sign field color will be off-white with black lettering.*
- *The message on all the sign is "Wild Horse Salon."*

The HARB reviewed the application as follows:

- *The application showed the location of the sign mounting bracket to be in the center of a frieze panel above the door.*
- *The HARB suggested the bracket should instead be mounted on one of the vertical stiles framing the frieze panels.*
- *The applicant concurred and the group decided the best location was at the far right side of the storefront frieze, adjacent to the entrance door.*

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-29 as submitted, with the following clarifications:

1. *The bracket for the hanging sign shall be mounted on the far right side vertical stile that frames the storefront frieze panel.*
2. *The bottom of the sign shall be at least 8-feet above the sidewalk.*
3. *The sign's field color shall be off-white and the text black.*

Application Numbers: 2025-29

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 225 E. Market Street

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

.....

Date of Action Taken: _____, 2025

Borough Manager's Signature:

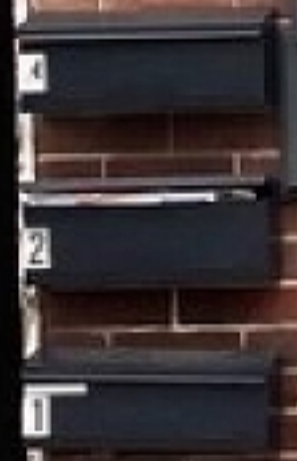
2412



2412



225



Main Contacts Contractors Submittals Details Workflow Fees Conditions Inspections Other Requirements Notes

Current processing time is 1 day (In review 1 day)

Project Name: Add Note

Project Description:
This is a design change from sign approved under HARB application #2025-21

Permit Number:	COA-25-0019	Applicant:	Alonzo Adams
Initial Application Number:	REFERENCE-25-0897	Primary Contact:	Alonzo Adams ?
Permit Type:	CERTIFICATE OF APPROPRIATENESS- SIGNS	Primary Contractor:	Goshen Signs ?
Status:*	UNDER REVIEW ▼	Last Activity:	09/15/2025 08:17
Process State:	Technically Complete	Last Inspection Date:	
Parent Permit:	<input type="text"/>	Initiated:	09/13/2025 📅
Assigned To:	User ▼ <input type="text"/>	Submitted:*	09/13/2025 📅 🕒 Application is 3 days old
Fast Track:	<input type="checkbox"/>	Completed:	09/15/2025 📅 ✅ 4 of 4 submittals received, 4 of 4 submittals accepted.
Applied for Online:	<input checked="" type="checkbox"/>	Approved:	<input type="text"/> 📅 🗨️ 0 of 3 (0%) steps approved.
		Ready:	<input type="text"/> 📅 ✅ \$0.00 paid (100%), \$0.00 due.
		Issued:	<input type="text"/> 📅
		Finalized:	<input type="text"/> 📅 ✅ No inspections.
		Closed:	<input type="text"/> 📅 ✅ \$0.00 deferred fees due.
		Expires:	03/14/2026 📅 Exp Override: <input type="checkbox"/>

Site Address: 📍 Verify Address and Coordinates

Site City: Latitude:

State: Site Zip: Longitude:

Contact

Contractor: No Active:

First Name: Middle Name: Last Name:

Display Name: 📍

Primary Phone: Primary Email:

















Portal Access Code:

Mailing Address: Edit Address

Physical Address: Edit Address Copy Mailing Address

Save Reset Close Delete Audit Convert to Contractor Associations

Permit #: COA-25-0019 Status: UNDER REVIEW Contact: Alonzo Adams Site Address: 202 W GAY ST
Type: CERTIFICATE OF APPROPRIATENESS- SIGNS Project Name: Halo Lit Sign Contractor: Goshen Signs WEST CHESTER, PA 19380

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Sign 
LOCATION OF PROJECT:*	202 W. Gay Street 
NAME OF BUSINESS:*	Revivea 
ARE YOU REPLACING AN EXSISTING SIGN:*	No 
HOW MANY SIGNS DO YOU WISH TO INSTALL:*	1 
HOW MANY FACADES WILL SIGN DISPLAY ON:*	Front 
HANGING SIGN:	No 
BUILDING MOUNTED:	Yes 
OTHER:	
IF OTHER PLEASE SPECIFY:	
GIVE A THOROUGH DESCRIPTION OF SIGN:	Metal Gold 
IS THERE NEW ILLUMINATION:	Yes 
FIXTURE TEXT:	Revivea 
SIGN DIMENSION HEIGHT:	10 
SIGN DIMENSION WIDTH:	84 
SIGN DIMENSION DEPTH:	

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 202 W. Gay Street

1) **Date of HARB Review:** September 26, 2025

2) **Applicant's Proposal:** Revised Sign Design

3) **Findings:**

Note: A sign application for this property was previously reviewed by the HARB on June 26, 2025, under the Application Number 2025-21, which included storefront renovations and a new sign. At that time, the applicant proposed a non-illuminated sign, for which the HARB recommended approval of a COA for the storefront and non-illuminated sign. Since that time, the applicant has revised the sign design to be an illuminated sign using backlit individual letters. The new sign was reviewed by the HARB as a new Application, Number 2025-30, as described herein.

The applicant, Alonzo Adams of the Uptown Venture Group, was in attendance and presented the revised sign design as follows:

- *The new sign is to be individual opaque aluminum letters with a clear lexan back face.*
- *Letters will be offset, pin-mounted to the new Azek frieze panel above the new storefront window.*
- *Concealed lighting will be installed inside the letters to illuminate through the clear rear lexan panels, providing a halo glow round the letters.*
- *The message of the sign is “REVIVEA – Health and Wellness”*

The HARB reviewed the application in detail and made the following comments:

- *The HARB commented that the sign's graphic design was very similar to the original approved sign.*
- *The addition of the backlit halo lighting is permitted in the HARB district.*
- *Mr. Adams clarified that although Detail SK4 incorrectly indicates the letters will be “edge lit”, the sign letter detail sheet in the application correctly shows the sign to be a “backlit” design.*
- *The sign was deemed appropriate*

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-30 as submitted, with the following clarifications:

1. *Although Detail SK4 incorrectly indicates the letters will be “edge lit”, the sign letter detail sheet in the application correctly shows the sign to be a “backlit” design.*
2. *All electrical connections and conduit shall be concealed from view.*

Application Numbers: [2025-30](#)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 202 W. Gay Street

5) Borough Council's Action and Date

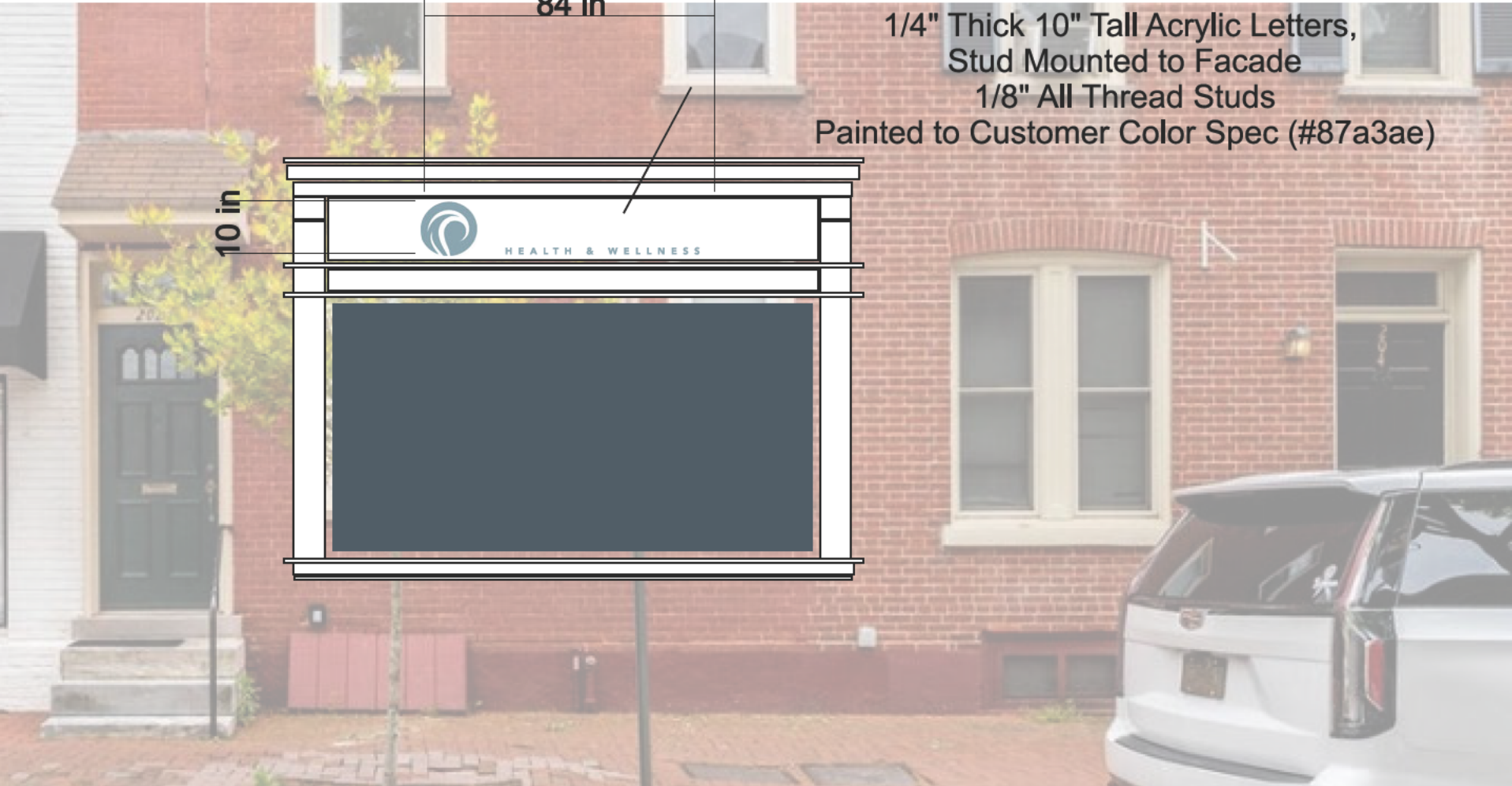
- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

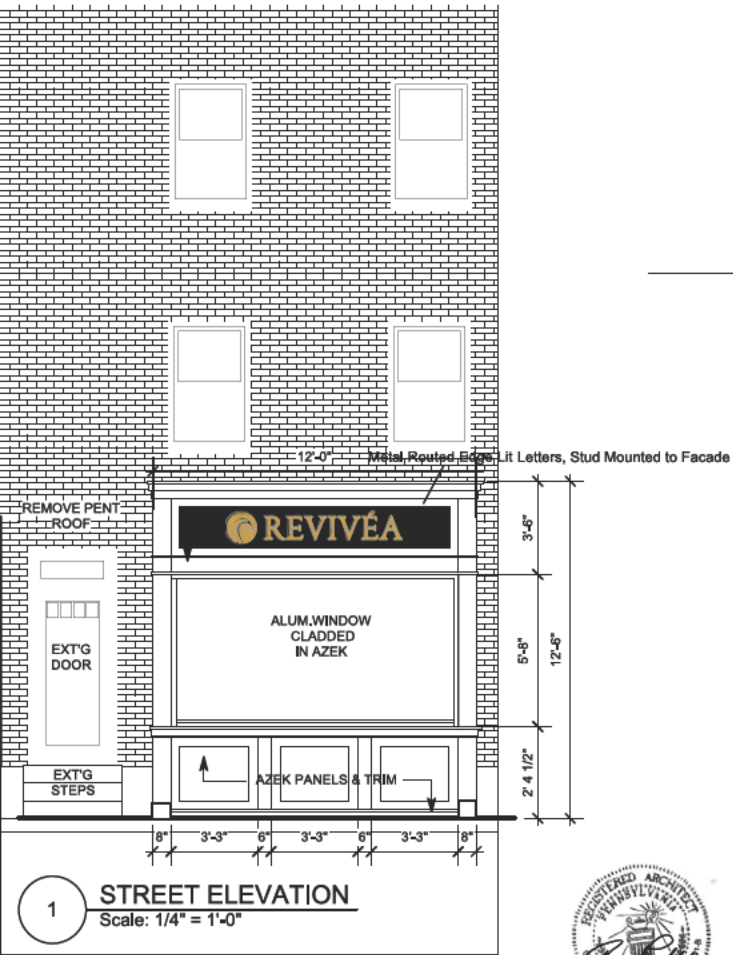
.....

Date of Action Taken: _____, 2025

Borough Manager's Signature:

ORIGINAL SUBMISSION #2025-21





SK1 HARB 06 13 25

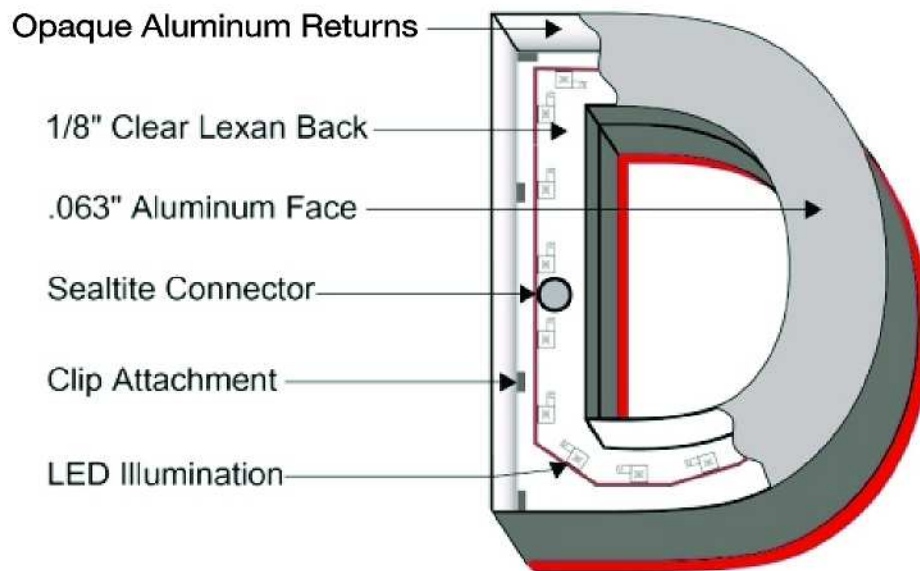


SK4 HARB 06 13 25

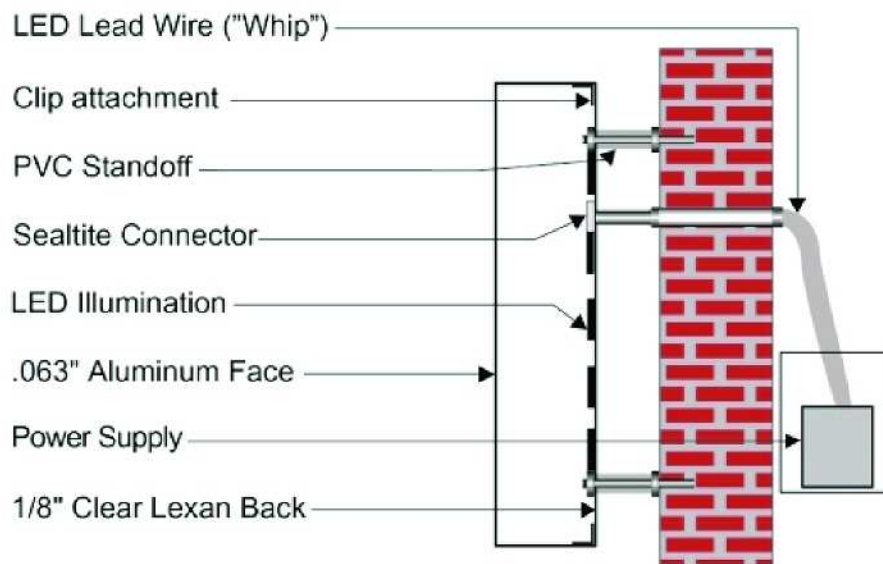


Reverse Lit Channel Letter Diagram

Spacer Mounted Halo lit channel letters



FRONT VIEW



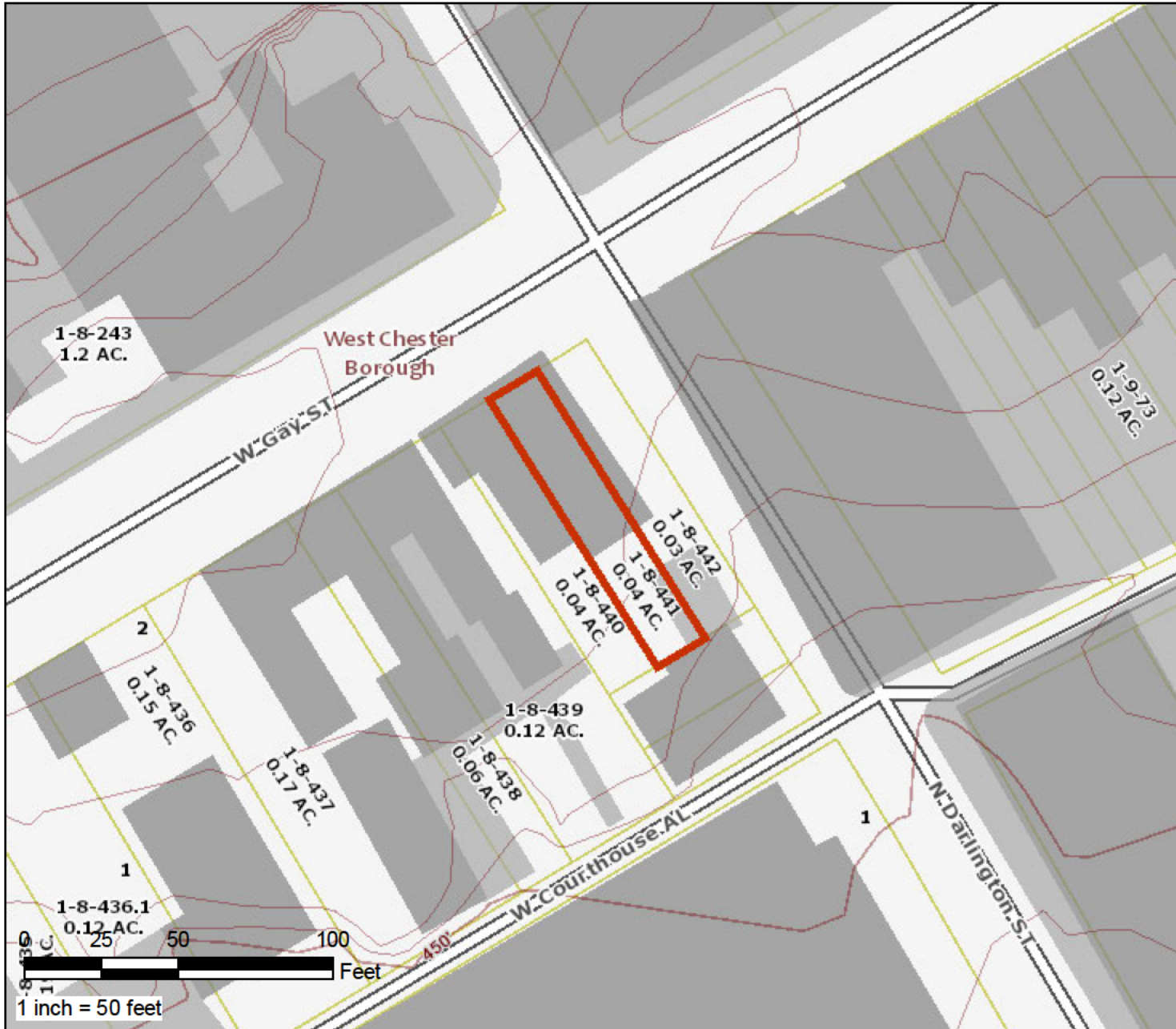
SIDE VIEW



202



202 Site/Grade



COUNTY OF CHESTER
PENNSYLVANIA



Find Address Information

PARID: 0108 044 10000
 UPI: 1-8-441
 Owner1: UPTOWN VENTURE GROUP LLC
 Owner2:
 Mail Address 1: 18 WILSON AVE
 Mail Address 2: WEST CHESTER PA
 Mail Address 3:
 ZIP Code: 19382
 Deed Book: 11087
 Deed Page: 890
 Deed Recorded Date: 07/28/2023
 Legal Desc 1: SS OF W GAY ST
 Legal Desc 2: LOT & APTS
 Acres: 0.0375
 LUC: R-20
 Lot Assessment: 30710
 Property Assessment: 47820
 Total Assessment: 78530
 Assessment Date: 12/15/2023 7:39:35 AM
 Property Address: 202 W GAY ST
 Municipality: WEST CHESTER
 School District: West Chester Area

Map Created:
 Tuesday, March 19, 2024



County of Chester

Limitations of Liability and Use:
 County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at www.chesco.org/gis.

Main Contacts Contractors Submittals Details Workflow Fees Conditions Inspections Other Requirements Notes

Application not yet complete

Project Name: Add Note

Project Description:

Permit Number: COA-25-0020 Applicant: Piotrowski, Victoria

Initial Application Number: REFERENCE-25-0906 Primary Contact: Piotrowski, Victoria

Permit Type: CERTIFICATE OF APPROPRIATENESS- SIGNS Primary Contractor:

Status: **COMPLETENESS REVIEW** Last Activity: 09/15/2025 15:13

Process State: Pending Last Inspection Date:

Parent Permit:

Assigned To: User

Fast Track:

Applied for Online:

Initiated: 09/15/2025 Application is 1 day old

Submitted: 09/15/2025 4 of 4 submittals received, 3 of 4 submittals accepted.

Completed: 0 of 3 (0%) steps approved.

Approved: \$0.00 paid (100%), \$0.00 due.

Ready: No inspections.

Issued: \$0.00 deferred fees due.

Finalized:

Closed:

Expires: 03/14/2026 Exp Override:

Site Address

Site Address: Verify Address and Coordinates

Site City: Latitude:

State: Site Zip: Longitude:

Contact

Contact Phone Numbers Email Addresses Details Secure Details Points of Contact Portal Accounts

Contractor: No Active:

First Name: Middle Name: Last Name:

Display Name: Replace Photo

Primary Phone:

Portal Access Code:

Mailing Address:

Physical Address:

Edit Address Copy Mailing Address

Save Reset Close Delete Audit Convert to Contractor Associations

Permit #: COA-25-0020	Status: COMPLETENESS REVIEW	Contact: Piotrowski, Victoria	Site Address: 16 S CHURCH ST
Type: CERTIFICATE OF APPROPRIATENESS- SIGNS	Project Name: Vera Studios	Contractor:	WEST CHESTER, PA 19382

Name	Value
REASON FOR APPROPRIATENESS APPLICATION:*	Sign
LOCATION OF PROJECT:*	16 S Church St
NAME OF BUSINESS:*	Vera Studios
ARE YOU REPLACING AN EXSISTING SIGN:*	Yes
HOW MANY SIGNS DO YOU WISH TO INSTALL:*	1
HOW MANY FACADES WILL SIGN DISPLAY ON:*	Front
HANGING SIGN:	Yes
BUILDING MOUNTED:	Yes
OTHER:	No
IF OTHER PLEASE SPECIFY:	
GIVE A THOROUGH DESCRIPTION OF SIGN:	Rectangular black sign with elegant white let
IS THERE NEW ILLUMINATION:	No
FIXTURE TEXT:	Vera Studios
SIGN DIMENSION HEIGHT:	20
SIGN DIMENSION WIDTH:	36
SIGN DIMENSION DEPTH:	1

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 16 S. Church Street

1) **Date of HARB Review:** *September 25, 2025*

2) **Applicant's Proposal:** *Sign*

3) **Findings:**

The applicant, Victoria Pietrowski, was present and described the proposed sign as follows:

- *A new projecting rectangular, 36"W x 20"H, double-sided, hanging sign at the building's front entrance.*
- *The sign will hang from an existing painted decorative wrought iron bracket mounted to the existing exterior brick wall. Two existing stacked hanging signs shall be removed.*
- *The new sign will be a metal panel with a graphic vinyl sign applique.*
- *Sign field color will be black or charcoal with white lettering.*
- *The message on all the sign is "VERA - studios."*

The HARB reviewed the application as follows:

- *In addition to the original application sign design with a charcoal field, at the meeting the applicant provided multiple sign graphic design options for review.*
- *Since the sign will be a printed as a vinyl applique, the graphic design is quite flexible.*
- *The HARB reviewed the assorted options and selected the original application design featuring: a subtly textured charcoal field, with white lettering that includes a 3D shadow line at the bottom and right sides of the letters.*
- *The applicant stated that was also her preferred version.*
- *The HARB did not like the way the previous hanging signs were mounted at the very front edge of the large bracket, preferring the new sign to be hung closer to the building.*

4) **Recommendations from HARB:**

The Board recommends Approval of a Certificate of Appropriateness for Application 2025-31 as submitted, with the following clarifications:

1. *The sign graphic shall be the version submitted in the application featuring a subtly textured charcoal field, with white lettering that includes a 3D shadow line at the bottom and right sides of the letters.*
2. *The existing long metal bracket for the hanging sign shall be retained; but the new sign shall be mounted closer to the building near the center of the bracket length.*

Application Numbers: [2025-31](#)

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Borough of West Chester
Historical and Architectural Review Board

PROJECT ADDRESS: 16 S. Church Street

5) Borough Council's Action and Date

- Approved per HARB recommendation:
- Denied for the following reasons:
- Approved with the following differences from HARB recommendation:

.....

Date of Action Taken: _____, 2025

Borough Manager's Signature:

VERA

STUDIOS



MERRY BRIGHTE
ENGLAIS - SPRAY TAN
WAXING SKINCARE
PIZZAS MASSAGE THERAPY

16

OPEN

Remedi Skincare Studio Here! open daily 11:00 - 4:00



16 S Church St





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tea by hesty
WELLNESS & SPA

Jaffa's
DAY SPA



16



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time by kristy

Day SPA

SOLUNA
MASSAGE SPA
OPEN NOW

BOROUGH OF WEST CHESTER
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 112 OF THE CODE OF THE BOROUGH OF WEST CHESTER, TITLED, "ZONING", SPECIFICALLY TO AMEND SECTION 112-309.B TO REVISE THE DIMENSIONAL REQUIREMENTS IN THE TC TOWN CENTER DISTRICT.

BE IT ENACTED AND ORDAINED, and it is hereby enacted by authority of the Council of the Borough of West Chester that the Code of the Borough of West Chester, specifically, Chapter 112, titled, "Zoning", is hereby amended as follows:

SECTION 1. Section 112-309, titled, "TC Town Center District", subsection "B" shall be deleted, and the following shall be added:

Dimensional requirements.

Lot area, minimum	2,500 square feet
Lot width, minimum	20 feet
Building setback line/front yard, minimum	0 feet *
Side yard, minimum	0 feet
Rear yard, minimum	5 feet
Height, maximum	45 feet**
Impervious coverage, maximum	95%
Building coverage, maximum	90%

*The building setback line/front yard, minimum for buildings, structures, or parts thereof with a building height over 45 feet permitted in the HO-60 or HO-75 Height Option Overlay Districts shall be 10 feet.

**Except as may be permitted in the HO-60 or HO-75 Height Option Overlay Districts.

SECTION 2. Severability. The provisions of this Ordinance are severable, and if any article, section, subsection, clause, sentence or part thereof shall be held or declared illegal, invalid or unconstitutional by any court of competent jurisdiction, the decision shall not affect or impair any of the remaining articles, sections, subsections, clauses, sentences or parts thereof of this Ordinance. It is hereby declared to be the intent of the Borough Council that this Ordinance would have been enacted if such illegal, invalid, or unconstitutional article, section, subsection, clause, sentence, or part thereof had not been included herein.

SECTION 3. Repealer. All ordinances or parts of ordinances inconsistent herewith are hereby repealed to the extent of any such inconsistency.

SECTION 4. Effective Date. This Ordinance shall become effective upon enactment as by law provided.

ENACTED AND ORDAINED THIS ____ DAY OF _____, 2025.

**COUNCIL OF THE BOROUGH OF WEST
CHESTER**

ATTEST:

Sean Metrick, Secretary

By: _____
Patrick McCoy, President

APPROVED THIS ____ DAY OF _____, 2025.

Lillian L. Debaptiste, Mayor



Department of Building, Housing & Codes Enforcement
Regulations for the Protection of Public Health, Safety and Welfare

401 East Gay Street • West Chester, Pennsylvania 19380
610-696-1773 • housing@west-chester.com

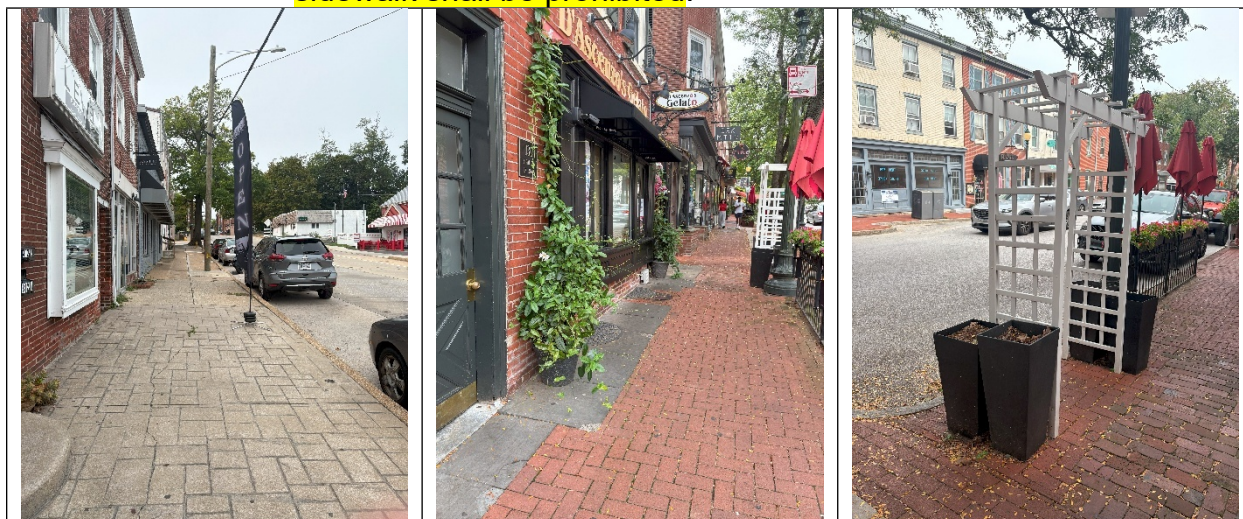
STAFF REPORT

Smart Growth

10/14/24

Points for discussion on amendment to 95 Street and Sidewalk

- a. In Pennsylvania, sidewalk regulations are primarily governed by local government ordinances. Each Borough has the authority to lay out and establish sidewalks, curbs, and gutters along streets, with the consent of the Secretary of Transportation (PennDOT permit) for state highways. Property owners are required to maintain sidewalks adjacent to their property ensuring they are safe and usable. Additionally, local governments may impose specific requirements for the construction and maintenance of sidewalks, including the need for permits and inspections.
- b. Section 95 of the Borough of West Chester code, Streets and Sidewalks, defines, regulates and creates requirements for sidewalks. Subsection 95-11,B, Construction and maintenance requirements for sidewalks states:
Maintenance requirements. The owner of the property abutting a sidewalk in existence on the date of enactment of this section shall not remove a sidewalk without replacing such sidewalk in accordance with the provisions of this chapter and shall have the duty to thereafter continually maintain and keep the sidewalk in good repair. **The use of such sidewalk for any purpose other than a sidewalk shall be prohibited.**



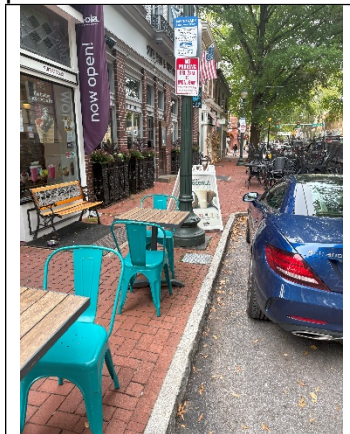
c. Subsection 95-24 A, Obstructions prohibited.

It shall be unlawful for any person, firm or corporation or any officer or employee thereof to block or cause to be blocked a continuous three-foot-wide strip for unimpeded pedestrian traffic in the center portion of a sidewalk of the Borough of West Chester by the storing or placing of goods, wares or merchandise within that three-foot-wide traveled section of the paved sidewalk, whether the same is ordained or unordained, or by the obstruction thereof by trucks or other vehicles being backed or driven on or across such sidewalks for the purpose of loading or unloading goods, wares or merchandise of any kind or description whatsoever.

d. The purpose of these sections to ensure a clear and free flow of pedestrian traffic along the sidewalks and to keep the right of way along the streets free of obstruction in case of Public Works or utilities need to excavate or make repairs.



e. Chapter 90A was created to allow for the creation of the restaurant-cafe designation and the districts created thereunder is to promote the pedestrian character of the Borough.



f. There are many other locations outside of the districts regulated restaurant-cafe districts and other uses than outdoor seating that business owners in the Borough are currently using the sidewalks for without proper permission.

There are many locations where beneficial beautifications, planters or other items have been added



The Building Housing and Code Enforcement department proposes amending Subsection 95-24 to create a permitting process that would be for all Zoning Districts inside the Borough, to allow and regulate placing items on a sidewalk.

This permit would establish regulations determining:

1. What items can be placed on a sidewalk, ex: movable or non-permanent planters
2. What items are prohibited, ex. Flag signs, Arbors
3. Where items are allowed, ex. Along side of building
4. Where items are prohibited, ex along streets with parking
5. How many obstruction per block
6. Other requirements
(these are examples, list not limited to these only)

The idea is to create a way for Borough property owners, brick and mortar store owners and people invested in improving the Borough a path to help improve our neighborhood, and create guidelines and requirements that keep our sidewalks compliant with ADA requirements, free flowing and passable.

BOROUGH OF WEST CHESTER
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO.

AN ORDINANCE OF THE BOROUGH OF WEST CHESTER, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 112 OF THE CODE OF THE BOROUGH OF WEST CHESTER, TITLED, "ZONING", SPECIFICALLY SECTION 112- 202, TITLED DEFINITIONS, TO ADD DEFINITIONS OF "ALLEY" AND "UNIFIED RESIDENTIAL DEVELOPMENT; SECTION 112-304, TITLED PERMITTED USES, TO ADD UNIFIED RESIDENTIAL DEVELOPMENT AS A PERMITTED PRINCIPAL USE BY RIGHT IN THE TC TOWN CENTER DISTRICT; TO AMEND FOOTNOTE 1 IN SECTION 112-304.A; AND TO ADD A NEW SECTION 112-916 TO ADD STANDARDS FOR UNIFIED RESIDENTIAL DEVELOPMENT.

BE IT ENACTED AND ORDAINED, and it is hereby enacted by authority of the Council of the Borough of West Chester that the Code of the Borough of West Chester, specifically, Chapter 112, titled, "Zoning", is hereby amended as follows:

SECTION 1. Section 112-202, titled, "Definitions" is amended to add the following new definitions:

ALLEY – Land over which there is a right-of-way, municipally or privately owned, ordinarily serving as a secondary means of access to two or more lots. "Alleys" in the Borough are typically located to the rear of a building, occasionally on the side of a building, and rarely in the front of a building.

UNIFIED RESIDENTIAL DEVELOPMENT – A residential land development consisting of only single-family semidetached, single-family attached, two-family detached, two-family semidetached, two-family attached, quadraplex, and/or triplex dwelling units which utilizes common architectural and design principles and shares common pedestrian and vehicular access and parking.

SECTION 2. The Table set forth in Section 112-304.A, titled "Principal Uses", is amended to add "Unified Residential Development" as a principal use by right in the TC Town Center District.

SECTION 3. Footnote [1] of Section 112-304.A is amended as follows:

[1] Residential uses are not permitted on first floor in the TC District except in a Unified Residential Development.

SECTION 4. A new Section 112-916 titled “Standards for Unified Residential Development” is added as follows:

112-916. Standards for Unified Residential Development

- A. The following standards shall apply to a Unified Residential Development which is a use permitted by right in the TC Town Center District. The standards of this Section 112-916 shall supersede conflicting or different standards set forth in this Chapter 112 applicable in the TC District.
- B. Area and bulk regulations. The following area and bulk regulations shall apply to a Unified Residential Development.
 - (1) Maximum gross tract area: three (3) acres.
 - (2) Tract location: tract must be adjacent to a lot or tract located in the NC-2, NC-3 or CS Zoning Districts; provided, however, the tract must not be located in or adjacent to a lot or tract located in the Retail Overlay District as defined in Section 112-405.
 - (3) Maximum density: 40 dwelling units per acre
 - (4) Minimum tract width at the street line of at least one street: 100 feet.
 - (5) Building setback line/front yard, - minimum - zero (0) feet; maximum five (5) feet
 - (6) Side yard, - minimum - five (5) feet.
 - (7) Rear yard, - minimum - five (5) feet.
 - (8) Distance between exterior walls of buildings - minimum – fifteen (15) feet.
 - (9) Maximum tract building coverage: 90%.
 - (10) Maximum tract impervious coverage: 95%.
 - (11) Minimum tract green area: 5%.
 - (12) Maximum building height: 45 feet.
 - (13) Uncovered stoops and steps may project a maximum of four (4) feet into the right-of way of a dedicated street. Provided, however, in no case shall the width of the sidewalk be less than four (4) feet to maintain an accessible route for pedestrians.

C. Design standards for a Unified Residential Development.

- (1) Unified Residential Development shall comply with all of the requirements and design standards of Section 112-916. Applicants seeking land development approval for a Unified Residential Development shall provide conceptual architectural plans and sufficient documentation to demonstrate compliance with all of the said requirements and design standards. The plans and documentation shall be submitted with the preliminary land development application.
 - (a) The front façade of all dwelling units shall face and abut a dedicated street, a private green area, or private common open space.
 - (b) Garages and parking spaces shall face alleys or private driveways located in the rear of dwelling units.
 - (c) Alleys and private driveways serving more than one dwelling unit shall have a minimum of twelve (12) feet in cartway width. A minimum right-of-way width is not required for alleys constructed as part of the Unified Residential Development, and such alleys shall not be dedicated to the Borough and shall be maintained by an association of the owners of the dwelling units.
 - (d) Dwelling units shall be a minimum of fifteen (15) feet and a maximum of twenty-four (24) feet from side wall to side wall.
 - (e) The Design Guidelines for the West Chester Historic District, July 2002, as amended from time to time, shall be used for the design elements of the buildings, structures and the overall development, including but not limited to massing, scale, proportion, rhythm, building materials, roofs, windows, and streetscapes. To the extent the Design Guidelines may be inconsistent with or contrary to the requirements of this Section 112-916, the requirements of Section 112-916 shall prevail. The preliminary land development application shall include plans, conceptual building elevations, diagrams, photographs and other documentation to demonstrate compliance with the Design Guidelines. The preliminary plan and forgoing documentation shall be sent by the Borough to the Borough Historic Architect for review and comment and a determination of compliance with the Design Guidelines and the standards of Section 112-916.
- (2) All preliminary land development plans shall be accompanied by a landscaping plan which shall be approved by Council as part of the land development decision.
- (3) Parking shall be provided as follows: two off-street parking spaces shall be provided for each dwelling unit, at least one of which shall be located inside a garage and one of which may be located directly adjacent to the dwelling unit that the space serves. Parking spaces for the same dwelling unit may be stacked behind garages or other parking spaces.

SECTION 5. Severability. The provisions of this Ordinance are severable, and if any article, section, subsection, clause, sentence or part thereof shall be held or declared illegal, invalid or unconstitutional by any court of competent jurisdiction, the decision shall not affect or impair any of the remaining articles, sections, subsections, clauses, sentences or parts thereof of this Ordinance. It is hereby declared to be the intent of the Borough Council that this Ordinance would have been enacted if such illegal, invalid, or unconstitutional article, section, subsection, clause, sentence, or part thereof had not been included herein.

SECTION 6. Repealer. All ordinances or parts of ordinances inconsistent herewith are hereby repealed to the extent of any such inconsistency.

SECTION 7. Effective Date. This Ordinance shall become effective upon enactment as by law provided.

ENACTED AND ORDAINED THIS ____ DAY OF _____, 2025.

**COUNCIL OF THE BOROUGH OF WEST
CHESTER**

ATTEST:

Sean Metrick, Secretary

By: _____
Patrick McCoy, President

APPROVED THIS ____ DAY OF _____, 2025.

Lillian L. Debaptiste, Mayor



BOROUGH OF WEST CHESTER PLANNING COMMISSION

October 3, 2025

Borough Council
Borough of West Chester
401 E Gay St, West Chester, PA 19380

RE: Uniform Residential Development

Members of Council,

The Planning Commission reviewed discussed and voted on the proposed ordinance amendment for "Uniform Residential Development" (URD) at the PC voting session on September 30, 2025. The URD is a proposed new use for the Town Center (TC) District.

J. Cherry moved to recommend approval of the draft ordinance amendment for Unified Residential Development, contingent on the following: 1) incorporation of the revisions discussed and agreed to tonight; and 2) PC review and incorporation of select sections of the Design Guidelines for the West Chester Historic District.

M. Clapp seconded the motion.

Public Comments

- No Citizen Comments

The motion passed with a vote of 5-0.

The vote was as follows:

Q. Birl-Yes, A. Burke-Absent, J. Cherry-Yes, M. Clapp-Yes, T. Dougherty-Yes, S. Mitten-Yes,

Please refer to PC meeting minutes for a more complete record of the PC's thoughts and concerns. Please feel free to contact me if you have any questions.

Respectfully Submitted,

Jim Cherry
Chair, Borough of West Chester Planning Commission